

I OPEN PLAN CHARACTER AREAS

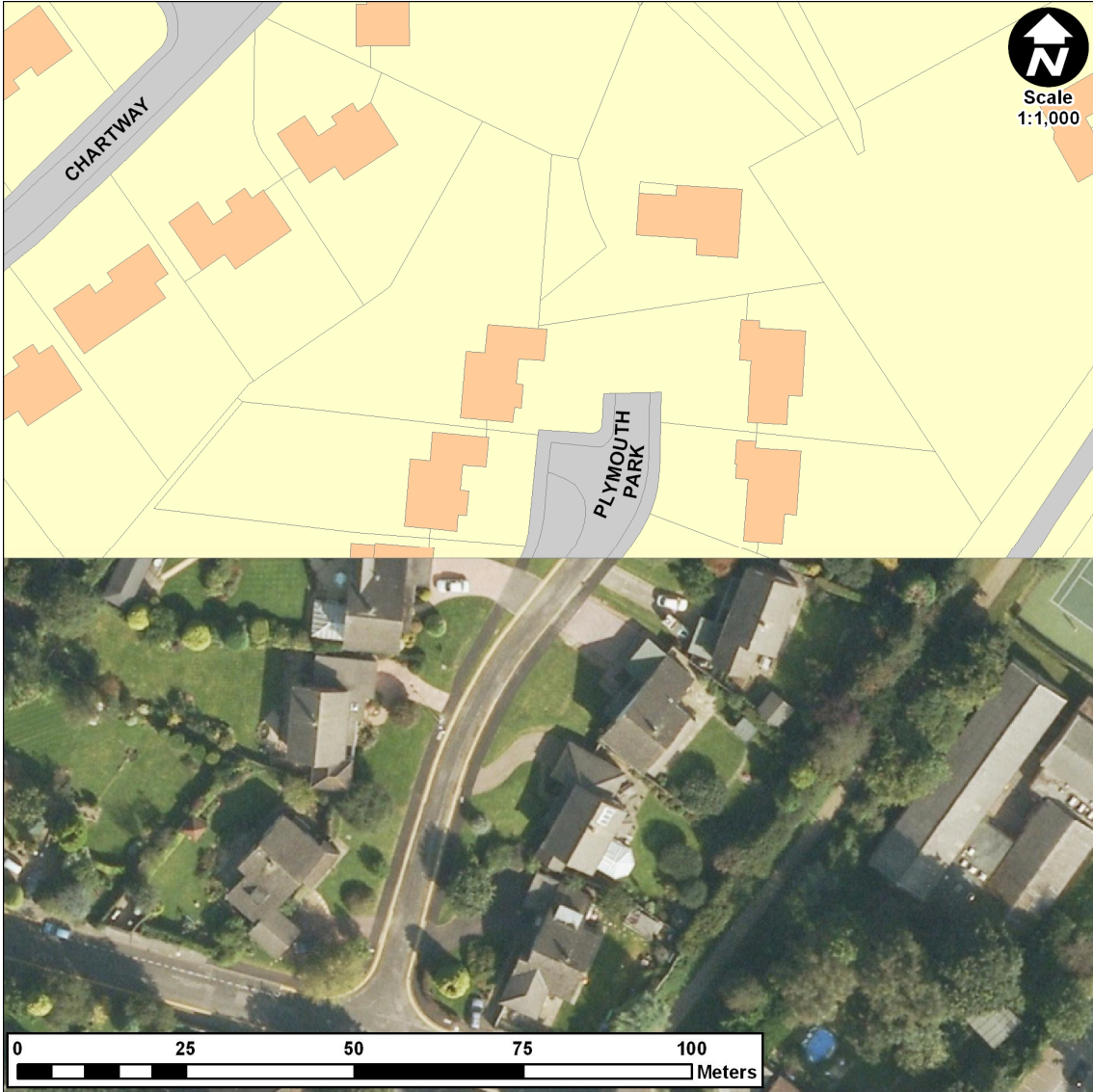


The housing developments comprise mainly detached or semi-detached two storey properties with integral or attached garages evenly spaced along curved roads and cul-de-sacs of uniform widths. The developments were designed principally to make easy access by car.

The distinctive feature of these areas is the open plan character with the houses generally set behind open lawns and driveways which are not enclosed. There are few areas of public open space, community facilities or other uses.

