

L COMPACT TOWNHOUSES AND APARTMENTS CHARACTER AREAS



This includes both terraced townhouses and apartment blocks of usually three or more storeys. The height and scale of the developments gives them a distinctive enclosed character.

The townhouses are terraced and have facades which appear tall and narrow. They are usually set close to the road immediately behind parking areas or pavements, sometimes with some soft landscaping. They are generally of uniform design and date from the 1990s onwards.

Apartment blocks are more variable in design, age and layout, some facing onto the road, others set within communal open space or parking areas. Some schemes incorporate both townhouses and apartments.



Example of Compact Town Houses and Apartments Development Layout

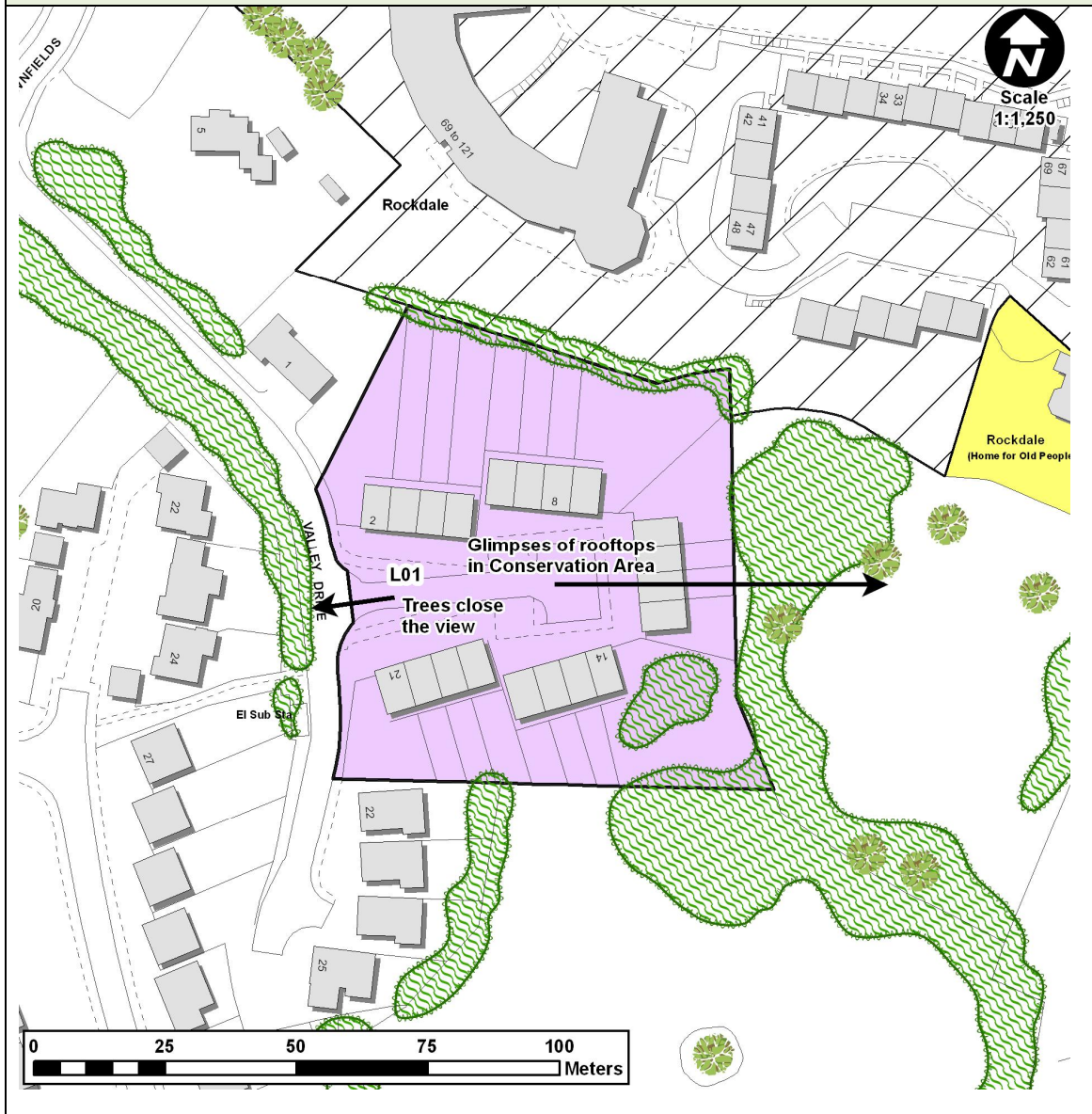
L01 - VALLEY DRIVE

Comprising Valley Drive (part)

