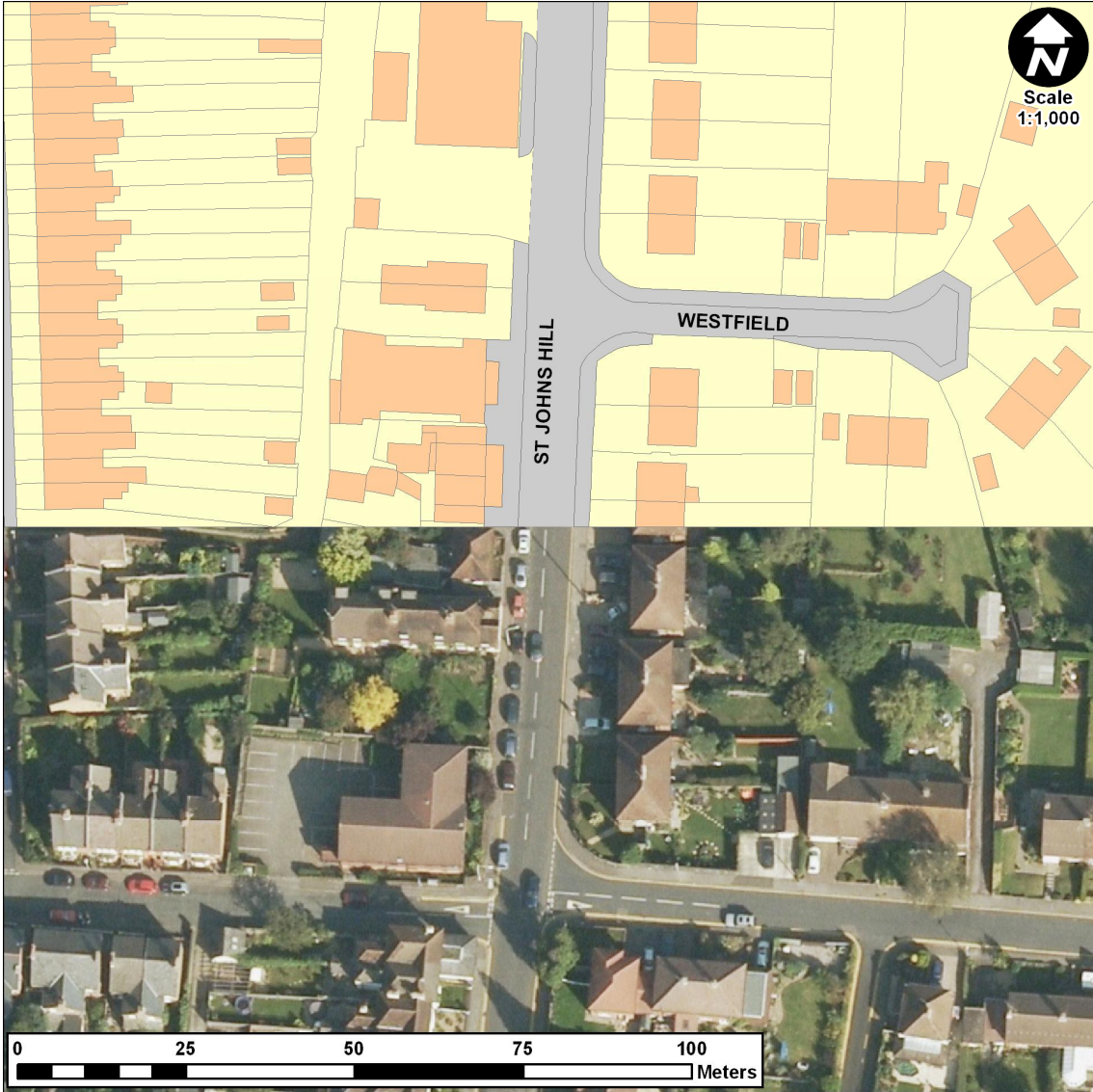


N MIXED CHARACTER AREAS



In some areas, piecemeal development and redevelopment can result in an area that is very mixed in terms of the age, use, layout, design and materials of buildings. In Sevenoaks, whilst the character is more mixed along some of the principal routes, the housing areas to the rear have generally retained a distinctive character related to the period in which they were designed, by whom and for whom they were constructed and the physical factors of their location. There are however exceptions where the individual houses vary so in age, materials and appearance that no particular character predominates. For the purposes of this assessment, these areas have been designated as being of mixed character.



Example of Mixed Character Area Layout

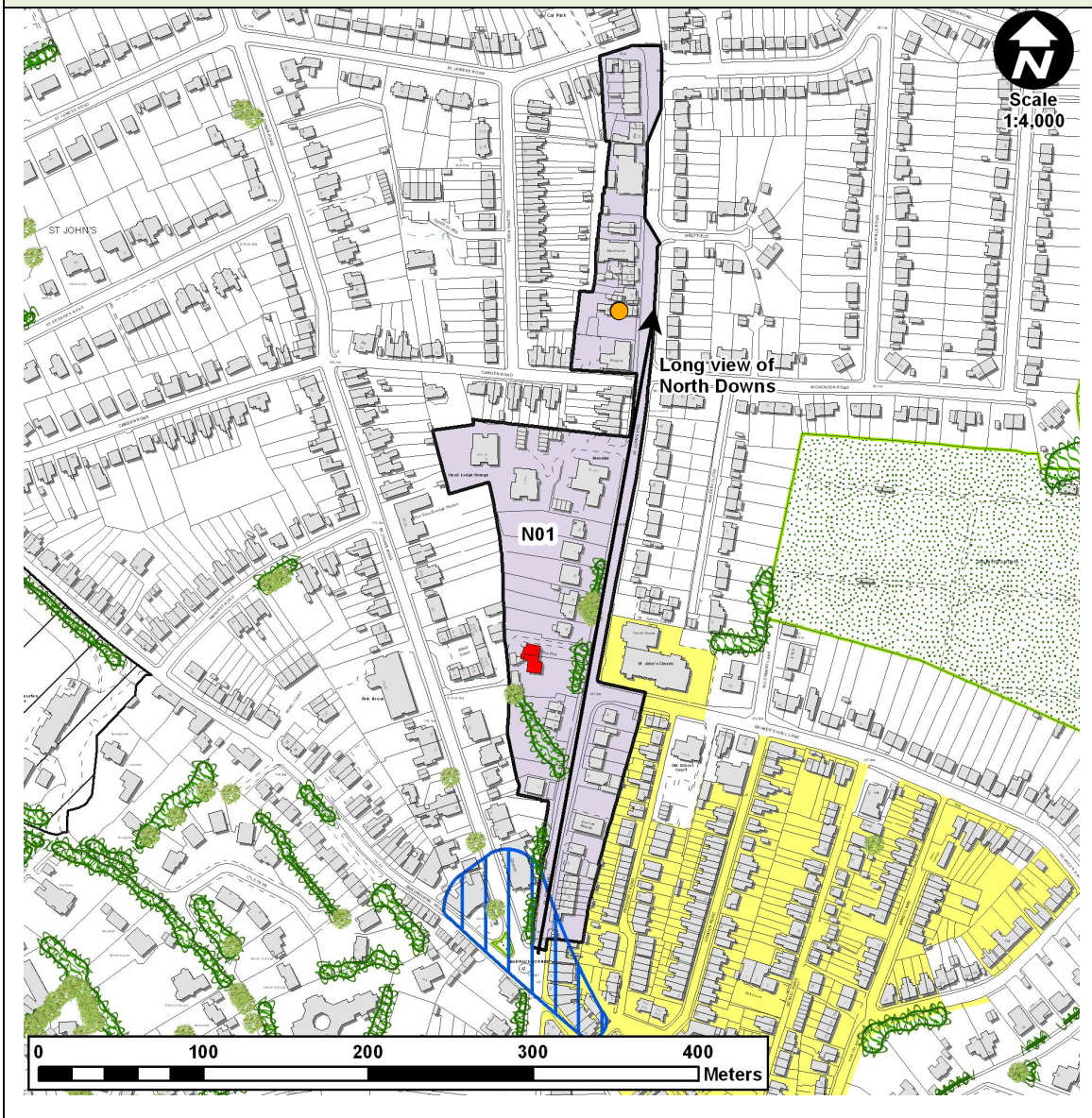
N01 ST JOHN'S HILL

Comprising St John's Hill (part)

HISTORICAL CONTEXT

St John's Hill was developed from the Victorian period with redevelopment and piecemeal development over the following century.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1850s to present day
Type of buildings	Terraced, semi-detached and some detached residential properties with other mixed uses
Main uses	Residential with business uses
Building heights	Two storeys with some 3 and 4 storeys
Prominent building materials	Various
Predominant boundary treatments	None or high ragstone or brick wall to the north. Trees and planting to some front boundaries
Open space/ vegetation	Trees and planting to some front boundaries



The scale and mass of buildings along the upper section of St John's Hill varies from three storey terraced housing to a detached bungalow. The buildings are generally set close to the road, following the Victorian pattern of development. The listed building (3 and 3A (The Firs) and the 1930s semi-detached houses are exceptions being set back allowing trees to the front boundary. Materials are varied but orange brick and hanging tiles and white render are the most commonly used. The design of buildings is varied with gable ends, hipped roofs, pitched roofs (with and without dormer windows) and mansard roofs all facing the road.



Development on the upper section of St John's Hill backs on to, and forms the setting of, the Hartslands Conservation Area. Properties in Prospect Road are visible in this photograph.



The scale of buildings becomes more domestic in the southern section of St. John's Hill with less sense of enclosure. The buildings are generally set close to the road, following the Victorian pattern of development. Orange brick and hanging tiles and white render are the most commonly used materials. There are a number of commercial properties in this section of road although the signage is limited and restrained, respecting the mix with residential uses. The design of buildings is varied dependant on the period of development. The hipped roof of the 1930s parade of shops and the art deco frontage to the former cinema are typical of their periods.

Townscape Feature



The Victorian terrace at right angles to the road previously enclosed the northern side of an open square, with a further terrace set back from the road along its western edge.

The historic building is a townscape feature set unusually at right angles to St John's Hill and retaining many historic features. The building is faced with orange brick and hanging tiles, with half hipped tiled roof and chimneys. The windows have a vertical emphasis typical of the period.

View



The long view of the North Downs framed by development is a feature of St. John's Hill.

More modern development follows the Victorian building line close to the road and is of three storey (or two storey with attic rooms) height. This form of development provides an appropriate scale and sense of enclosure to this important route.

Listed Buildings

3 and 3A (The Firs) St John's Hill

Early 19th Century yellow brick three window façade. 3 storeys. Hipped Welsh slate roof. Sash windows.