The buildings are constructed in red/brown or buff coloured brick and are generally decorated with hung tiles. Wide white painted casement windows with a distinctive horizontal emphasis are a general characteristic. Windows and doors appear to be randomly distributed within elevations without aligning vertically or horizontally with each other. Significant openings make the buildings appear less robust. Properties characteristically have a shallow roof pitch with brown concrete roof tiles and no chimneys. Many properties have porches and single storey bay or bow windows. In some developments, the properties are of uniform design, whilst others are more varied. The buildings show few local references in terms of materials or design and there are no local landmarks. Landscaping features such as trees or shrubs provide some reference points.

These character areas are generally quiet and well-maintained with a peaceful residential ambience. They are generally set back from major roads with little through or fast moving traffic and ample off-street parking.



Example of Open Plan Layout

I01 – NURSERY PLACE

Comprising Nursery Place and The Old Garden

HISTORICAL CONTEXT

These cul-de-sac developments were constructed in the 1970s on the former estate land of Chipstead Park. The Old Garden and Nursery Place were built on the Chipstead Place Nursery and sand pits. Previously this section of Chipstead Lane was a private drive through the estate with no public access.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	Early 1970s
Type of buildings	Detached
Main uses	Residential
Building heights	One and two storeys
Prominent building materials	Buff and brown brick, brown roof tiles, concrete hung tiles, dark timber, white painted render
Predominant boundary treatments	Open plan
Open space/ vegetation	Open grassed frontages, some partially enclosed by dwarf walls. Trees to the north and west.

Area Characteristics



The Old Garden and the entrance to Nursery Place represent the first phase of development. The two storey houses and chalet bungalows are regularly spaced on an uneven building line behind landscaped front gardens some partially enclosed by dwarf walls. Garden trees enhance the character. There are some repeated designs, but the rooflines and building designs are very varied. Some of the buff or brown brick properties have hipped roofs, some wide asymmetric gables facing the road whilst on others the roof slopes down to the first storey at the front. Wide dormers further complicate the roofline. The buildings have been extended and adapted which has further increased the variety of designs and materials. The view is enclosed to the north and the south by a dense belt of trees which enhances the character of the street. The trees to the north are within the Chipstead Conservation Area.

A wall enclosing the south side of the street provides a link with the old walled gardens of Chipstead Place.



Nursery Place is a later phase of development. The houses are more uniform in style with shallow brown gabled roofs, brown brick elevations and extensive glazing with distinctive stair windows. The gardens are unenclosed and the set back is greater than in The Old Garden. The view is closed to the south by tall trees and garden trees also contribute to the green character. The street has a more consistent character.

Locally Distinctive Positive Features

Tree belts close the views to the north and south and contribute to the green character
 The houses are set back behind landscaped unenclosed or partially enclosed front gardens with trees which enhance the open, green character
 Wall in The Old Garden
 Quiet residential character

Negative Features

No significant detractors but these developments generally lack visual unity or local references in terms of materials or design and are generally lacking in landmarks and reference points

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be opportunities to enhance the area either through retrofitting some buildings not built to current energy efficiency standards (for example with new cladding, solar panels and added insulation) or through the creation of individual buildings of interest or additional landscape features. There may be merit in using such improvements to uplift indistinctive, standardised architecture and add a new distinctiveness to an area. Landmark buildings can lift a design from the ordinary and may be justified on the basis of a sound urban design appraisal of their context and a perceived environmental uplift to the quality of the area. Any landmark building would need to be consistent with the scale and character of the surrounding residential area.

In proposing new development within the Nursery Place Character Area:

Individual buildings should be of a high standard of intrinsic design quality
 Mature trees which contribute to the character of the area should be retained
 The setting of Chipstead Conservation Area should be protected or enhanced