HISTORICAL CONTEXT

Valley Drive was constructed off Crownfields in the early 1970s on previously open land.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	Early 1970s
Type of buildings	Terraced
Main uses	Residential
Building heights	Two - three storeys
Prominent building materials	Buff brick, white weatherboard style
Predominant boundary treatments	Open plan
Open space/ vegetation	Trees to the rear of buildings.

Area Characteristics



The buildings face onto grassed frontages and driveways and are set on a staggered building line at angles to the road. They are of uniform design constructed of buff brick with white sections, wide glazing and a balcony at first floor level with integral garages below. The uniform gabled brown tiled roofs have no chimneys. Buildings within the Conservation Area are visible on more elevated land to the rear and belts of tall trees form a backdrop to the buildings. Trees close the view to the west. The area has an inward looking, quiet residential character with no long views.

Locally Distinctive Positive Features
Inward looking residential character with no through traffic
Belts of trees form a backdrop to the buildings
Glimpses of rooftops in the Conservation Area

Negative Features

Parked cars clutter the townscape

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Valley Drive Character Area:

The harmonious palette of buff brick, white weatherboard and brown roof tiles should be respected

Mature trees which contribute to the character of the area should be retained

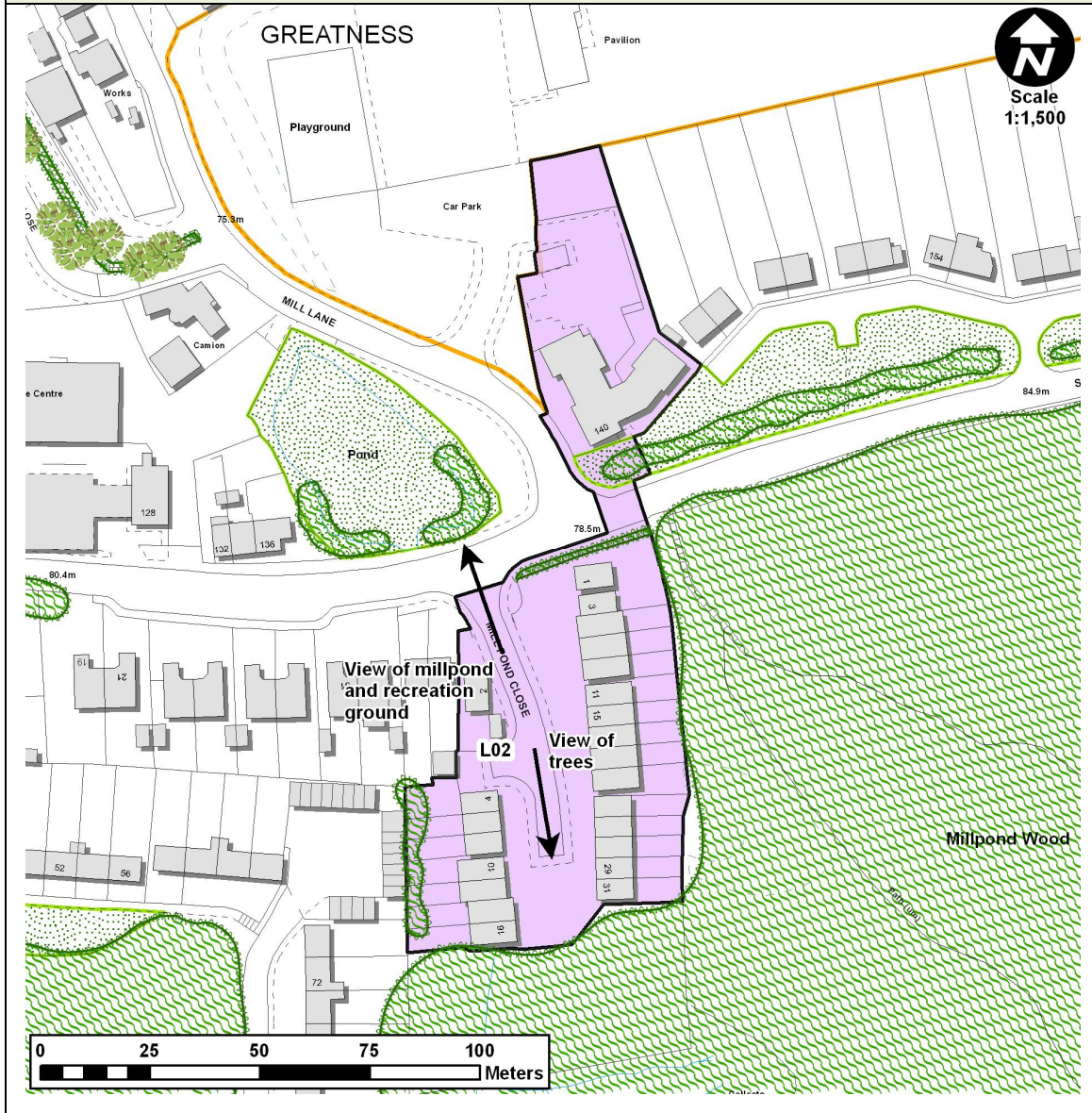
L02 – MILL POND CLOSE

Comprising Mill Pond Close, Mill Lane (part) and Seal Road (part)

HISTORICAL CONTEXT

Post 1990s developments.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1990+
Type of buildings	Terraced and detached
Main uses	Residential
Building heights	Two - three storeys
Prominent building materials	Yellow brick with orange brick details, white render, brown roof tiles
Predominant boundary treatments	None
Open space/ vegetation	Buildings face onto a shared access and parking. Woodland to south and east. Views of recreation ground to north.

Area Characteristics



