

## M CLUSTERED CUL-DE-SAC CHARACTER AREAS



Whereas development in the 1950s, 60s, 70s and early 80s often consisted of houses spaced out evenly along, and facing, the road on a relatively consistent building line, developments in Sevenoaks during the late 1980s and 1990s primarily consist of detached or attached houses, or occasionally apartments, set along an uneven building line or at angles to the road. The different roof forms and details often give interesting and varied roofscapes. Properties often front directly onto the pavement/road or shared surface or are set behind a shallow unenclosed front garden of low planting and have private enclosed space to the side or rear. Houses have parking spaces or garages. The steep roofs and more compact form give the development a more enclosed urban character. The urban form is softened by the use of short curved cul-de-sac layouts which keep traffic speeds low and often encourage shared road use for pedestrians and cars. Sometimes the access roads will be paved in a contrasting colour to emphasise this shared use. The enclosed cul de sac layouts create a quiet, private character.

The curved street layout combined with the variable building line, also creates a series of enclosed spaces and changing vistas and views which to some extent replicates the ad hoc development found in traditional town and village centres. Whilst a variety of materials and building designs are used, the overall form, materials, scale and character is generally very cohesive.

Properties are finished in a variety of traditional materials with relevance to the Sevenoaks and Kent vernacular such as yellow or red/brown bricks, weatherboarding, white painted render and hanging clay tiles. The designs also incorporate traditional details such as dormer or half dormer windows, arched brickwork over doors and windows, contrasting brick string courses and chimneys. Windows and doors are often well aligned with each other and the dominant areas of brickwork over glazing gives the facades a robust appearance. The consistent scale, use of materials and detailing contribute to a cohesive character.



Example of Clustered Cul-de-sac Layout

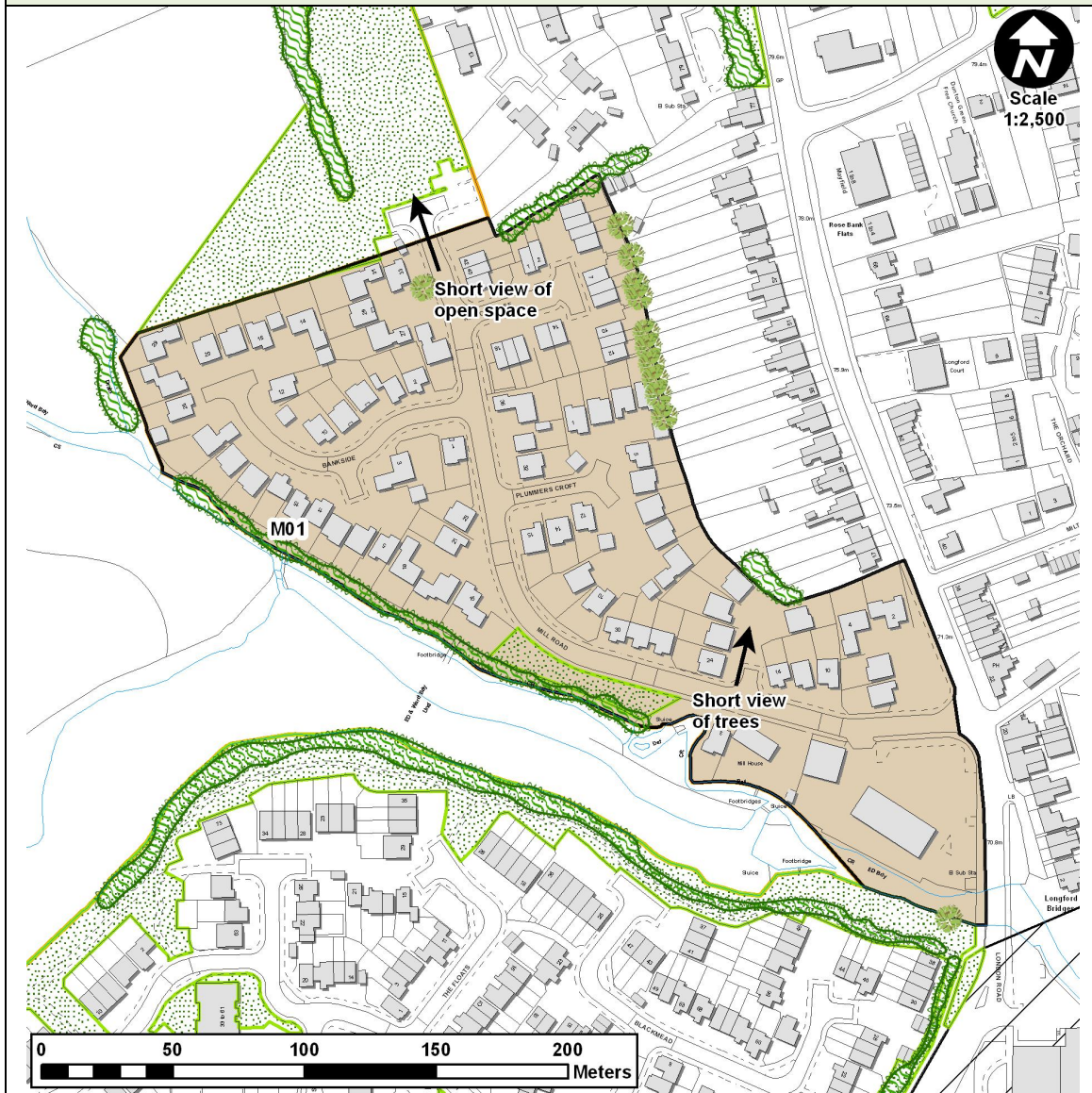
## M01 – MILL ROAD AREA

Comprising Mill Road, Plummers Croft, Bankside and Killick Close

### HISTORICAL CONTEXT

The site was developed in the late 1980s following the demolition of the 19th century Longford corn mill. In the 1930s this was the site of a popular Lido.