Grade 2



Locally Distinctive Positive Features

Scale and enclosure of northern section of St John's Hill
Domestic scale of southern section of St John's Hill
Listed building and landscaped setting
Townscape feature of terraced cottages
Limited and restrained signage to commercial properties
Trees to some front boundaries providing a contrast to the built form
View of the North Downs

Negative Features

Opportunity for the creation of individual buildings of interest and high standard of intrinsic design quality

Design Guidance

St John's Hill has continued to evolve since its Victorian origins with infill and redevelopment opportunities. The area is likely to continue to evolve with new buildings of a greater scale replacing those of low scale. There is some opportunity for the replacement of buildings of indifferent quality.

In proposing new development within the St John's Hill Character Area:

Individual buildings should be of a high standard of intrinsic design quality

The listed building and its setting should be protected

The character of the townscape feature of terraced cottages should be retained

The views of the North Downs should be protected

Signage and advertising should be limited and restrained

The setting of the adjoining Hartslands Conservation Areas should be protected or enhanced

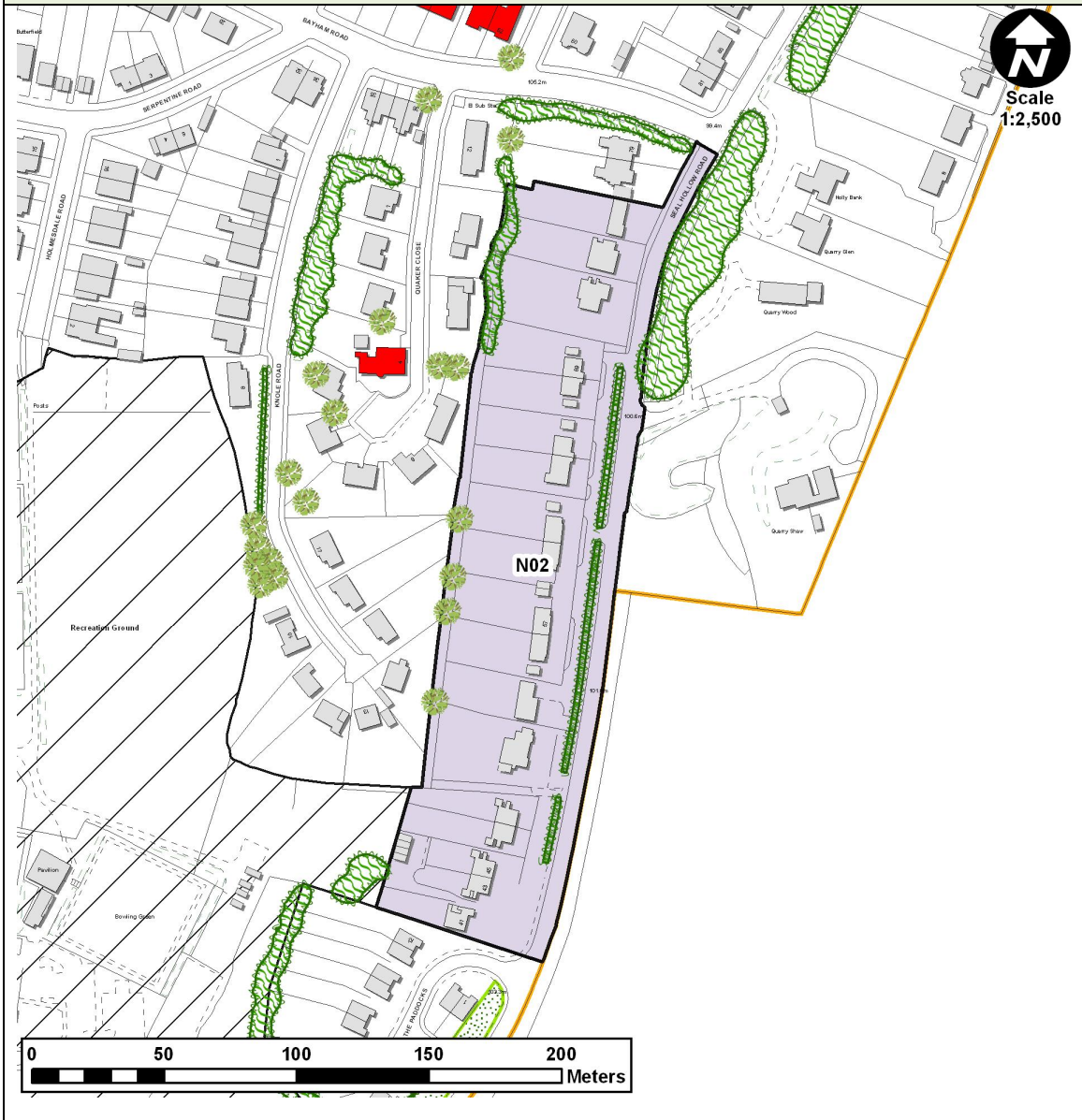
N02 SEAL HOLLOW ROAD (NEAR BAYHAM ROAD)

Comprising Seal Hollow Road (part)

HISTORICAL CONTEXT

This part of Seal Hollow Road was developed initially in the 1930s with subsequent infill development.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1930s to present day
Type of buildings	Semi-detached and detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Various
Predominant boundary treatments	Hedged front boundary
Open space/ vegetation	Trees and planting to front boundaries and in trees in rear gardens

Area Characteristics



In this short length of Seal Hollow Road there is a relatively regular building line and the height of the buildings is two storeys. Buildings are detached or semi-detached. Materials are varied but orange brick, hanging tiles and white render are the most commonly used. The design of buildings is varied with a variety of forms and roof styles and pitches.

The trees in back gardens and along Knole Road form an important backdrop to this verdant section of road and help enclose the space.

Boundary Treatment



The hedge to the north side of Seal Hollow Road is somewhat a unifying feature and contributes to the verdant corridor formed with the mature trees opposite.

Locally Distinctive Positive Features

Unified building line and scale
Trees in rear gardens and along Knole Road
Hedged front boundaries

Negative Features

No significant detractors

Design Guidance

The close siting of most houses means that there is little opportunity for further development in this area.

In proposing new development within the Seal Hollow Road Character Area:

Mature trees and the front boundary hedge which contribute to the character of the area should be protected or reinstated

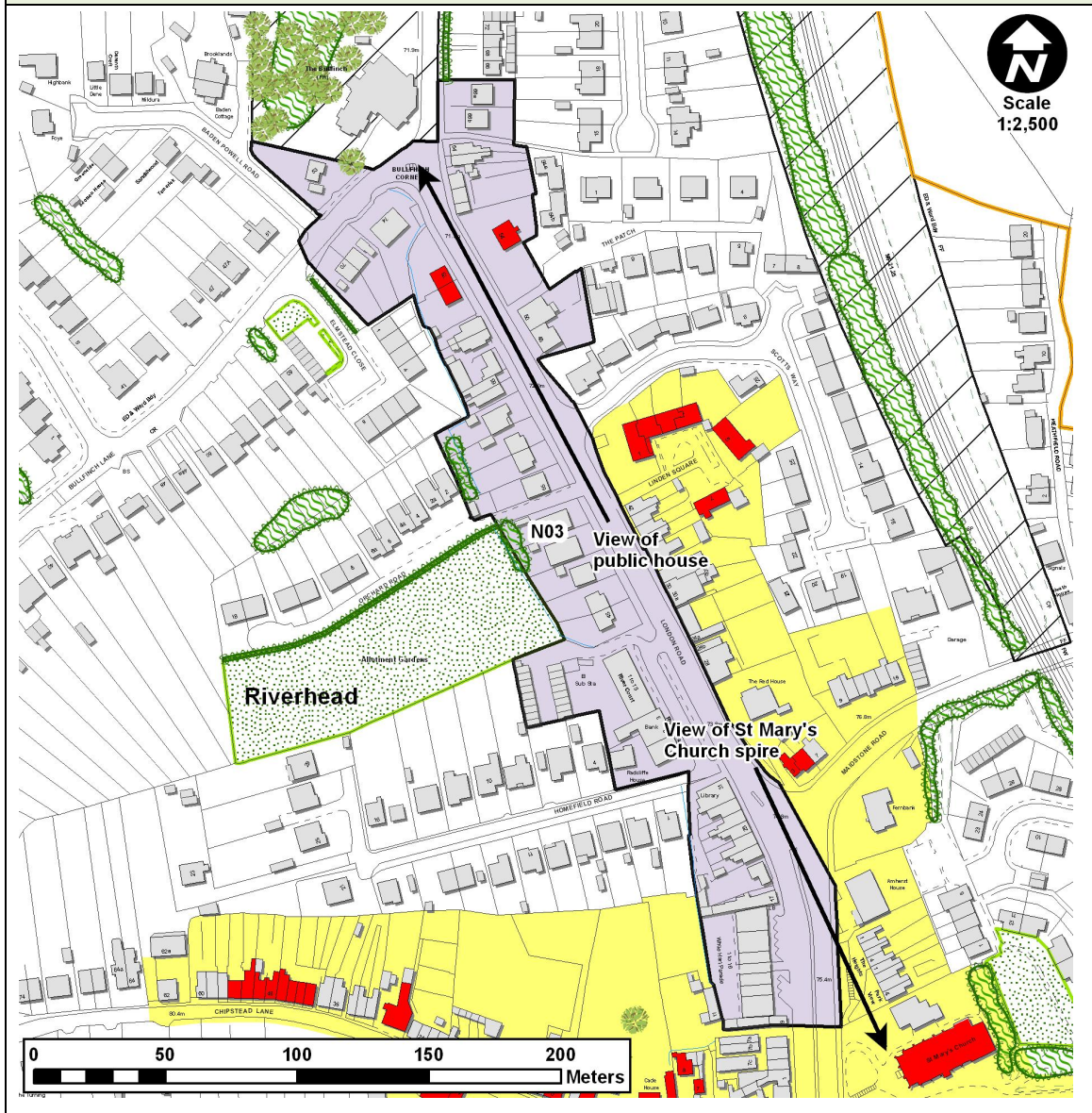
N03 LONDON ROAD

Comprising London Road (part)

HISTORICAL CONTEXT

This part of London Road was developed from the 18th Century - with redevelopment and piecemeal development added over the following centuries.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	18th Century to present day
Type of buildings	Terraced, semi detached and detached
Main uses	Business and residential uses
Building heights	One, two and three storeys
Prominent building materials	Various
Predominant boundary treatments	None
Open space/ vegetation	Trees close to the public house help terminate the vista north





The scale and mass of buildings along this section of London Road varies from three storey modern terraces to detached two storey Victorian houses. The 18th and 19th Century buildings are generally set close to the road but the building line of more recent buildings is set back from the road at various depths. Materials are varied but red/orange brick and white render are the most commonly used. There are a number of commercial properties in the section of road although the signage is limited and restrained, respecting the mix with residential uses. The design of buildings is varied with flat, pitched, hipped and half gabled roofs and bay, vertical and horizontal picture windows.