The three storey terraced town houses in Mill Pond Close are constructed of yellow brick with orange brick bands and terracotta diamond plaques. The top storey is rendered and painted white. Regularly spaced vertical or horizontal windows on the second storey have black Juliette balconies and decorative stone lintels. The doorways are recessed and the integral garage doors are painted black, blue, red and white. Forward facing gables break up the roof line. The gabled brown tiled roofs are of a shallow pitch. Some properties have mono pitch tiled porch canopies supported on white wooden brackets.



The three storey buildings are on relatively low ground, close to a main road and backed on two sides by tall trees. The white top storey helps to reduce the appearance of the height of the development. The buildings face over a shared access, pavement and paved parking areas creating an enclosed residential character. The regular windows and balconies are symmetrically arranged.

The consistent design and materials and the coordinated surfacing and landscaping contribute to a cohesive character and identity, although cars parked on the road and frontages clutter the townscape. There is traffic noise from the A25.



Two storey detached houses flank the entrance reflecting the one-two storey height of other buildings on the A25. The design details and materials coordinate with the rest of the development.



On the north side of Seal Road, a three storey apartment development is set back behind a deep grass verge with trees and wooden picket fencing, maintaining the curved building line of earlier development to the east. The set back, staggered front elevations, stepped shallow pitch roof and painted rendered sections minimise the apparent scale of the building.



The woodland to the south and east frame the views (above left) and form a backdrop to the buildings, the height of the trees dominating over the architecture. To the north (above right) there is a view across the A25 of the restored Mill Pond and beyond to the recreation ground.

Locally Distinctive Positive Features

Mill Pond Close has a cohesive character created by the similar scale, repeated materials and design themes including Juliette balconies, brick bands, porches and terracotta plaques
Woodland to the east and south

The surface treatments are in good condition

There is no through traffic in Mill Pond Close which has an inward looking, enclosed residential character

The apartments on Seal Road are set back behind a deep frontage maintaining the building line.

The scale of the apartments is minimised by the staggered elevations, roofline and painted sections.