### TOWNSCAPE MAP





Locally Distinctive Contextual Features	
Age of buildings	Late 1980s
Type of buildings	Detached, semi detached and terraced
Main uses	Residential with commercial unit by entrance.
Building heights	Two storeys
Prominent building materials	Brown, red and yellow brick with contrast details and brown tiled roofs
Predominant boundary treatments	Open plan
Open space/ vegetation	Trees in and around the development. Soft landscaping within the gardens. Access to public open space to the north.

### Area Characteristics



*The houses are close together, clustered around short cul-de-sacs and shared accesses behind paved driveways and soft landscaping. This arrangement contributes to an inward looking residential character. Each cul-de-sac has a distinct identity although there are common design themes throughout the development resulting in a cohesive character.*

*The majority of the two storey houses are detached or attached, constructed of red, brown or yellow brick with variations in the brick bonds and decorative finishes. These include half timbering, white painted render, contrast brick details and herringbone and basketweave brickwork. The houses have brown or red tiled gabled or half hipped roofs, with forward facing gables. A number have single storey bay windows and forward projecting ground floor garages and porches with pitched tiled roofs.*







*The houses in Killick Close are semi-detached or terraced and are of simpler design in yellow or red brick with contrast brickwork and gabled brown tiled roofs. The monopitch porch canopies are supported on white wooden posts or brackets. This street has a more uniform character and even building line than the rest of the area.*



*The entrance to Mill Road has a commercial character on the south side as a car showroom occupies the site of the former corn mill. Low soft landscaping fronting onto the pavement and trees to the rear soften the appearance of the warehouse.*

## Landscape



*Belts of trees to the south and west enclose the views and are visible over the houses. These trees and the soft landscaping within the development enhance the character of the area. There is direct access to green open space and the countryside to the north.*

### Locally Distinctive Positive Features

Tightly clustered houses informally arranged around cul-de-sacs and shared accesses behind paved driveways and soft landscaping

Traditional materials represent the local vernacular with traditional brick, tile and roof details

Repeated designs but variations give each street a distinct identity

Tree belts to the south and west enclose the views, forming a backdrop to the buildings. Trees and soft landscaping enhance the character of the area.

The surface treatments are in good condition

There is no through traffic and the development has an inward looking residential character

### Negative Features

Traffic noise from the M26 to the north west

### Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Mill Road Area Character Area:

The harmonious palette of brown, red and yellow brick with contrast details and brown roof tiles should be respected

Mature trees which contribute to the character of the area should be retained

M02 – PINEHURST

Comprising Pinehurst and Filmer Lane (part)

HISTORICAL CONTEXT

Pinehurst was constructed on a former quarry on the northern edge of the town after 1990.

TOWNSCAPE MAP





Locally Distinctive Contextual Features	
Age of buildings	1990+
Type of buildings	Detached
Main uses	Residential and nursing home
Building heights	One to two storeys
Prominent building materials	Brown and buff brick, orange brick, brown roof tiles, dark timber.
Predominant boundary treatments	Open plan
Open space/ vegetation	Grassed treed open spaces within the development. Tree belt to the north.

### Area Characteristics



*The houses are clustered at angles to the road behind paved driveways or open plan grassed frontages. The curved street and trees prevent long views and the area has an inward looking quiet residential character. The grassed open spaces, trees and shrubs provide interest in the predominantly brown townscape. A variety of surfacing also adds interest.*



The houses are of repeated designs with brown brick elevations with orange brick details. Brick pillars, timber cladding and front facing gables are distinctive features. The wide windows have dark wood frames. The gabled moderately steep pitched plain tiled roofs have chimneys near the ridge. Single storey monopitch porches project forward. The distinctive design contributes to the coherent character.



*The single storey nursing home nestles amongst open plan landscaped gardens and parking areas at the lower western end of the cul de sac, creating a verdant entrance to the development. The belt of trees to the north form a backdrop, enclosing the space.*

### Locally Distinctive Positive Features

Tightly clustered houses informally arranged around cul-de-sacs and shared accesses behind paved driveways and soft landscaping

Traditional materials represent the local vernacular with traditional brick, tile and roof details

Repeated designs contribute to a cohesive character

Inward looking, quiet residential character with no through traffic

Open spaces, mature trees and the tree belt to the north contribute to a verdant character which contrasts with the predominantly brown townscape

A variety of surfacing adds interest

### Negative Features

No significant detractors

### Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Pinehurst Character Area:

The harmonious palette of brown and buff brick, orange brick, brown roof tiles and dark stained timber should be respected