The signage to the commercial properties on the east side of London Road is limited and restrained, respecting the mix with residential uses. The design of buildings is varied with flat, pitched and gabled roofs and single and two storey properties present in the same row. The buildings are generally set close to the road, following the earlier pattern of development.

The view from the area south to the landmark St. Mary's Church spire helps orientate the area with other parts of the town.



The public house set at an angle and the surrounding trees are important in closing the vista north from the area and help enclose the street with the two storey terrace building set close to the road.

Listed Buildings	
<p>73/ 75 London Road</p> <p>Pair of 18th Century cottages. Two storeys, two windows. Tiled roof. Random rubble walls with brick dressings. C18 leaded casement windows. Tile hanging first floor.</p> <p>Grade 2</p>	
<p>54 (Minerva) London Road</p> <p>Early 19th Century. Two storey three window villa. Low pitched hipped slate roof. Incised stucco. Sash windows with glazing bars.</p> <p>Grade 2</p>	

Locally Distinctive Positive Features
<p>Listed buildings</p> <p>Limited and restrained signage to commercial properties</p> <p>View south from the area to the landmark St. Mary's Church spire</p> <p>Public House and mature trees terminate vista to the north</p>

Negative Features
<p>Traffic</p>

Design Guidance

London Road has continued to evolve since its 18th Century origins with infill and redevelopment opportunities. The close siting of development means there is limited opportunity for further development. There may be pressure to redevelop some properties.

In proposing new development within the London Road Character Area:

Individual buildings should be of a high standard of intrinsic design quality

The view of St Mary's Church spire should be protected

Listed buildings and their settings should be protected

Signage and advertising should be limited and restrained

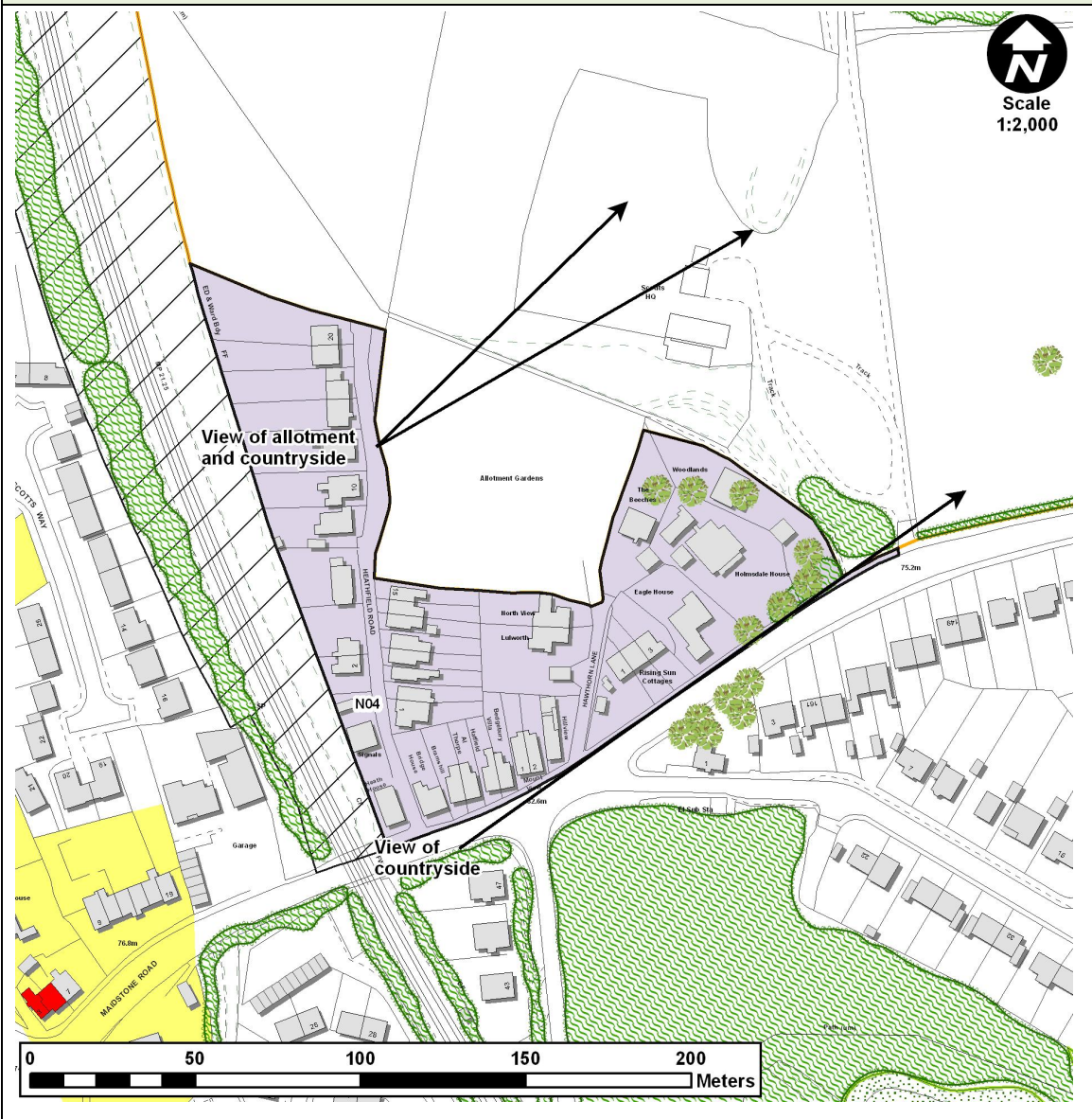
N04 BRADBOURNE VALE ROAD/ HEATHFIELD ROAD

Comprising Bradbourne Vale Road (part), Hawthorn Lane, Heathfield Road

HISTORICAL CONTEXT

The area was developed from the Victorian period with redevelopment and piecemeal development added over the following century.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1850s to present day
Type of buildings	Semi detached and detached
Main uses	Residential uses
Building heights	One and two storeys
Prominent building materials	Various
Predominant boundary treatments	Some wall and hedge to Bradbourne Vale Road
Open space/ vegetation	Trees and planting to front gardens close to the countryside, allotments adjoin the area, views of the countryside to the west and the north.



The scale and mass of buildings along this section of Bradbourne Vale Road varies from two to three storey detached, semi detached and terraced houses. The building line steps further back from the road towards the edge of the developed part of the north side of the road. Materials are varied but red/orange brick and white render are the most commonly used. The design of buildings is varied with gable ends, pitched, hipped and half gabled roofs and bay, vertical and horizontal windows styles.



The set back of buildings on the north side of the road allows mature trees and planting to front gardens to act as a transition to the countryside. The attractive panoramic view from Bradbourne Vale Road is in contrast to the adjoining built up area.



Two narrow unmade roads lead from Bradbourne Vale Road: Hawthorn Lane (top left) and Heathfield Road. Within both roads, the height varies from one to two storeys and houses are detached and semi detached. The building line steps forward and back. Materials are varied but red/orange brick and white render are the most commonly used. The form and design of buildings is varied with gable ends, pitched, hipped, half hipped and half dormer roofs and a variety of fenestration.



The allotments to the east of Heathfield Road form an attractive open space visible from the road and provide a contrast to the compact built up area with views of the countryside beyond.

Locally Distinctive Positive Features

Views of the allotments and the countryside

Mature trees and planting to front gardens on Bradbourne Vale Road close to the countryside

Negative Features

Opportunity for the creation of individual buildings of interest and high standard of intrinsic design quality

Design Guidance

The area has continued to evolve since its Victorian origins with infill and redevelopment opportunities. The close siting of development means there is limited opportunity for further development. There may be opportunity to redevelop some of the properties.

In proposing new development within the Bradbourne Vale Road Character Area:

Individual buildings should be of a high standard of intrinsic design quality

Mature trees to front gardens on Bradbourne Vale Road close to the countryside should be protected

The views of the allotments and countryside should protected

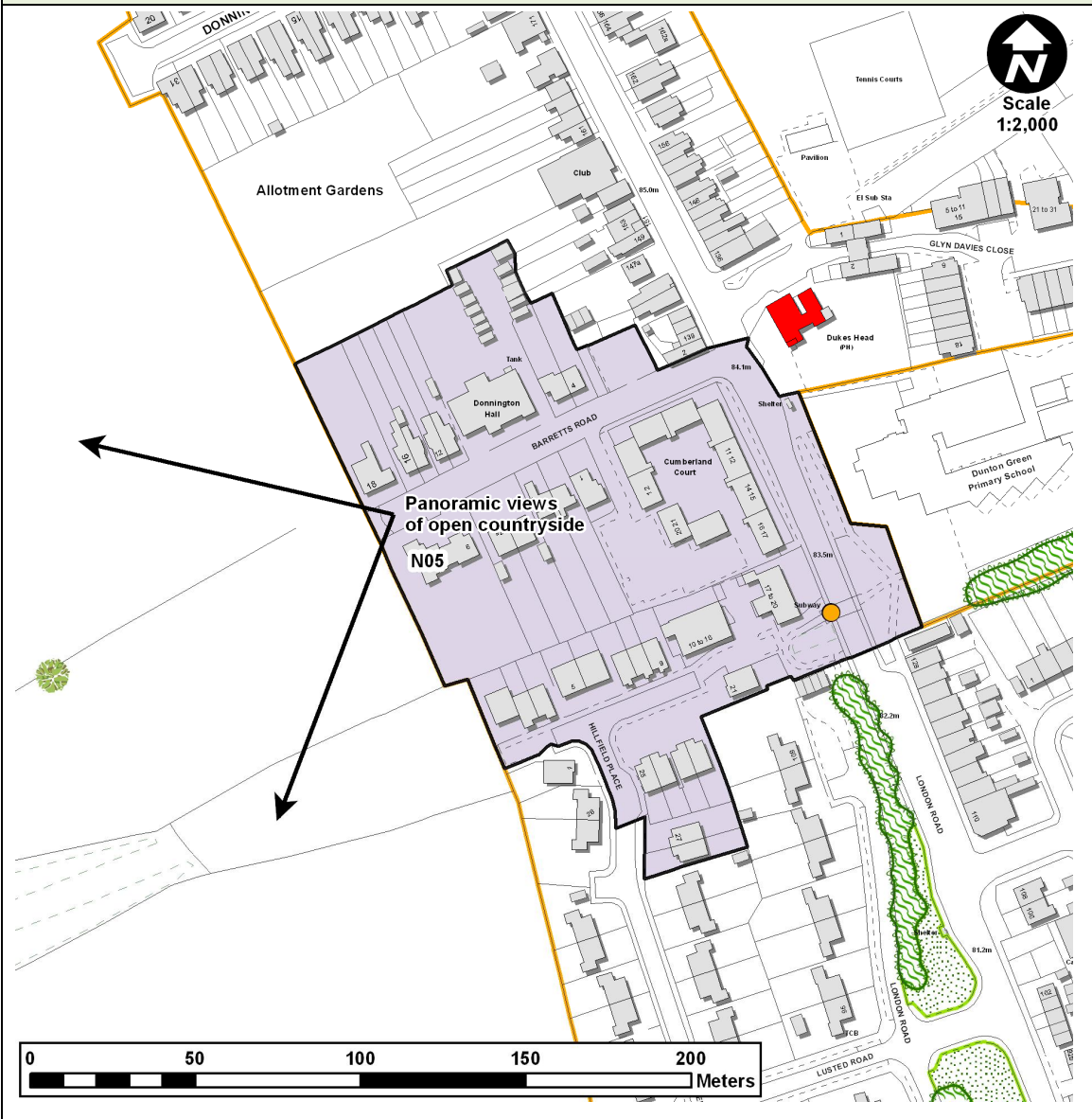
N05 LONDON ROAD BARRETTS ROAD AREA

Comprising London Road, Barretts Road, Hillfield Place

HISTORICAL CONTEXT

The area was developed from the Victorian period with redevelopment and piecemeal development added over the following century.