Negative Features

Traffic on the road and frontages clutters the townscape

Traffic noise from the A25

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Mill Pond Close Character Area:

The harmonious palette of yellow brick with orange brick details, white render and brown roof tiles should be respected

Mature trees and open space which contribute to the character of the area should be retained

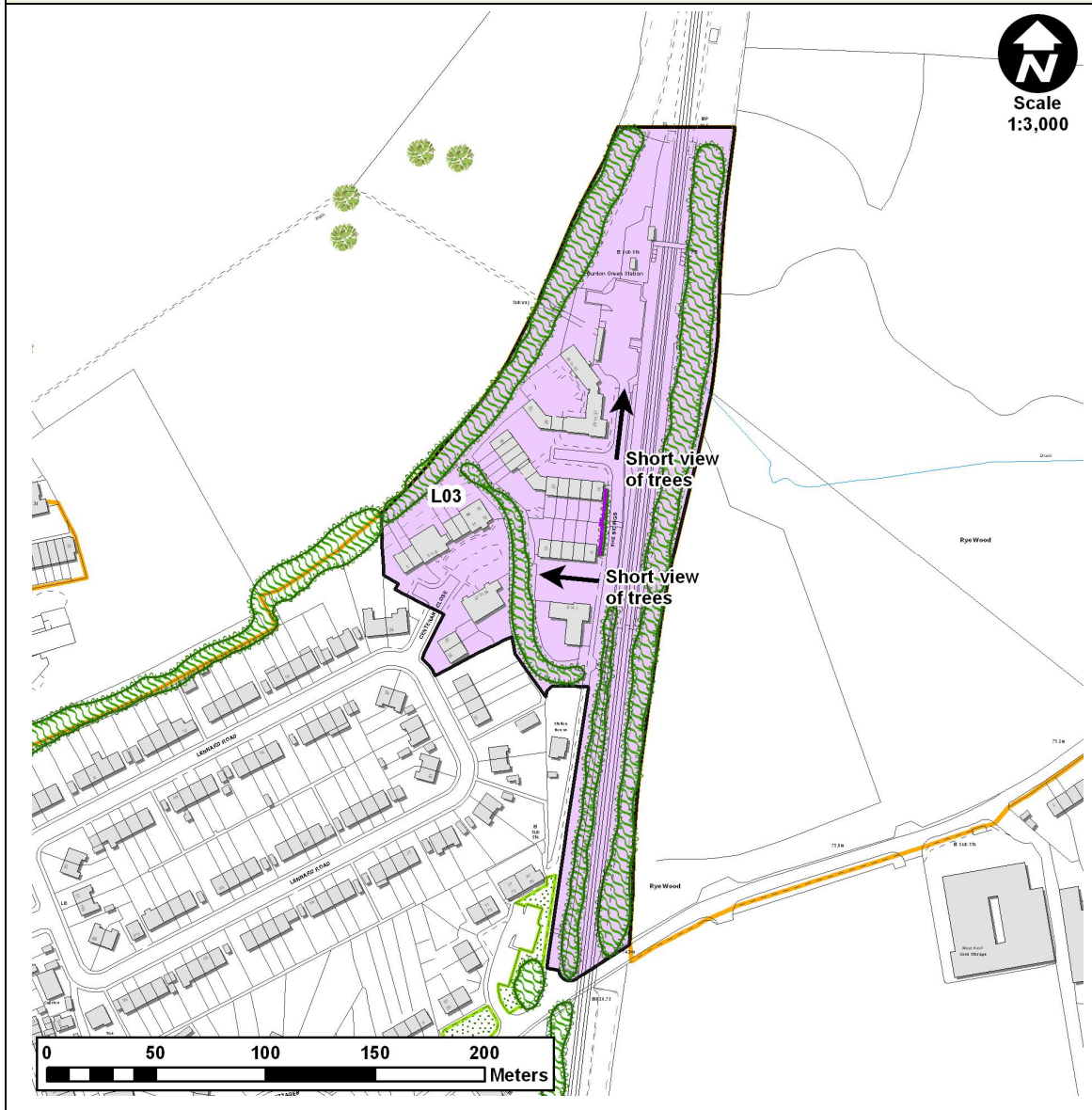
L03 - THE SIDINGS

Comprising The Sidings and Centenary Close.

HISTORICAL CONTEXT

Post 1990 developments on land adjoining the railway.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1990+
Type of buildings	Terraced houses and apartment blocks
Main uses	Residential
Building heights	Two - three storeys
Prominent building materials	Red/brown, yellow and red brick, cream painted render, slate, red and brown tiled roofs.
Predominant boundary treatments	Open to road.
Open space/ vegetation	Courtyards. Tree belts to east, north and west.