Mature trees which contribute to the character of the area should be retained

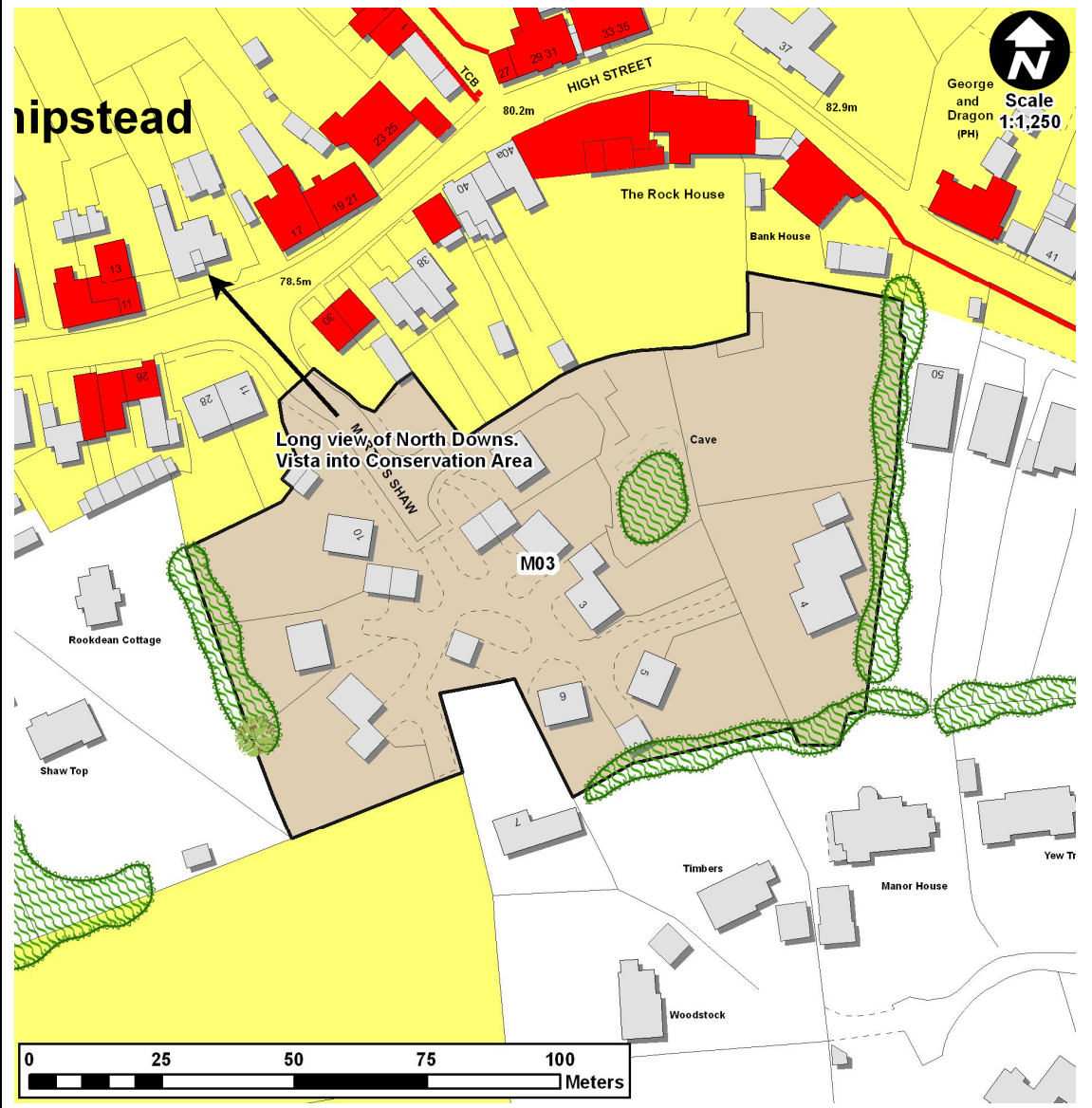
## M03 – MARTIN'S SHAW

Comprising Martin's Shaw

### HISTORICAL CONTEXT

Martin's Shaw occupies the site of the Chipstead caves which were formerly in the grounds of Bank House and were excavated in the 19th and 20th centuries for the sandstone used in the whitening works which was operated by the Martin family.

### TOWNSCAPE MAP





Locally Distinctive Contextual Features	
Age of buildings	1975-85
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Red/brown brick, painted render in pastel shades, roof tiles, red/brown hung tiles.
Predominant boundary treatments	Open plan
Open space/ vegetation	Trees, shrubs and small grassed areas.

### Area Characteristics



*The houses are clustered at angles to the road behind paved driveways or open plan grassed frontages. The area has quiet, intimate, residential character with no through traffic but some road noise from the High Street and motorway to the north. The grassed open spaces, trees and shrubs provide interest and soften the townscape. Trees form a backdrop to the houses enclosing the view to the south. The tarmac and gravel surfacing retains the informal character. The entrance is enclosed by old brick walls and landscaping.*



*The two storey houses are tile hung on the upper storey and have pitched porches or porch canopies supported on wooden brackets. The quite steeply pitched gabled roofs are brown tiled. The houses are of various designs but have a cohesive character due to the consistent scale and materials.*



*The site rises towards the south allowing long views towards the North Downs and short vistas into Chipstead Conservation Area. The set back of the houses from the High Street, the retention of old walls at the entrance and the landscaping ensure that this development does not harm the historic character of the Conservation Area.*

#### **Locally Distinctive Positive Features**

Tightly clustered houses informally arranged around a cul-de-sac behind paved accesses or open frontages

Traditional materials represent the local vernacular

The consistent scale and use of materials contribute to a cohesive character

Quiet, intimate residential character with no through traffic

Grassed areas, mature trees and shrubs soften the townscape and trees enclose the development to the south

The tarmac and gravel surfacing enhances the informal character

There are long views to the north of the North Downs and vistas into the Conservation Area

The set back from the High Street, the old walls and landscaping protect the character of the Conservation Area

#### **Negative Features**

Some traffic noise from the High Street and the M26 to the north.