TOWNSCAPE MAP



Area Characteristics



Buildings along Barretts Road vary from two storey detached, semi detached and courtyard housing to a single storey community building. The building line and materials are varied. The form and design of buildings is varied with gable ends, pitched, hipped and half gabled roofs and bay, vertical and horizontal windows styles.



The frontage to London Road comprises an elevation of Cumberland Court and the rear of three storey properties from Hillfield Place (top). Hillfield Place (bottom) is a comprehensively developed area with little design cohesion in the way properties relate to each other in terms of siting, scale, materials or design features. Heights vary from one to three storeys and houses are detached, semi detached, terraced or apartment blocks.

Views



The attractive panoramic view from Barretts Road is in contrast to the adjoining built up area.

Townscape Feature



The mural to the face of the pedestrian underpass across London Road adds a distinctive colourful feature.

Locally Distinctive Positive Features

Views of the countryside
Mural townscape feature

Negative Features

Opportunity for the creation of individual buildings of interest and high standard of intrinsic design quality

Design Guidance

The area has continued to evolve since its Victorian origins with infill and redevelopment opportunities. The close siting of development means there is limited opportunity for further development.

In proposing new development within the London Road Barretts Road Character Area:

Individual buildings should be of a high standard of intrinsic design quality

The views of the countryside should be protected

The colourful character of the entrance to the underpass should be retained

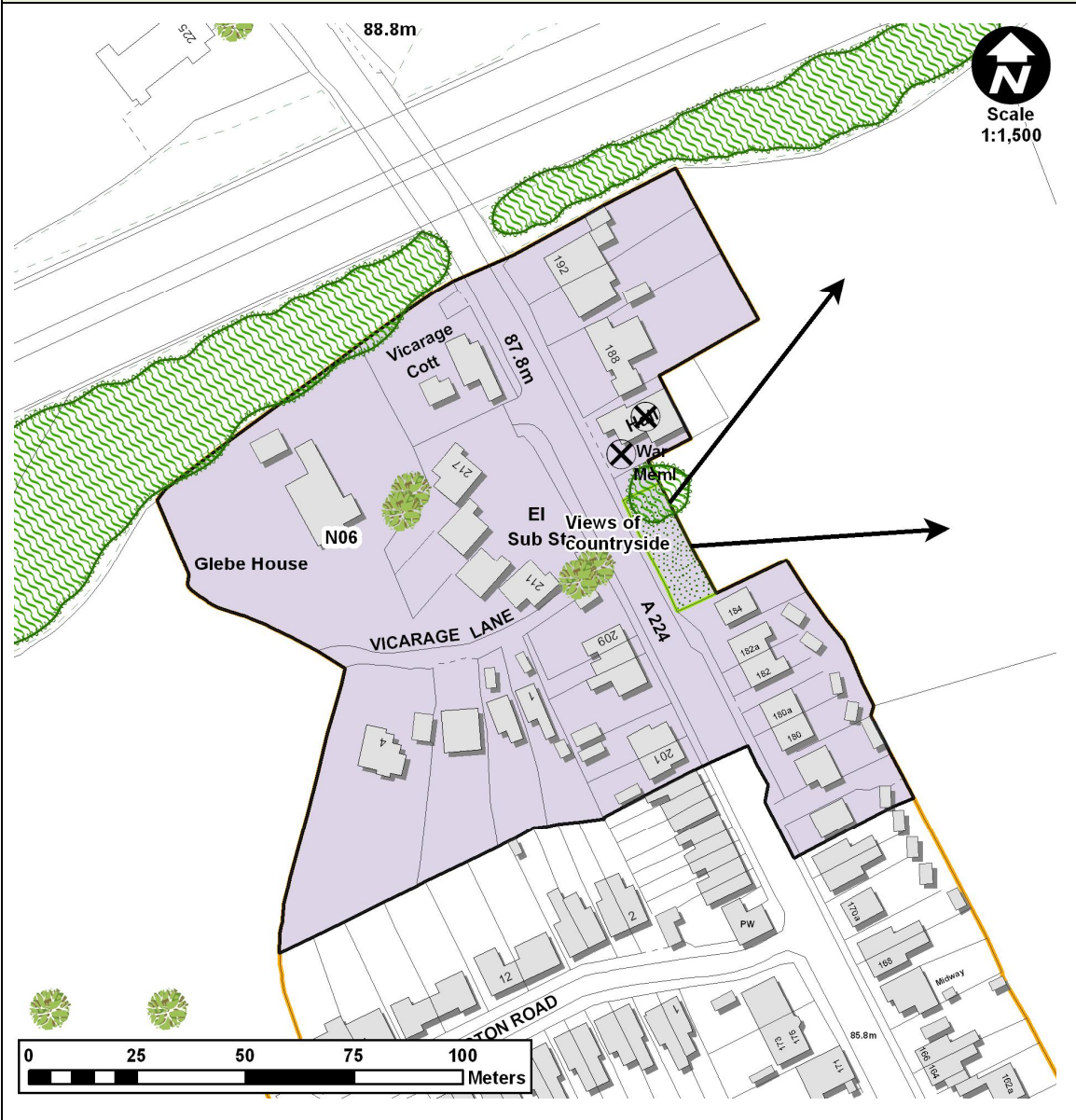
N06 LONDON ROAD/ VICARAGE LANE

Comprising London Road, Vicarage Lane

HISTORICAL CONTEXT

The area was developed from the Victorian period based around a National School and Vicarage (Glebe House) with redevelopment and piecemeal development added over the following century.

TOWNSCAPE MAP



Area Characteristics



Two storey detached and semi detached houses front both sides of this section of London Road. The building line, materials and designs vary with the period in which the houses were built. The form and design of buildings is varied with gable ends, pitched and hipped roofs and bay, vertical and horizontal windows styles. Mature trees provide a contrast to the built form.



Vicarage Lane is a narrow unmade track with a number of modern gable fronted houses set back from the lane to accommodate parking.

Views



The Rose Garden amenity open space (foreground) and mature trees allow views of the countryside to the east providing a break in the built form and a contrast to the adjoining built up area.

Townscape Features



The Victorian former National School for Girls and Boys and war memorial clock tower add two distinctive historic townscape features at this point in the street.

Locally Distinctive Positive Features

Amenity open space and views of the countryside

Former National School for Girls and Boys and memorial clock tower townscape features

Negative Features

Traffic

Design Guidance

The area has continued to evolve since its Victorian origins with infill and redevelopment opportunities. The close siting of development means there is limited opportunity for further development.

In proposing new development within the London Road/ Vicarage Lane Character Area:

Individual buildings should be of a high standard of intrinsic design quality

The views of the countryside should be protected

Mature trees which contribute to the character of the road should be retained

The character of the Victorian former National School for Girls and Boys and memorial clock tower townscape features should be retained

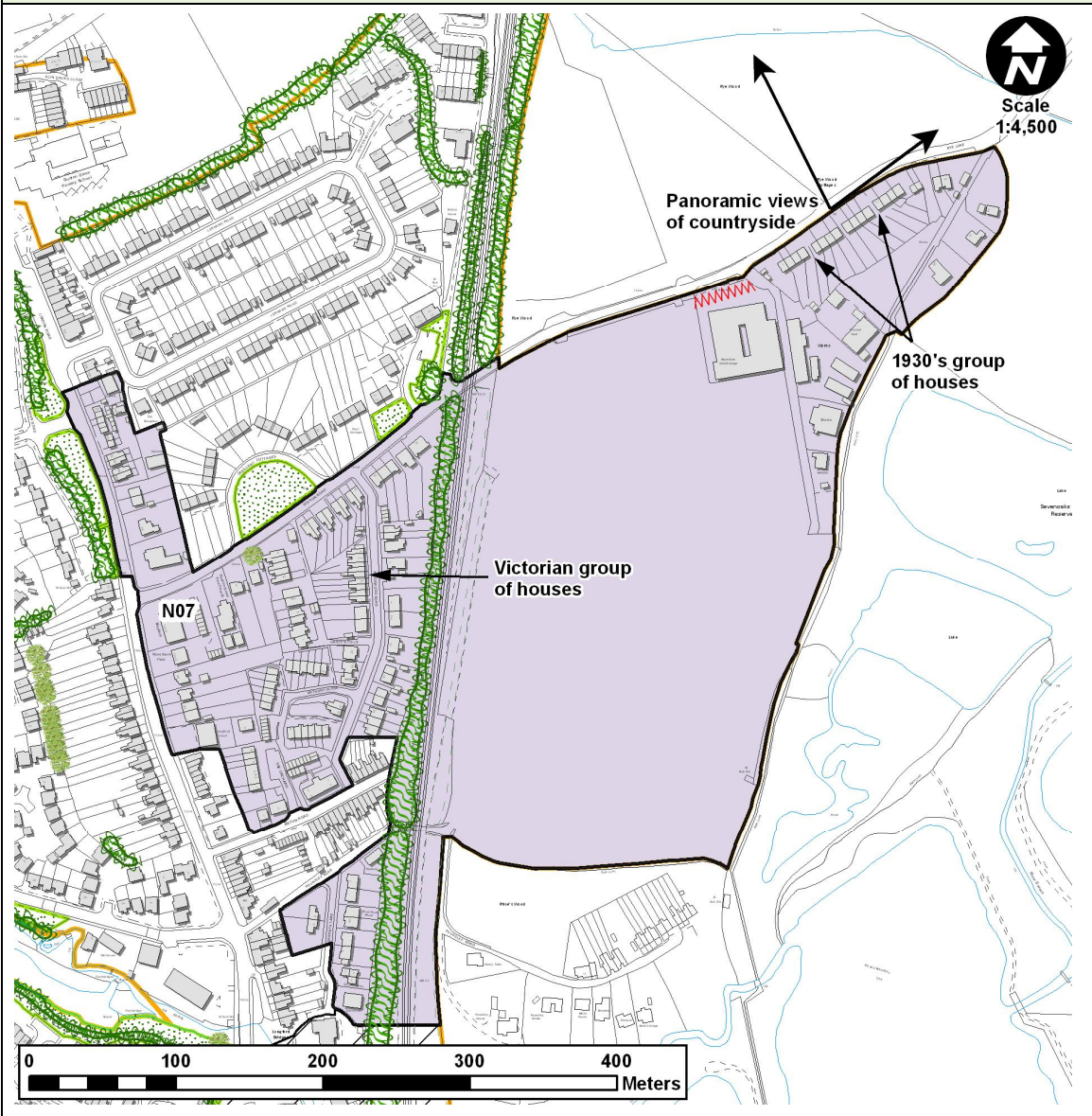
N07 LONDON ROAD KINGSWOOD ROAD AREA

Comprising London Road (part), Kingswood Road, Carey's Field, Anthony Close, The Orchard, Milton Road (part), Pounsley Road (part), Darenth Lane, Station Road, The Coppers

HISTORICAL CONTEXT

The London Road/ Kingsley Road area was developed from the Victorian period initially as short isolated terraces of houses. Some redevelopment of Victorian cottages has occurred together with piecemeal development added in the Edwardian period, 1930s, and more recent decades.