Area Characteristics



Centenary Close (left) is a two – three storey cul de sac development leading off Lennard Road. The attached houses and apartment blocks are finished in red/brown brick with some sections rendered and painted cream with grey or red tiled hipped roofs with prominent pitched dormers. Tiled monopitch porch canopies are supported on white wooden pillars and brackets. Contrast orange brick bands further enliven the facades.



The Sidings (left) is a development of three storey town houses and apartments arranged along short cul de sacs, shared accesses and courtyards accessed via Station Road. As in Centenary Close a variety of finishes and design details enliven the front elevations which are constructed of yellow or red brick. Red brick details, prominent dormers and gable ends, shaped bargeboards, brick pillars, white struts and balconies provide interest, although design details vary with each block. The brown tiled roofs are gabled or hipped. The limited range of materials, repeated design themes and consistent scale of the buildings contribute to the cohesive character of the development. Coordinating front and garage doors are also unifying elements.



In Centenary Close and The Sidings (above), the buildings face over shared accesses and are generally close to the road behind paved parking spaces, strips of grass and shrub planting. In the Sidings, some buildings face onto wider grassed areas with parking situated to the rear accessed through covered arches. A variety of surface treatments adds interest.

Tree belts to the east, north and west form a backdrop to the developments and together with the soft landscaping provide a contrast to the brickwork, softening the townscape. The layout of the buildings and the surrounding trees contribute to an inward looking residential character with no long views. The railway is screened from the Sidings by a panel fence and a few trees.



A decorative red brick wall and hedge forms a boundary on the east side of the development, further enclosing and unifying the development.

Locally Distinctive Positive Features

The area has a cohesive character created by the similar scale, repeated materials and design themes including dormer windows, balconies, brick bands, porches and hung tiles

Tree belts to the east and west enclose the development, forming a backdrop to the buildings, a contrast to the brickwork and softening the townscape. Soft landscaping and grass further enhance the character

The various surface treatments are in good condition

Fencing screens the development from the railway line

The brick wall and hedge is a unifying feature in the Sidings and encloses the development

There is no through traffic and the developments have an inward looking, enclosed residential character

Negative Features
No significant detractors

Design Guidance
<p>The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.</p> <p>In proposing new development within the Sidings Character Area:</p> <p>The consistent design themes and harmonious palette of red/brown, yellow and red brick, cream painted render, slate, red and brown roof tiles should be respected</p> <p>Mature trees which contribute to the character of the area should be retained</p>