#### **Design Guidance**

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Martin's Shaw Character Area:

The harmonious palette of white painted render or pebbledash, half timbered gables, hung tiles, brown brick and plain brown roof tiles should be respected

Mature trees which contribute to the character of the area should be retained

Views of the North Downs should be protected

The setting of the Chipstead Conservation Area should be protected or enhanced

## M04 – LANSDOWNE ROAD

Comprising Lansdowne Road (part)

### HISTORICAL CONTEXT

This development was constructed post 1990 on former playing fields.

### TOWNSCAPE MAP





Locally Distinctive Contextual Features	
Age of buildings	1990+
Type of buildings	Detached and semi-detached.
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Brown brick, red/brown roof tiles, white timber window frames and weatherboard.
Predominant boundary treatments	Open plan
Open space/ vegetation	Playing field to the south west enclosed by trees. Treed open space east of Lansdowne Road.

### Area Characteristics



*Two detached houses are set at angles to the road at the entrance. The remaining buildings are constructed either side of the cul-de-sac with a garage block at the northern end. The semi detached houses on the south side are on an even building line on relatively narrow plots whilst the detached houses to the north are on an uneven line on wider plots. The properties are behind landscaped frontages, some partially enclosed by hedges. The development has a tranquil, inward looking character enhanced by the absence of through traffic and the low height and intimate scale of the buildings. The road is block paved which enhances the residential character.*

*The houses are of various repeated designs with steep pitched tiled gabled roofs, distinctive pitched dormer windows with white weatherboarding, side chimney stacks, and mellow brown brick work, some of which is rendered and painted white. Occasional forward facing gables add interest in the streetscape. The semi detached properties have prominent single storey garages which project forward. The development has a strongly cohesive character due to the repeated designs and materials. The white woodwork is a particular feature.*



*This small clustered development is accessed via a curved road enclosed by trees, hedges and a brick wall contributing to the private, residential character. There are glimpses through to the playing fields. Within the development there are views to the north of trees and longer views of the North Downs. The landscaping and verdant setting enhances the character of the area.*

#### **Locally Distinctive Positive Features**

Tightly clustered houses arranged around cul-de-sac behind landscaped frontages, some partially enclosed by hedges

Traditional materials represent the local vernacular

Repeated designs and materials give a strong cohesive character

Inward looking, quiet residential character with no through traffic

Open space, mature trees, hedges, grass and shrub planting contribute to the landscaped setting.

The paved surfacing enhances the development contributing to the residential character

View to the north west towards the North Downs

#### **Negative Features**

No significant detractors

#### **Design Guidance**

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Lansdowne Road Character Area:

The harmonious palette of brown brick, weatherboard, red/brown roof tiles and white timber window frames should be respected

Mature trees which contribute to the character of the area should be retained

Views of the North Downs should be protected

Comprising Hitchen Hatch Place

Hitchen Hatch Lane is a historic route which wound from the Vine area of Sevenoaks past woods and fields to the Tubs Hill area. Development along the southern side began in the late 19th Century with the construction of substantial houses set within large plots. This section was developed from the 1930s onwards. Hitchen Hatch Place is constructed on the site of earlier houses.

0 25 50 75 100 Meters

117.0m

119.5m

M05

Meadowfield

HUNSDON DRIVE

1 to 6

1 to 8

Blen Court

19a

25

13

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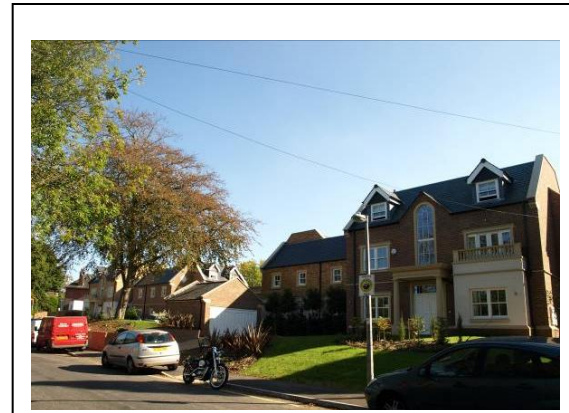
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Locally Distinctive Contextual Features	
Age of buildings	2011
Type of buildings	Detached houses
Main uses	Residential
Building heights	Two – three storeys
Prominent building materials	Yellow or red/brown brick with brown or grey roof tiles
Predominant boundary treatments	Open plan
Open space/ vegetation	Individual specimen trees retained