TOWNSCAPE MAP





Kingswood Road exhibits an eclectic mix of a Victorian terrace of cottages and houses of a variety of different scales, materials and designs from a number of different decades. The garages do not present an attractive appearance.

The trees along the railway embankment form an attractive backdrop to the east side of the street.



The Victorian group of houses in Kingswood Road retains a number of original features including shallow front gardens, bay windows to some properties, brick detailing around windows and doors, contrasting brick string course, slate roofs and chimneys. Some windows, doors and roofs have been replaced.



Darenth Lane exhibits an eclectic mix of houses of different scales, materials and designs from a number of different decades.

The trees along the railway embankment form an attractive backdrop to the east side of the street.



London Road exhibits a variety of houses of different scales, materials and designs from a number of different decades. Gables, pitched roofs (with and without dormers), mansard and hipped roofs are all present in a short length of road. The buildings are all set back from the road.



Edwardian and 1930s ribbon development along Station Road comprises mostly symmetrical semi detached two storey houses of orange brick, tile hanging and pastel coloured render. The 1930s houses at the eastern edge of the town (above right) comprise symmetrical rows of four with hipped roofs. The buildings are all set back from the road on a regular building line.



Carey's Field (top left), Anthony's Close (top right), The Orchard (bottom left) and The Coppers (bottom right) are a number of short cul de sacs infilled at the back of properties over recent decades. The two storey houses are generally clustered close to the road and each other giving a sense of enclosure. Each cul de sac has a different mix of materials with red brick and tile hanging predominant in Carey's Field, yellow brick and render in Anthony's Close, pink brick, render and half timber in The Orchard and brown brick and weather boarding in The Coppers.

Views



Panoramic views of open countryside extend northwards from Rye Lane.

Detractor



The commercial buildings along Rye Lane have little landscaping to screen the buildings and extensive hard standing.

Locally Distinctive Positive Features

Victorian group with original details.

1930s symmetrical groups of house

Embankment trees form an attractive backdrop to the east side of Kingswood Road

Panoramic views of open countryside

Negative Features

Opportunity for the creation of individual buildings of interest and high standard of intrinsic design quality

Unscreened industrial buildings and forecourts

Design Guidance

The London Road/ Kingswood Road/ Station Road area has continued to evolve since its Victorian origins with infill and redevelopment opportunities. The area may continue to evolve with new buildings of a greater scale replacing those of low scale. There is some opportunity for the replacement of buildings of indifferent quality.

In proposing new development within the London Road/ Kingswood Road Character Area:

Individual buildings should be of a high standard of intrinsic design quality

Original Victorian and 1930s designs and features should be protected

The views of the countryside should be protected

Mature trees important to the character of the area should be protected or reinstated

Business units and associated open storage and parking areas should be well landscaped and screened

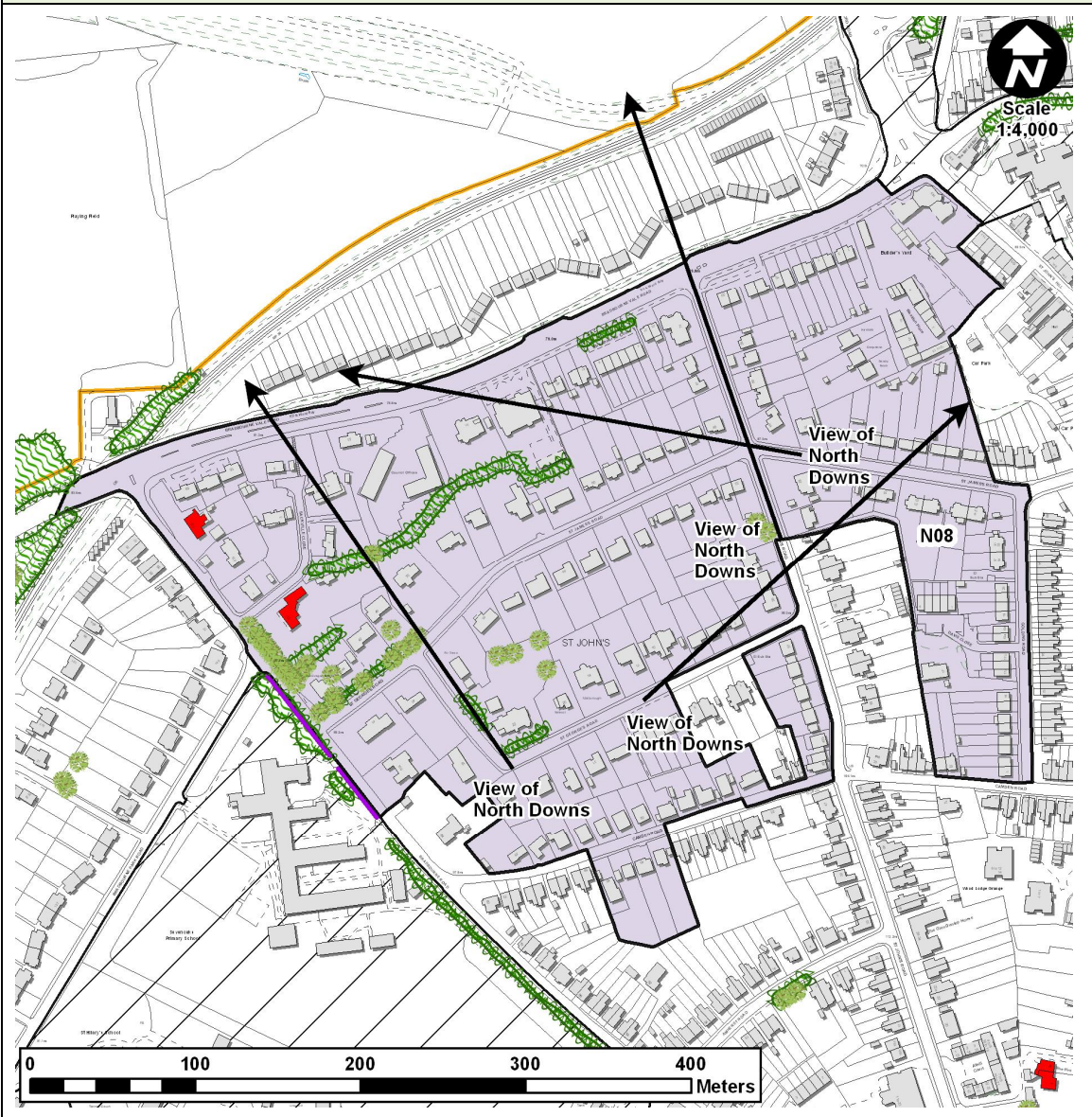
N08 ST JAMES'S ROAD ST GEORGE'S ROAD AREA

Comprising St James's Road, St George's Road, St John's Hill (part), Bradbourne Vale Road (part), Bradbourne Road (part), Sackville Close, Camden Road (part), Golding Road (west side)

HISTORICAL CONTEXT

St James's Road and St George's Road were laid out in the Edwardian period but, apart from some isolated Victorian and Edwardian buildings along Bradbourne Vale Road and a few Edwardian buildings in St George's Road, the area remained open fields and orchards. The area was then infilled and redeveloped gradually in a piecemeal fashion over the following century.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1850s to present day
Type of buildings	Terraced, semi-detached and detached residential properties with other mixed uses
Main uses	Residential with business and community uses
Building heights	One and two storeys with some 3 storeys
Prominent building materials	Various
Predominant boundary treatments	None or high ragstone wall along part of Bradbourne Vale Road. Trees and planting to some front boundaries
Open space/ vegetation	Trees and hedges to some front boundaries and trees within back gardens which help visually enclose the road.



The form, materials and designs of different blocks of development to the west side of Golding Road vary but the scale and building line of the semi detached and terraced houses complement the Victorian cottages opposite. Materials are varied but orange brick and white render are the most commonly used. There is a mix of hipped and pitched roofs and some properties have porches.





A mix of house types, scales and designs from different periods of development are set back from St James's Road.



The mix of house types, form, scales and designs from different periods of development are illustrated in St George's Road. The detached, semi detached and terraced properties are set back from St George's Road. The topography means that the houses on the south side of the road are set higher above the road whereas those to the north are generally set lower. The mature trees (top left) are important features around the Edwardian house and help enclose the road.



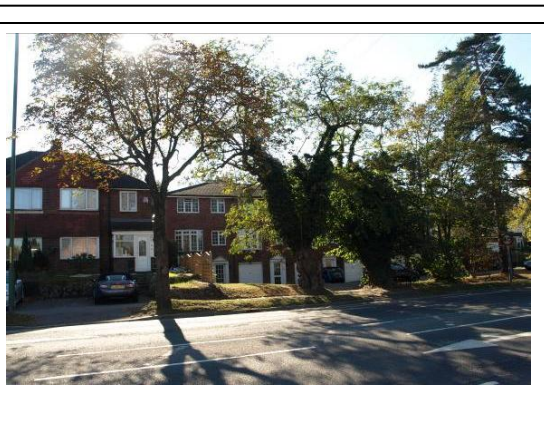
A mix of house types, forms and designs from different periods of development is evident in Camden Road. The detached properties are set on an uneven building line. The heights of buildings varies from one to two storeys. The topography means that the houses on the south side are set higher above the road.



The mix of house types, forms and designs from different periods of development are illustrated in St John's Road. The detached, semi detached and terraced properties are set back from St John's Road. The North Downs are visible above the buildings on the west side of the lower section of St John's Road.