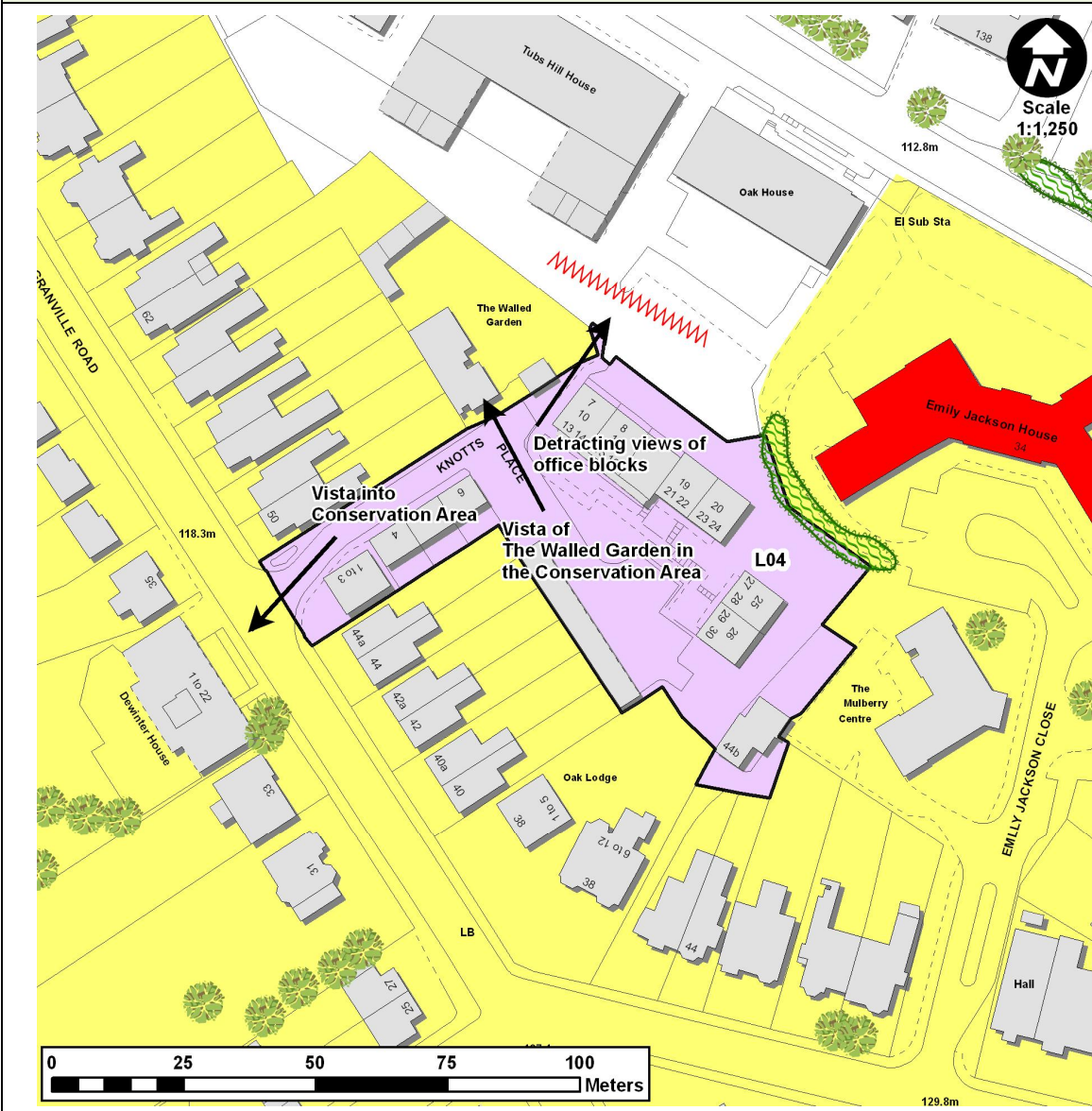
L04 - KNOTTS PLACE

Comprising Knotts Place

HISTORICAL CONTEXT

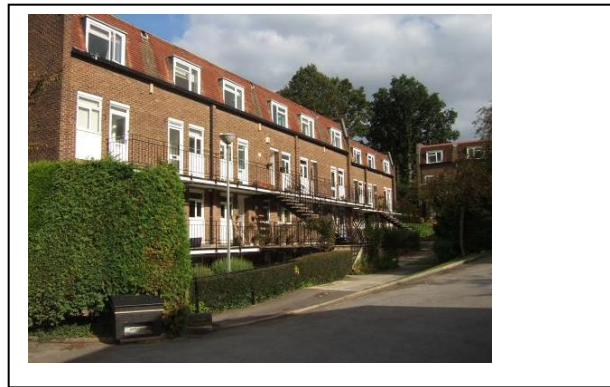
The development is built on the former grounds of Oak Lodge on the site of the carriage entrance and stables. It is named after a miller who owned a windmill on Tubbs Hill in the early 19th Century. By 1880 the mill had been moved to West Kingsdown.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1960s
Type of buildings	Apartment blocks
Main uses	Residential
Building heights	Four storeys
Prominent building materials	Brown brick, red hung tiles, white doors and windows, balconies with black railings.
Predominant boundary treatments	None
Open space/ vegetation	The buildings face onto the access behind a clipped hedge and landscaped frontage

Area Characteristics



The four storey blocks are stepped down to minimise their visual impact. The appearance of the wide front elevation is broken up by white doors and windows, external stairways and balconies at the first and second floor. The top storey is within the tile hung mansard roofline. The frontage is landscaped with paved pathways, clipped hedges, grass and shrubs. The development faces away from the commercial and community buildings in Tubs Hill and, with no through traffic, has a relatively quiet, inward looking, residential



The area is in a sensitive location immediately abutting the Conservation Area. There are vistas of the old gardener's cottage (named The Walled Garden) and of the old garden walls to the north. A belt of trees forms a back drop to the development on the west side.

The tall office block on Tubbs Hill has a dominant impact on the setting of this area (left).