### Area Characteristics



*The two/three storey houses are set close together on an uneven building line either side of the access road behind narrow unenclosed landscaped frontages and facing Hitchen Hatch Lane behind a deeper grassed frontage and retaining wall. The buildings are constructed of yellow or red/brown brick with brown or grey tile steeply pitched gable roofs with forward facing gables and pitched dormers. They incorporate a number of neoclassical design features including broken pediments, stone porches on pillars, balconies and balustrades, friezes, motifs and bands. Classical tall arched windows and divided pane sash windows also feature.*

*The development has a cohesive and distinctive character due to the repeated neo-classical design themes, consistent materials and scale. However the character of the area juxtaposes the generally enclosed verdant character of Hitchen Hatch Lane by virtue of the scale and mass of the buildings and clustered layout with open frontages.*

### **Locally Distinctive Positive Features**

Tightly clustered houses informally arranged around a cul-de-sac behind paved accesses or open frontages

Traditional materials represent the local vernacular

The consistent scale and use of materials contribute to a cohesive character

Residential, inward looking character with no through traffic

Cohesive and distinctive character with common design themes, colours and materials and consistent building height and scale

Trees visible behind and above the building

### **Negative Features**

The development dominates the streetscene and detracts from the enclosed, verdant, character of Hitchen Hatch Lane

### **Design Guidance**

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Hitchen Hatch Place Character Area:

The harmonious palette of yellow or red/brown brick with brown or grey roof tiles should be respected

Mature trees which contribute to the character of the area should be retained and enhanced and additional landscape features added to the frontage of Hitchen Hatch Lane and lining the access road

## M06 – THE THICKETTS

Comprising The Thicketts, Egdean Walk and Dartford Road (part)

### HISTORICAL CONTEXT

These two post 1990 cul-de-sacs were built within the plots of two demolished 19th Century properties. The two detached houses in Dartford Road were constructed in the 1950s.

### TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1950s and 1990s +
Type of buildings	Detached
Main uses	Residential
Building heights	One – two storeys
Prominent building materials	Red/brown, brown, orange and grey brick, white render, orange hung tiles
Predominant boundary treatments	Open plan, hedges, wooden fences and brick walls
Open space/ vegetation	Grassed frontages, hedges and trees within and around the developments

### Area Characteristics



*The Thicketts is a short curved cul-de-sac accessed off the Dartford Road (above left). The attached and detached two storey houses are set on an uneven building line behind a pavement and unenclosed grass frontages with shrubs. The development has an inward looking residential character. Trees frame the development to the north and west.*

*The houses are of red/brown or brown brick with orange or grey brick details, dark brown window frames and tiled gabled or hipped roofs. Some have rendered white painted ground floors and some brown tile hung upper storeys. The properties have mono pitch porches.*



*There is a vista eastwards into the Vine Court Conservation Area (left). The development is set back from Dartford Road behind grass verges, hedges and tall trees which help to maintain the green character of this section of the Dartford Road, protecting the setting of the Conservation Area.*





*Egdean Walk is a curved cul-de-sac clustered development of detached two storey houses set behind grassed frontages with trees and shrubs (left). The wide front elevations have forward projecting garages, roofs which slope down to ground floor level and pitched dormer windows. The properties also have porches. The houses are red/brown brick with tile hung upper storeys and brown roof tiles, with chimneys at the side. The development has an inward looking residential character and is enhanced by trees within and around the cul-de-sac.*



*The entrance is flanked by two bungalows set back from Dartford Road within landscaped plots enclosed by picket fences and hedges which maintain the building line of this part of Dartford Road.*



*Two 1950s houses of brown brick with hipped brown tiled roofs set back behind landscaped front gardens enclosed by hedges, trees and brick walls, lie between the two cul-de-sacs. The landscaped frontage enhances the character of the street, providing a high quality setting for the Conservation Area.*

#### Locally Distinctive Positive Features

Tightly clustered houses informally arranged around cul-de-sacs behind grass verges, hedges and tall trees

Traditional materials represent the local vernacular with traditional detailing

The consistent scale and use of materials contribute to a cohesive character

Residential, inward looking character of The Thicketts and Egdean Walk with no through traffic

Trees fronting Dartford Road and within and surrounding the developments

Regular building line on the Dartford Road, with buildings set back behind landscaped, enclosed front gardens, maintaining the green character of this part of Dartford Road and the setting of the Vine Court Conservation Area

Vistas into the Vine Court Conservation Area

#### Negative Features

No significant detractors

#### Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Thicketts Character Area:

The harmonious palette of red/brown, brown, orange and grey brick, white render, orange hung tiles should be respected

Mature trees which contribute to the character of the area should be retained

The setting of the Vine Court Conservation Area should be protected or enhanced

## M07 – FIENNES WAY

Comprising Fiennes Way and Ashburnham Close

### HISTORICAL CONTEXT

A post 1990 development on formerly open land which was the site of the Sole Fields battle between rebels and royalists in 1450. Sir James Fiennes, the owner of Knole Park, was executed during the rebellion.

### TOWNSCAPE MAP





Locally Distinctive Contextual Features	
Age of buildings	1990 +
Type of buildings	Semi detached, detached and attached
Main uses	Residential
Building heights	One – two storeys
Prominent building materials	Buff and brown brick, brown roof tiles, red/ orange hung tile
Predominant boundary treatments	Open plan, wooden fencing along north side
Open space/ vegetation	Overlooking communal gardens. Reservoir to south east.