Sackville Close is a short cul de sac of two storey detached houses tucked behind Bradbourne Road.



The mix of commercial development (top left), Town Council offices (top right) and different heights, types, forms and designs of houses from different periods of development is evident along the south side of Bradbourne Vale Road. Detached, semi detached and terraced properties are set back from Bradbourne Vale Road. The Town Council offices are of a scale and siting which result in a loss of enclosure to the street. Road side trees (bottom left) add to the sense of enclosure and provide a contrast to the built form. Traditional detailing such as decorative brick work and barge boards are visible on the Victorian properties (centre).

Views



Views of the North Downs are a feature of this area particularly from the junction of St James's Road and St John's Road (top left), the eastern end of St. George's Road (top right), the dog leg in St George's Road (bottom left) and St John's Road (bottom right).

Boundary Treatment



There is no consistent boundary treatment in the area, but hedge boundaries predominate in St James's Road east of St John's Road (top left) and west of St John's Road (top right).

Listed Buildings

Bradbourne Vale House

Early 19th Century, two storeys, painted brick, hipped Welsh slate roof. Ground floor with 3 French casements under projecting Regency canopy with trellis supports.

Grade 2



Vale Lodge

Early C19. Stucco, two storeys. Ridge Welsh slate roof. 3-window facade with later addition to right with coupled sash windows on both floors.

Centre panelled door with bottle glass top lights under projecting canopy with trellis supports. Sash windows on ground floor to right and left with moulded stucco surrounds

Ornamental spearhead cast iron railings in front of house with centre gate. Railings terminated to right and left by painted brick piers surmounted by ornamental plaster balls.

Grade 2



Locally Distinctive Positive Features

Listed buildings

Trees and hedges at some front boundaries providing a contrast to the built form and some mature trees within rear gardens visually enclosing the road

Views of the North Downs

Negative Features

Opportunity for the creation of individual buildings of interest and high standard of intrinsic design quality

Design Guidance

The St James's Road and St George's Road area has continued to evolve since its Victorian origins with infill and redevelopment opportunities. The area is likely to continue to evolve with new buildings of a greater scale replacing those of low scale. There is some opportunity for the replacement of buildings of indifferent quality.

In proposing new development within the St James's Road and St George's Road Area Character Area:

Individual buildings should be of a high standard of intrinsic design quality

Mature trees and hedges important to the character of the area should be protected

The listed buildings and their setting should be protected

The views of the North Downs should be protected

N09 MILL LANE/ SEAL ROAD

Comprising Mill Lane, North View Road, Seal Road (part)

HISTORICAL CONTEXT

Mill Lane served the former lace mill in the 18th Century and at this time was surrounded by fields and woodland. The area saw little further development until the 1930s when the eastern section of Mill Lane and limited development on the north side of Seal Road occurred. North View Road and the south side of Seal Road were developed in the 1960s and further redevelopment and piecemeal development has occurred in the area over more recent years.

TOWNSCAPE MAP



Area Characteristics



The form, height, materials and design of residential and commercial buildings is varied along Seal Road.



North View Road is accessed by a steep narrow road and serves a row of semi detached bungalows of repeated designs aligned on a regular building line.



The form, materials and designs of residential buildings is varied along Mill Lane. All are set back from the road with the houses on the east side slightly elevated. The group of white rendered semi detached 1930s houses (top left) are unified with their scale, building line, materials and hipped roofs even though some have been extended and personalised.

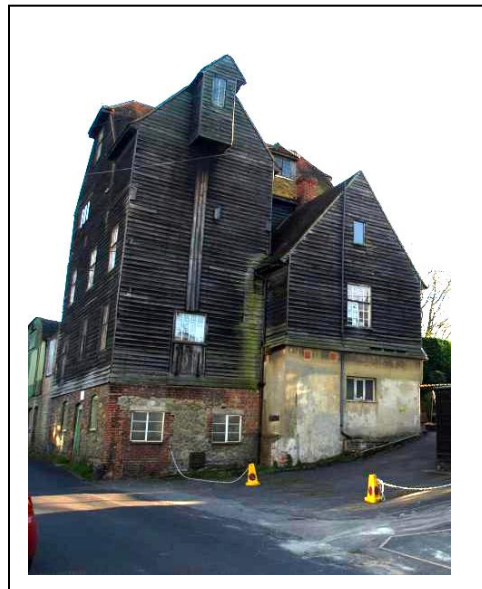
Landscape



The old mill pond has been restored and presents an important historic feature associated with the former mill and an attractive amenity open space which provides a break in the built form and a contrast to the adjoining built up area.

Landmark

The height, materials and unusual structure (including lofts, eaves and tiled roof) of the 19th Century six storey former lace then flour mill make this a prominent landmark in the street scene. The building has weather boarded elevations and base of random stone with brick quoins and dressings.



Boundary Treatment



The ragstone wall topped by trees forms a distinctive boundary on the south side of Seal Road and screens the bungalow development.

Locally Distinctive Positive Features

Repeated designs and building lines in Mill Lane and North View Road

Mill pond historic feature and amenity open space

Mill landmark feature

Ragstone wall topped by trees on south side of Seal Road

View of the North Downs from Seal Road/Grove Road junction.

Negative Features

Traffic on Seal Road

Road and paving surfacing

Design Guidance

The area has continued to evolve with infill and redevelopment opportunities. The close siting of development means there is limited opportunity for further development.

In proposing new development within the Mill Lane/ Seal Road Character Area:

Individual buildings should be of a high standard of intrinsic design quality

The repeated designs and building lines in Mill Lane and North View Road should be respected

Mature trees important to the character of the area should be protected

The character of the landmark mill building should be retained

The historic mill pond amenity open space should be protected

The view of the North Downs should be protected

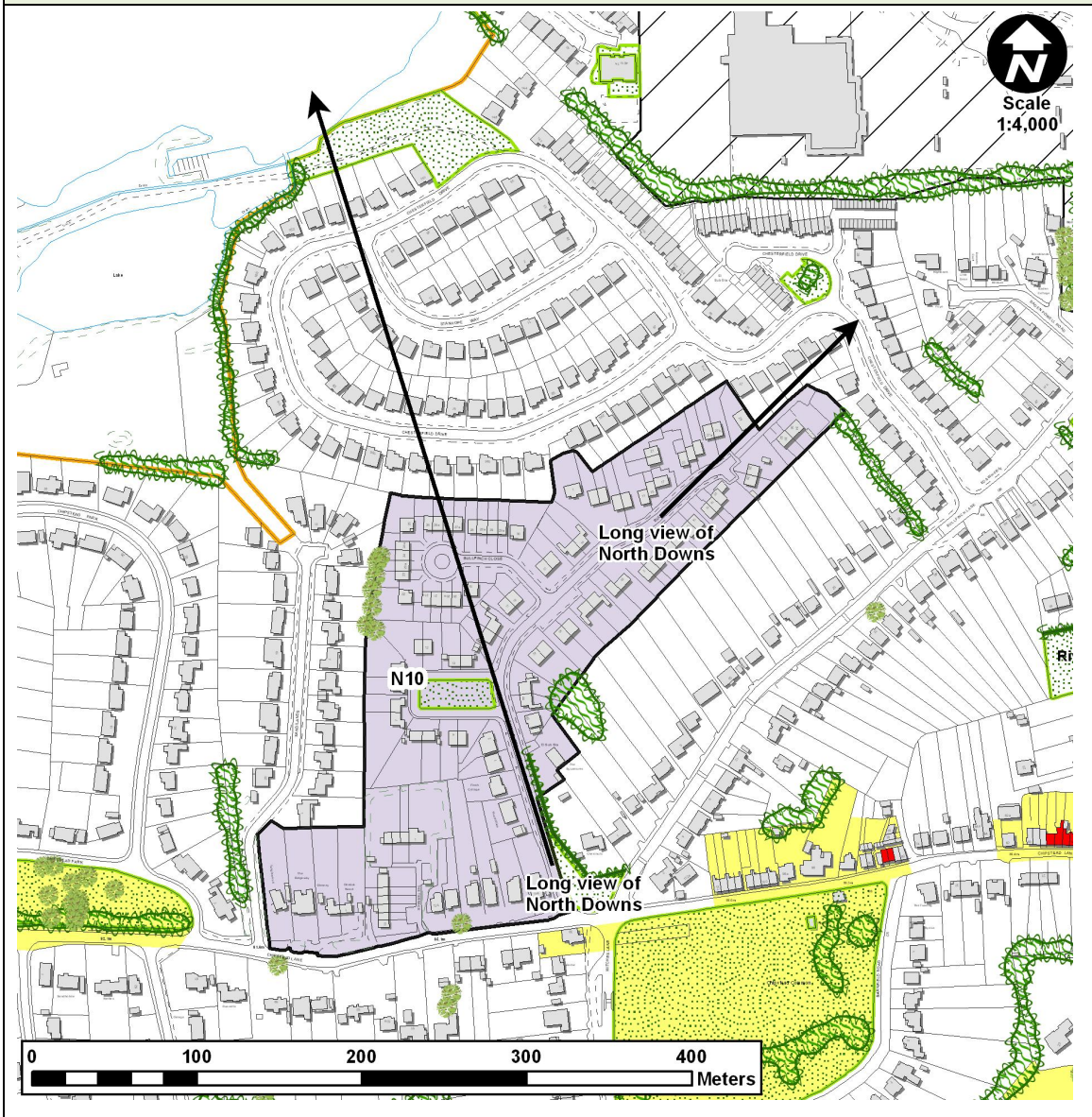
N10 CHIPSTEAD ROAD

Comprising Chipstead Road (part), The Terrace, Bullfinch Close (part)

HISTORICAL CONTEXT

A short row of detached bungalows was present on the north side of Chipstead Road in the 1930's and further infill development has occurred more recently.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1930's to present day
Type of buildings	Detached, semi detached and terraced
Main uses	Residential
Building heights	One and two storeys
Prominent building materials	Various
Predominant boundary treatments	Various
Open space/ vegetation	Verge along Bullfinch Close and the north side of Chipstead Road.

Area Characteristics



The form, height, materials and design of houses is varied along the north side of Chipstead Road. Properties are set back from the road, and raised above it along the eastern section.

The Terrace is a small enclave of two terraced blocks, one at right angles to Chipstead Road and the other set back from the main road. The houses are two storeys have pitched roofs and are accessed through a narrow, landscaped entrance.





The modern infill properties along the southern entrance to Bullfinch Close are set behind a road verge and front gardens on a relatively regular building line. The scale of properties varies from single to two storeys and the designs are varied.

There are long views of the North Downs from the southern section of Bullfinch Close.

Landscape



The verge to the north side of Chipstead Road and the boundary trees and hedges give a verdant character to this curved section of the street.