The blocks face over a landscaped parking area, enclosed by hedges and walls, which is in good condition.

Locally Distinctive Positive Features

The area has a cohesive character created by the uniform blocks with consistent colours and materials.

The regular windows, balconies, stairways and mansard roof break up the appearance of the broad façades.

Tree belts to the east and soft landscaping enhance the area

The surface treatments are in good condition

There is no through traffic and the development has an inward looking, enclosed residential character enhanced by the L shaped layout facing away from Tubs Hill and enclosure of the parking area by walls and hedges

There is an attractive vista into the Conservation Area.

Negative Features

Tall office blocks on Tubbs Hill have a dominant impact on the setting of the area

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Knotts Place Character Area:

The consistent design themes and harmonious palette of brown brick and red hung tiles should be respected

Mature trees which contribute to the character of the area should be retained

The setting of the Conservation Area should be protected or enhanced

L05 - THE ACORNS

Comprising The Acorns

HISTORICAL CONTEXT

The Acorns is an infill development of the 1990s on formerly vacant land adjoining the railway.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1990+
Type of buildings	Retirement apartment blocks
Main uses	Residential
Building heights	Two - three storeys
Prominent building materials	Brown brick, brown tiled roofs, grey/brown hung tiles, black paint.
Predominant boundary treatments	Open plan, shrubs and black railings.
Open space/ vegetation	Tree belt along the railway line.

Area Characteristics



The development comprises two apartment blocks, one facing Bradbourne Park Road and the other set down behind it. The access road dips and both blocks are below the level of Bradbourne Park Road. They are arranged around a paved, landscaped parking area. A tree belt, visible over and around the blocks, screens the railway to the west and car park to the south, giving the area an inward looking character.



The blocks have brown brick elevations with brown/grey hung tiles and orange brick details, prominent tile hung bays with black gables, hipped brown tiled roofs and black window frames.

Black railings and soft landscaping enhance the character.

Locally Distinctive Positive Features

The apartment blocks have a cohesive character created by the repeated materials and design themes including brown/grey hung tiles and orange brick details, prominent tile hung bays with black gables, hipped brown tiled roofs and black window frames

The low lying site minimises the impact on the surrounding area

Trees are visible around and above the buildings, screening the railway and car park

There is no through traffic and the development has a relatively quiet, residential character

Black railings and landscaping enhance the character

Negative Features

No significant detractors

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Acorns Character Area:

The consistent design themes and harmonious palette of brown brick, brown tiled roofs, grey/brown hung tiles and black paint work should be respected

Mature trees which contribute to the character of the area should be retained

L06 - MEADOW CLOSE

Comprising Meadow Close

HISTORICAL CONTEXT

A 1960s development on previously open land.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1960s
Type of buildings	Terraced
Main uses	Residential
Building heights	Two - three storeys
Prominent building materials	Buff brick, brown roof and hung tiles
Predominant boundary treatments	Walls or open plan
Open space/ vegetation	Tree belts to the south and north. Trees within gardens.

Area Characteristics



This compact cul-de-sac development comprises a staggered terrace of two storey houses facing onto Lambarde Road and a row of 3 storey terraced town houses to the rear facing over the access. A bungalow flanks the southern side of the cul-de-sac.

The town houses (above) are of buff brick with shallow brown tiled gabled roofs. The large windows and regular chimneys contribute to the cohesive character whilst different coloured front and garage doors and tile hung stripes add variety to the elevation.

The two storey houses (below left and right) are set back behind landscaped front gardens enclosed by brick walls. They are of uniform design with buff brick elevations, hung with brown tiles, large windows and shallow brown tiled gabled roofs which step down towards the north. The uniformity of design creates a cohesive character which is enhanced by the planting.



Locally Distinctive Positive Features

The area has a cohesive character created by the repeated designs and in particular the regular roofline, windows and chimneys

Brightly coloured doors and vertical sections enliven the elevations of the town houses

Tree belts to the south and north and trees within gardens

The town houses have no through traffic and an inward looking, residential character

Negative Features

Flat roofed garages and parked cars harm the character

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Meadow Close Character Area:

The consistent design themes and harmonious palette of buff brick, brown/ red hung tiles and brown roof tiles should be respected

Mature trees which contribute to the character of the area should be retained