### Area Characteristics



*The two cul-de-sacs share an access with Solefield Preparatory School. The one- two storey semi-detached, detached and attached houses are of a consistent design with buff or brown brick elevations, red/brown hung tiles on the upper storey, hipped brown tiled roofs, dark wood window frames and pitched porch canopies supported on dark wooden brackets. The houses are arranged at angles to the road and facing onto shared accesses behind open plan grassed landscaped frontages. The area has a quiet, residential character with no through traffic. Trees are visible above and between the buildings. The surface is block paved.*



*To the north, the development overlooks the communal gardens of an earlier housing development. There are glimpses north of tree belts.*



<b>Locally Distinctive Positive Features</b>
Tightly clustered houses informally arranged around cul-de-sacs behind open plan frontages Traditional materials represent the local vernacular Repeated designs and consistent use of materials contribute to a cohesive character Residential, inward looking character with no through traffic Trees visible within and around the development Good quality surfacing

<b>Negative Features</b>
No significant detractors

<b>Design Guidance</b>
The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time. In proposing new development within the Fiennes Way Character Area: The harmonious palette of buff and brown brick, red/ orange hung tile and brown roof tiles should be respected Mature trees which contribute to the character of the area should be retained

## M08 – HOLLYBUSH CLOSE

Comprising Hollybush Close and Vine Lodge Court

### HISTORICAL CONTEXT

The two cul-de-sacs were constructed in the 1990s on open land adjoining Vine Lodge. This lodge building originally formed part of the Vine Court Lodge estate but the main house was demolished in the late 19th century and the area north of the Vine Cricket ground was redeveloped for housing

### TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1990+
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Yellow brick with red brick details and half timbering.
Predominant boundary treatments	Open plan
Open space/ vegetation	Grassed treed open spaces within the development. Tree belt to the north.

### Area Characteristics



*The two storey houses are clustered around the short curved cul-de-sacs behind open or enclosed landscaped grass frontages and driveways. The houses are of cohesive design with yellow brick elevations, red brick details, grey hipped roofs with forward facing gables which are painted white with half timber detailing. Shaped barge boards and finials add interest. The consistent designs, colours and details create a cohesive and distinctive character.*



*The clipped hedges are a particular feature of Hollybush Close. The character is enhanced by quality block paving and coordinated black lamps. Some properties are down driveways enclosed by hedges or fences. Trees enclose the view to the south, contributing to the green character (above left and right).*

*Vine Lodge Court is slightly more compact but faces directly onto Vine Lodge in the Conservation Area. The yellow brick buildings and grey hipped roofs reflect the style and roofline of the stone Vine Lodge thereby protecting the character of the Conservation Area.*

#### **Locally Distinctive Positive Features**

Clustered houses informally arranged around a cul-de-sac behind paved accesses and landscaped grass frontages or open frontages

Traditional materials represent the local vernacular with traditional detailing

The consistent scale and use of materials contribute to a cohesive character and reflect the design of Vine Lodge within the Conservation Area, protecting the character of the Conservation Area

Inward looking, quiet residential character with no through traffic.

The quality surfacing and coordinated black lamps enhance the character.

The trees to the south form a backdrop to the buildings enhancing the green character of the area.

Hollybush Close has a verdant character created by the trees, open grass frontages and curving clipped hedges which are a particular feature.

#### **Negative Features**

No significant detractors

#### **Design Guidance**

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Hollybush Close Character Area:

The harmonious palette of yellow brick with red brick details, half timbering and grey roof tiles should be respected

Mature trees and hedges which contribute to the character of the area should be retained

The setting of the Vine Court Conservation Area should be protected or enhanced



## M09 – BIRCH CLOSE

Comprising Birch Close

### HISTORICAL CONTEXT

The area north of Hitchen Hatch Lane comprising agricultural land, Mount Harry and Barrack Wood was laid out with large houses along curving streets in the late 19th Century. This cul-de-sac was a redevelopment of two late Victorian properties which were demolished post 1990.

### TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1990+
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Buff and brown brick, brown roof tiles, red or brown hung tiles and weatherboard.
Predominant boundary treatments	Hedges
Open space/ vegetation	Green verges, hedges, trees and trees to the north and west of the area.

### Area Characteristics



*The site slopes gently down to the north. The detached two storey houses are clustered around the short curved cul-de-sac and shared accesses, set back behind verges, trees and front gardens enclosed by clipped hedges. The soft landscaping is a particular feature of the area. Trees are visible behind and over the houses to the north and west.*

*The individually designed houses are constructed of buff and brown brick with hipped brown tiled roofs, brown or red hung tiles and weatherboard. The common design themes and materials contribute to a cohesive character.*



### **Locally Distinctive Positive Features**

Clustered houses informally arranged around a cul-de-sac and shared accesses, set back behind verges, trees and front gardens enclosed by clipped hedges

Traditional materials represent the local vernacular

The consistent scale and use of materials contribute to a cohesive character

Residential character with no through traffic

The trees to the north and west form a backdrop to the buildings enhancing the green character of the area

The area has a verdant character created by the trees, grass verges and curving clipped hedges. The soft landscaping is a particular feature.