Locally Distinctive Positive Features

The verge, boundary trees and hedges to the north side of Chipstead Road
Views of the North Downs

Negative Features

No significant detractors

Design Guidance

The area has continued to evolve with infill and redevelopment opportunities. The close siting of development means there is limited opportunity for further development.

In proposing new development within the Chipstead Road Character Area:

Individual buildings should be of a high standard of intrinsic design quality

Mature trees and hedges important to the character of the area should be protected

Views of the North Downs should be protected

N11 - BADEN POWELL ROAD

Comprising Baden Powell Road

HISTORICAL CONTEXT

Baden Powell Road was built in the early 1960s on the site of a Victorian house named Brooklands.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1960+
Type of buildings	Detached and semi-detached
Main uses	Residential
Building heights	One – two storeys
Prominent building materials	Brown brick, brown roof tiles, white weatherboard, slate roof tiles.
Predominant boundary treatments	Hedges, dwarf walls and wooden fences. Some open plan.
Open space/ vegetation	Some verges, hedges, trees to the north and east.

Area Characteristics



The cul-de-sac is laid out with houses of various designs, heights and materials set back at angles to the road behind narrow verges and front gardens most of which are enclosed by wooden fences, low walls or hedges. Features include hipped roofs, chimneys, porches and square windows. The area has an inward looking residential character which is enhanced by the curving hedges and trees on the north and east side.



One property has been significantly extended and modernised, the white weatherboard and slate roof brightening and providing interest in the streetscape.

Locally Distinctive Positive Features

Intimate residential character with no through traffic
Verges, hedges and trees to the north and east enhance the character
Recent redevelopment brightens and provides interest in the streetscape

Negative Features

Some traffic noise from the London Road

Design Guidance

The area has continued to evolve with infill and extension opportunities. The close siting of development means there is limited opportunity for further development. There may be opportunity to redevelop some of the properties.

In proposing new development within the Baden Powell Road Character Area:

Individual buildings should be of a high standard of intrinsic design quality

Mature trees and hedges important to the character of the area should be protected

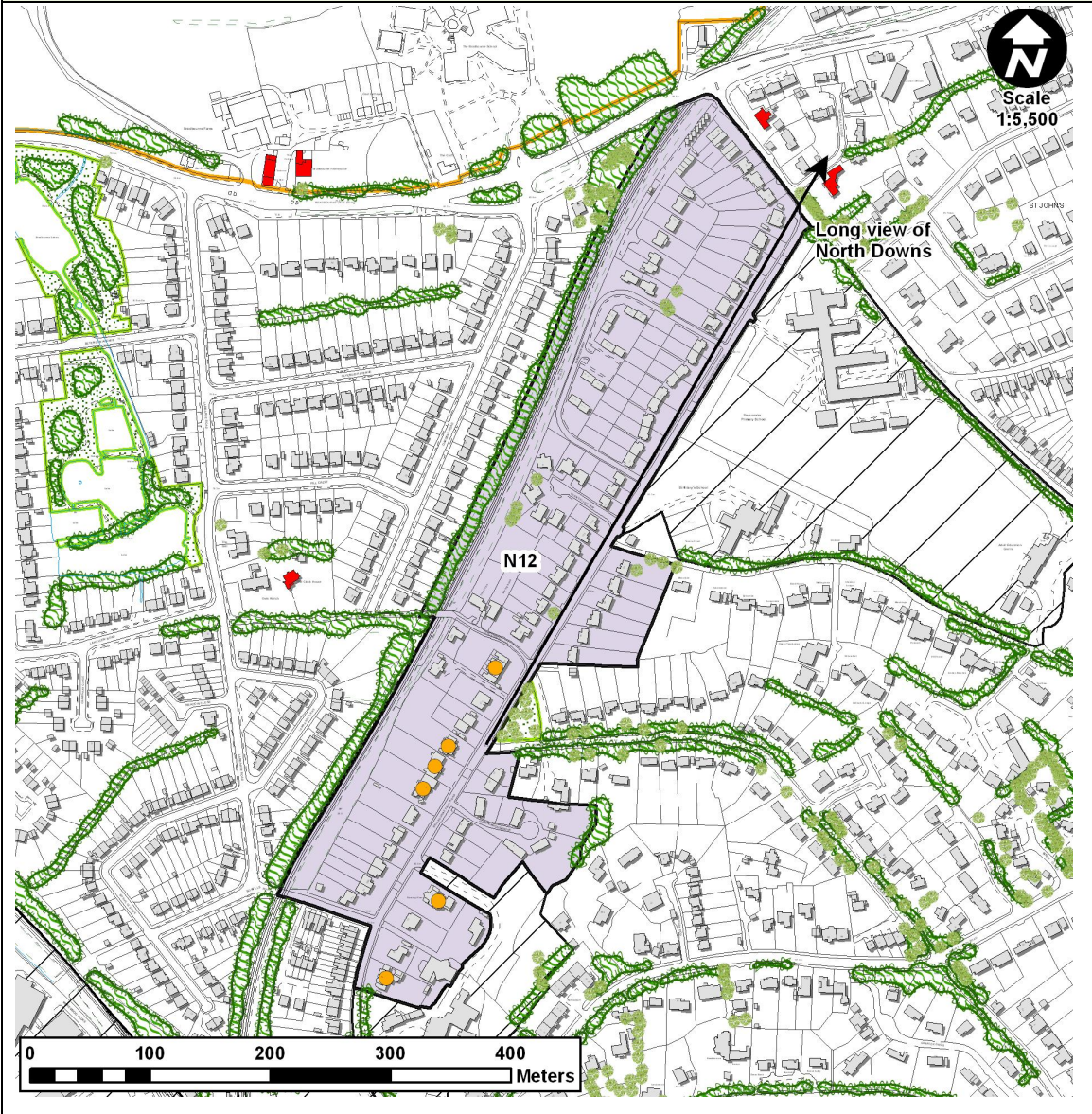
N12 BRADBOURNE PARK ROAD

Comprising Bradbourne Park Road, Chancellor Way, Charterhouse Drive, Harrison Way

HISTORICAL CONTEXT

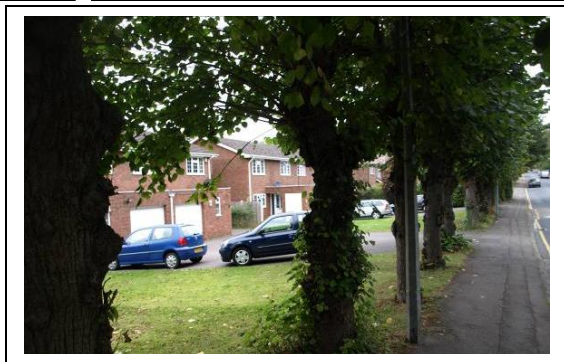
Bradbourne Park Road was established as a road running parallel to the railway line in Victorian times and several larger houses were built at this time. Bradbourne House was established in extensive grounds at the north western end of the route. The road was then developed in a piecemeal fashion in the 1930s and 1950's with other infill and backland development since.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	Late 18th Century to present day
Type of buildings	Detached, semi detached and terraced
Main uses	Residential
Building heights	One, two and three storeys
Prominent building materials	Various
Predominant boundary treatments	Various
Open space/ vegetation	Some mature specimen trees fronting Bradbourne Park Road and treed amenity open space at the entrance to Woodside Road.

Area Characteristics



The form, height, materials and design of houses is varied along Bradbourne Park Road. The ages range from Victorian to this century and different designs from each period sit along side each other. All properties are set back from the road, some with hedged boundaries, others with fences or open plan. House types vary from bungalows, terraced, semi detached and detached.

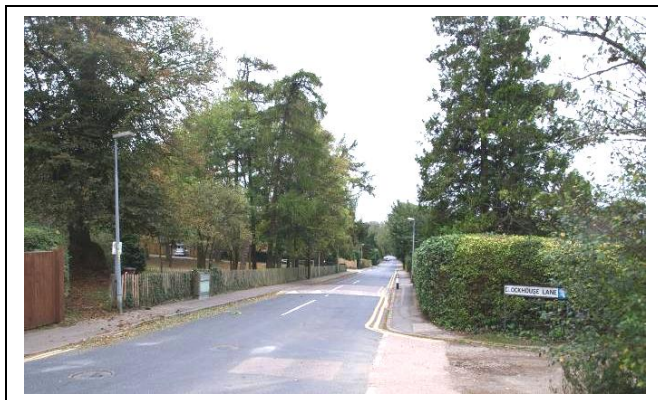


A short row of 1950s houses is arranged in a shallow curve at the north eastern end of the road. The planned row of symmetrically designed red brick and tiled semi-detached houses with hipped roofs and projecting gables forms a unified group.



Two short cul de sacs, Chancellor Way (above left) and Charterhouse Drive (above right), and the loop road Harrison Way, lead away from Bradbourne Park Road. Chancellor Way and Harrison Way to the north west back on to the railway line and are enclosed by trees (above right).

Landscape



The treed amenity open space at the entrance to Woodside Road provides a break in the built form, a contrast to the adjoining built up area and is a significant feature within Bradbourne Park Road.



Mature specimen trees punctuate Bradbourne Park Road and contribute to the character of the street.

Views



Long views of the North Downs are available along Bradbourne Park Road) above the roofs of the two storey houses.

Townscape Features



Three grand Victorian houses are located next to each other along north west side of Bradbourne Park Road (above). The scale, materials and details of the houses are representative of the period and act as a reminder of the origins of the character area. The unusual designs, two with central towers add to the interest of the features. These historic townscape features can be seen between and above boundary trees and hedges and add significantly to the character of the area.



Two 2 storey Victorian houses are located close to each other on the south east side of Bradbourne Park Road (above). The scale, designs and materials of the houses are representative of the period and act as a reminder of the origins of the character area. These historic townscape features can be seen between and above boundary trees and fences and add significantly to the character of the area.



This Victorian row of stone cottages is set back from the road behind a hedge and is not prominent in the street scene. The flat stone front façade, repeated window and door openings, slate roof and chimneys gives unity to the group and acts as a reminder of the origins of the character area.

Locally Distinctive Positive Features
Unity of the short row of 1950s houses at the north eastern end of Bradbourne Park Road
The amenity open space at the entrance to Woodside Road and mature specimen trees
The Victorian townscape feature buildings
Views of the North Downs

Negative Features
Opportunity for the creation of individual buildings of interest and high standard of intrinsic design quality

Design Guidance

The area has continued to evolve since its Victorian origins with infill and redevelopment opportunities. The close siting of development means there is limited opportunity for further development. There may be opportunity to redevelop some of the properties.