### **Negative Features**

No significant detractors

### **Design Guidance**

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Birch Close Character Area:

The harmonious palette of buff and brown brick, red or brown hung tiles, weatherboard and brown roof tiles should be respected

Mature trees and hedges which contribute to the character of the area should be retained

## M10 – WINCHESTER GROVE AND OAKWOOD DRIVE

Comprising Winchester Grove and Oakwood Drive

### HISTORICAL CONTEXT

Hitchen Hatch Lane is a historic route which wound from the Vine area of Sevenoaks past woods and fields to the Tubs Hill area. Development along the southern side began in the late 19th Century with the construction of substantial houses set within large plots. These two cul-de-sacs were constructed after 1990, in the grounds of two demolished Victorian properties.

### TOWNSCAPE MAP





Locally Distinctive Contextual Features	
Age of buildings	1990s +
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Brown brick, hung tiles, brown roof tiles, half timbering, white render.
Predominant boundary treatments	Open plan with some hedges and fences.
Open space/ vegetation	Open landscaped frontages and open space, hedges and trees. Trees visible over and between the houses.

### Area Characteristics



*The two storey properties in Winchester Drive (above) and Oakwood Drive (below) are clustered on an uneven building line at angles to the street and shared accesses behind open plan or partially enclosed landscaped frontages. The properties have hipped or half hipped brown tiled roofs with some forward facing gables and brick elevations. They incorporate a number of decorative finishes including white painted rendered elevations, half timbering, contrast brickwork and hung tiles. Mature trees are visible between and behind the properties. The uniform height and scale of the buildings and common design features and finishes contribute to a cohesive character. The developments have a quiet, inward looking residential character with no through traffic, which is enhanced by the soft landscaping. An area of open space runs down the east side of Oakwood Drive enhancing the green character.*



Locally Distinctive Positive Features
<p>Clustered houses informally arranged around cul-de-sacs behind open plan or partially enclosed landscaped frontages</p> <p>Traditional materials represent the local vernacular</p> <p>The consistent scale, common design themes and use of materials contribute to a cohesive character</p> <p>Residential, inward looking character with no through traffic</p> <p>Trees within and surrounding the developments</p>

Negative Features
No significant detractors

Design Guidance
<p>The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.</p> <p>In proposing new development within the Winchester Grove and Oakwood Drive Character Area:</p> <p>The harmonious palette of brown brick, red/orange hung tiles, half timbering, and brown roof tiles should be respected</p> <p>Mature trees which contribute to the character of the area should be retained</p>

## M11 - WHITE LODGE CLOSE

Comprising White Lodge Close

### HISTORICAL CONTEXT

Hitchen Hatch Lane is a historic route which wound from the Vine area of Sevenoaks past woods and fields to the Tubs Hill area. Development along the southern side began in the late 19th Century with the construction of substantial houses set within large plots. This section was developed from the 1930s onwards. White Lodge Close was built post 1990 on the site of an earlier house.

### TOWNSCAPE MAP





Locally Distinctive Contextual Features	
Age of buildings	1990s +
Type of buildings	Apartment blocks constructed with the appearance of houses
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Brown brick, white render, half timbered, brown tile hung
Predominant boundary treatments	Open plan
Open space/ vegetation	Open landscaped frontages and open space. Trees visible over and between the blocks.

### Area Characteristics



*The two/three storey blocks are constructed with the appearance of houses and clustered around the access and parking areas behind grassed frontages some of which are partially enclosed by hedges. The blocks have wide facades of brown brick with white rendered, half timbered or tile hung sections, hipped or gabled tiled roofs with forward facing gable ends. The bulk of the buildings are reduced by stepped facades and the varied roofline. The trees visible between and over the buildings, the grassed frontages and hedges create a green character, but the character of the area juxtaposes the generally enclosed verdant character of Hitchen Hatch Lane by virtue of the scale and mass of the buildings and clustered layout with open frontages (above right).*



### **Locally Distinctive Positive Features**

Tightly clustered properties informally arranged around a cul-de-sac open or partially hedged frontages

Traditional materials represent the local vernacular

The consistent scale and use of materials contribute to a cohesive character

Residential, inward looking character with no through traffic

Trees visible behind and above the buildings

### **Negative Features**

The wide access and gap in the frontage together with the bulk and raised position of the buildings detract from the enclosed, verdant character of this part of Hilden Hatch Lane

### **Design Guidance**

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the White Lodge Close Character Area

The harmonious palette of brown brick, white render, half timbered, brown hung tiles and brown roof tiles should be respected

Mature trees and hedges which contribute to the character of the area should be retained and enhanced and additional landscape features added to the frontage of Hitchen Hatch Lane and lining the access road

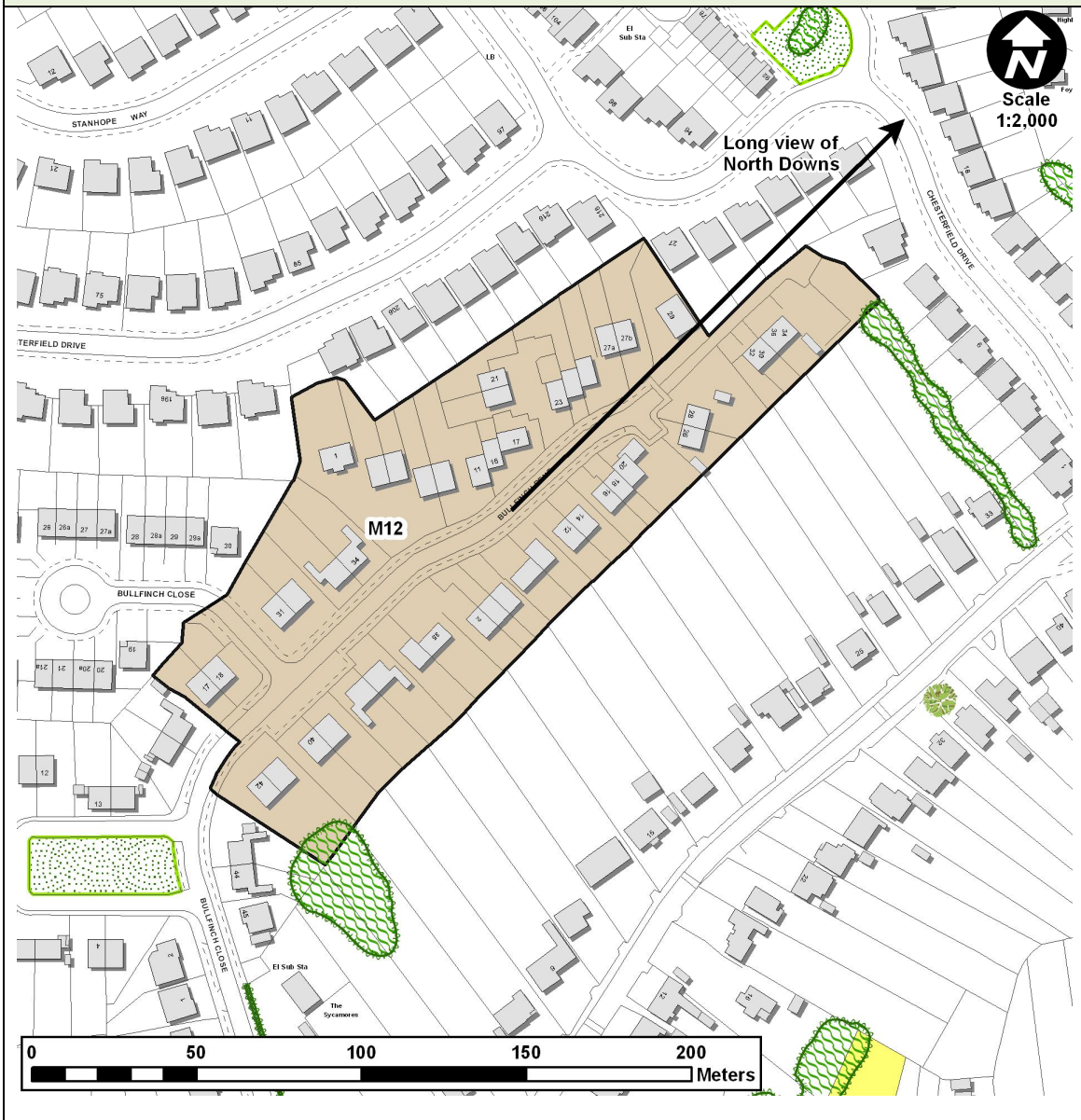
## M12 BULLFINCH DENE

Comprising Bullfinch Dene

### HISTORICAL CONTEXT

The 1950s development of Bullfinch Close has been redeveloped in recent years.

### TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1950's to present day
Type of buildings	Semi detached and terraced
Main uses	Residential
Building heights	Two storeys with one bungalow
Prominent building materials	Red/orange and yellow brick wit red and brown roof tiles
Predominant boundary treatments	Low wooden post and rail fence
Open space/ vegetation	Views of the North Downs.

### Area Characteristics



*The two storey houses are clustered around the gently curved cul-de-sac behind open landscaped grass frontages and driveways. The houses are of repeated or cohesive designs with yellow brick elevations and red brick details, and vice versa,. Red or brown roofs, some of which are half hipped others have forward facing gables, provide an interesting roof line. The consistent designs, colours and details create a cohesive and distinctive character.*

## Views



*The houses are clustered at angles to the road. The gently curved street does not prevent long views above the roofline. The area has an inward looking quiet residential character.*

*A single bungalow occupies the end of the cul de sac.*

*Long views of the North Downs are available along Bullfinch Dene above and between the roofs of the two storey houses*



### Locally Distinctive Positive Features

Clustered houses informally arranged around a cul-de-sac behind paved driveways and soft landscaping

Traditional materials represent the local vernacular with traditional brick, tile and roof details

Repeated designs contribute to a cohesive character

Inward looking, quiet residential character with no through traffic

Views of the North Downs

### Negative Features

No significant detractors



**Design Guidance**

The area has evolved through redevelopment. The close siting of development means there is limited opportunity for further development.

In proposing new development within the Bullfinch Dene Character Area:

The harmonious palette of yellow brick with red brick details, red brick with yellow detail and red or brown roof tiles should be respected

Views of the North Downs should be protected

Individual buildings should be of a high standard of intrinsic design quality

The unity of the two storey houses arranged around the green and the Bullfinch Close cul de sac turning head should be respected

The amenity open space at the centre of the 1950s 'square' should be protected

Mature trees and hedges important to the character of the area should be protected

Views of the North Downs should be protected