In proposing new development within the Bradbourne Park Road Character Area:

Individual buildings should be of a high standard of intrinsic design quality

The unity of the 1950s houses at the north eastern end of Bradbourne Park Road should be respected

The character of the Victorian townscape features should be retained

Mature trees important to the character of the area should be protected

Views of the North Downs should be protected

N13 WESTERHAM ROAD (WEST)

Comprising Westerham Road (part)

HISTORICAL CONTEXT

The area was occupied by a single house and outbuildings in the Victorian and Edwardian times, with most later development arriving in the 1930s.

TOWNSCAPE MAP



Locally Distinctive Contextual Features

Age of buildings	Late Victorian to present day
Type of buildings	Detached
Main uses	Residential and commercial uses
Building heights	One and two storeys
Prominent building materials	Various
Predominant boundary treatments	Some ragstone wall and hedge to Westerham Road
Open space/ vegetation	Trees and planting to front gardens.

Area Characteristics



The height of buildings along this section of Westerham Road varies from one to two storeys and there is a mix of residential and business uses. The building line varies from close to the road to a depot set back within a site. Materials are varied but red/orange brick and white render are the most commonly used. The design of buildings is varied with gable ends, pitched and hipped and roofs and bay, vertical and horizontal windows styles.

Townscape Feature



The prominent Victorian house 43 Westerham Road is set close to the road and is contemporary with other houses further to the east along the road. The two storey red brick house has a series of gable ended roofs with white barge boards which face both Westerham Road and the access into the site. The gabled roof and the tall decorative chimneys give an interesting roofscape. The upper windows have a strong vertical emphasis whilst a ground floor bay window adds interest to the western elevation. The low ragstone wall topped by hedge is typical for this part of Westerham Road. The painted decorative cast iron posts mark the entrance.

Locally Distinctive Positive Features

Victorian house 43 Westerham Road townscape feature
Ragstone boundary walls

Negative Features

Opportunity for the creation of individual buildings of interest and high standard of intrinsic design quality
Traffic

Design Guidance

The area has continued to evolve since its Victorian origins with infill and redevelopment opportunities. The close siting of development means there is limited opportunity for further development. There may be opportunity to redevelop some of the properties.

In proposing new development within the Westerham Road (west) Character Area:

Individual buildings should be of a high standard of intrinsic design quality

The character of 43 Westerham Road townscape feature should be retained

Ragstone front boundary walls should be retained or reinstated

N14 - CLARENDON ROAD

Comprising Clarendon Road (part)

HISTORICAL CONTEXT

This quarry land was severed from the rest of the Kippington Estate by the railway line. Clarendon Road was constructed in the late 19th century and in the 20th century the former quarry was occupied by a tennis club. The apartments and houses date from the 1960s to post 1990.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1960s – post 1990
Type of buildings	Detached and apartments
Main uses	Residential
Building heights	One, two and four storeys
Prominent building materials	Various
Predominant boundary treatments	Various
Open space/ vegetation	Tree belt along the railway line.

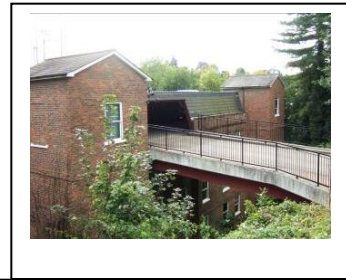
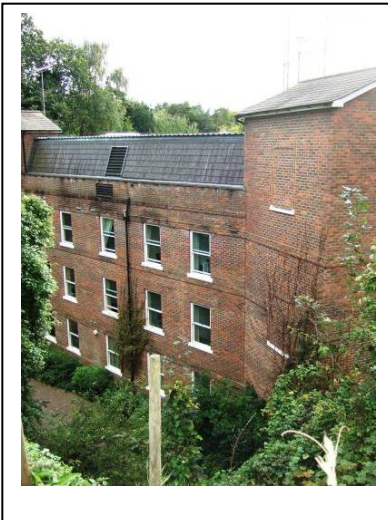
Area Characteristics



Clarendon Road has little traffic and has a quiet, residential character. This small mixed character area on the west side of Clarendon Road is outside the Granville and Eardley Road Conservation Area. The rest of the street lies within the Conservation Area. However, only the 1960s apartments (above right) are visible from the road. The other buildings are set at a lower level within the former quarry and have little impact on the setting of the Conservation Area. The brick colour of the apartments jars with the traditional materials of the surrounding area.



The detached houses are accessed via a steep landscaped driveway with a semi-rural character (above left) and nestle among the surrounding trees. The houses are of varied design and age with gabled or half hipped roofs and various materials including weatherboard, half timbering and hung tiles. They have unenclosed landscaped front gardens. The development has a private, secluded character (above right).



The four storey apartment block is also on low land with only the antennae visible above the board fence which together with the concrete pavement creates a harsh frontage on the west side of Clarendon Road. The plain brown brick elevations and sash windows are topped by a mansard roof. The gated vehicle access is at road level. The development is surrounded by tree belts which are visible over the building.

Views



There are glimpses of the North Downs (left) and vistas to the east and south into the Conservation Area.

Locally Distinctive Positive Features

The mixed character development is set below road level, having little impact on the setting of the Granville and Eardley Conservation Area

The detached housing is down a landscaped driveway, nestling among trees and has a private, secluded character

Glimpses of the North Downs and vistas of buildings, rooflines and chimneys within the Conservation Area

Tree belts are visible around and over the development

Negative Features

The brick colour of the 1960s apartments does not enhance the setting of the Conservation Area

The board fencing and concrete pavement on the west side of Clarendon Road presents a harsh frontage

Design Guidance

The area has continued to evolve since its Victorian origins with infill and redevelopment opportunities. The close siting of development means there is limited opportunity for further development. There may be opportunity to redevelop some of the properties.

In proposing new development within the Clarendon Road Character Area:

Individual buildings should be of a high standard of intrinsic design quality

Mature trees important to the character of the area should be protected

Views of the North Downs should be protected

The setting of the Granville and Eardley Conservation Area should be protected or enhanced

Ragstone front boundary walls should be retained or reinstated

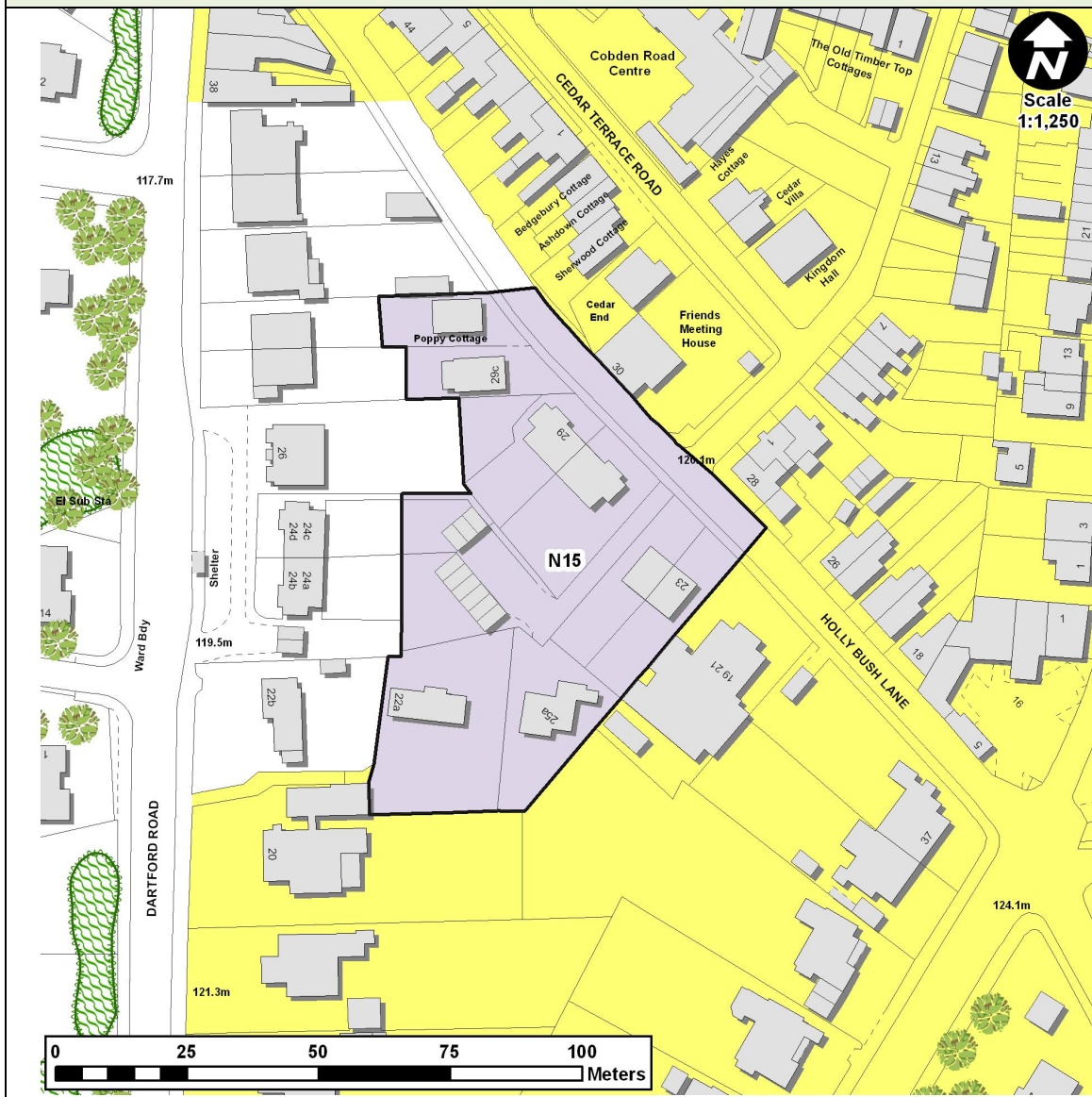
N15 - HOLLYBUSH LANE

Comprising Hollybush Lane (part)

HISTORICAL CONTEXT

Whilst parts of Hollybush Lane were developed in the Victorian period this small area was developed in a piecemeal fashion from the 1930s.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1930s – present day
Type of buildings	Detached and semi-detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Various
Predominant boundary treatments	Dwarf walls
Open space/ vegetation	Front gardens

Area Characteristics



The form, building line, materials and design of residential and commercial buildings is varied. The symmetrical pair of 1930s semi detached houses has traditional features from that period.

Backland development is concealed discretely down an access drive (left).

The area forms part of the setting for the Hartslands Conservation Area.

Locally Distinctive Positive Features
1930s semi detached houses with traditional features

Negative Features

Uncoordinated designs

Design Guidance

The area has continued to evolve with infill and extension opportunities. The close siting of development means there is limited opportunity for further development. There may be opportunity to redevelop some of the properties.

In proposing new development within the Hollybush Lane Character Area:

Individual buildings should be of a high standard of intrinsic design quality

The setting of the adjoining Hartslands Conservation Area should be protected or enhanced