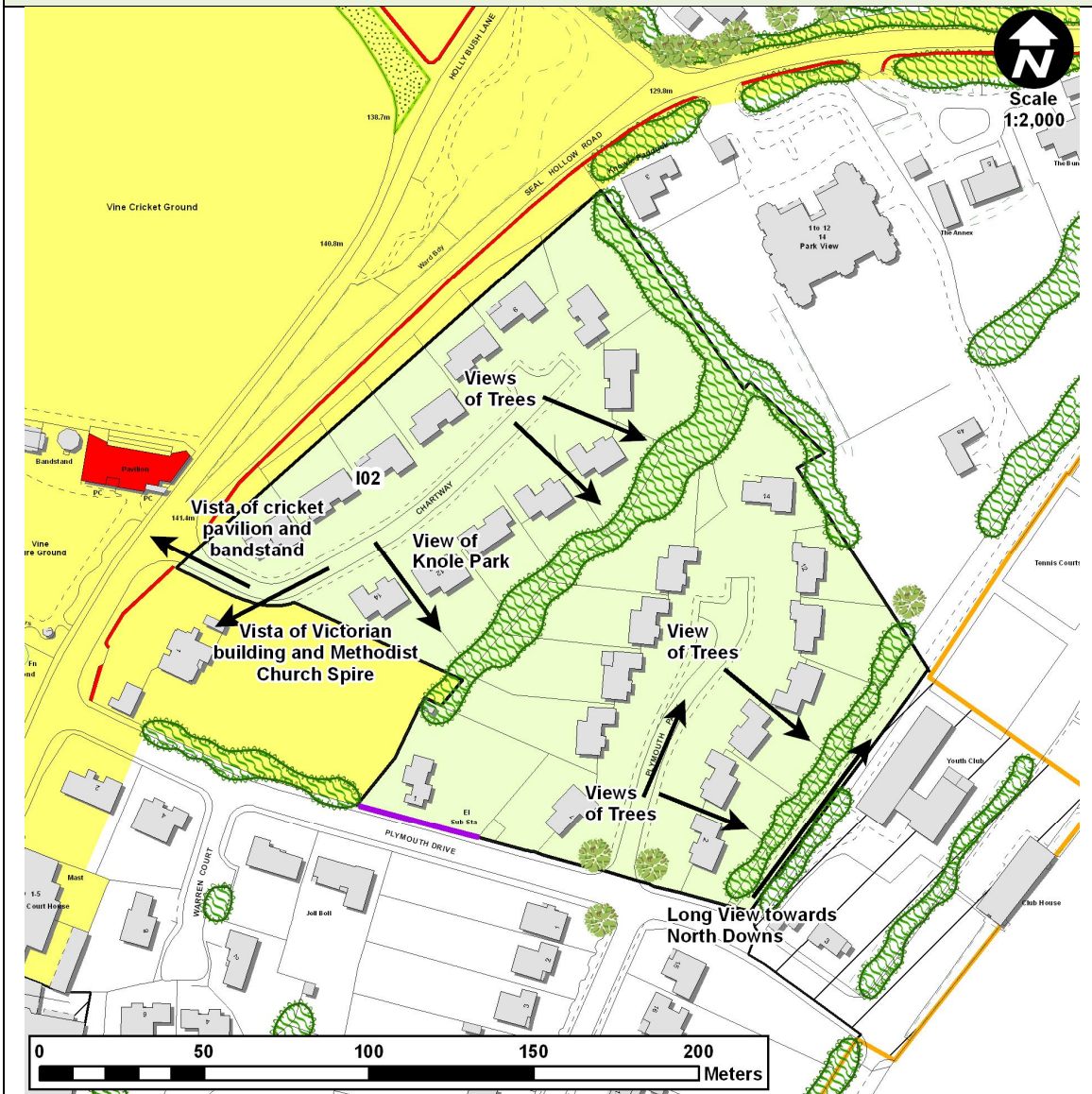
I02 – PLYMOUTH PARK

Comprising Plymouth Park and Chartway

HISTORICAL CONTEXT

These two cul-de sacs were constructed in the early 1970s. Plymouth Park occupies previously open land adjoining a historic access to Knole Park. Chartway occupies the site of a late Victorian house of the same name.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1970s
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Red, brown and buff brick, brown concrete roof tiles, white weatherboard effect and stone cladding
Predominant boundary treatments	Open plan
Open space/ vegetation	Deep front lawns planted with some trees and shrubs. Tree belts form backdrop to the buildings.

Area Characteristics



The houses are on relatively wide plots, set back from the road behind deep unenclosed lawns with some trees and shrubs. Spaces between the houses allow glimpses through of trees and occasionally longer views over Knole Park. Tree belts form a backdrop to the houses contributing to the inward-looking, quiet residential character. There is no through traffic and the absence of on-street parking further contributes to the open character of the streets.



The houses in Plymouth Park and Chartway are of a variety of interspersed repeated designs which have been sympathetically modified through time. They are constructed of red, brown and yellow brick with some hung tiles, weatherboard effect and stone cladding on the elevations. The roofs are relatively shallow pitch with plain brown concrete tiles and small chimneys. A number of properties have wide front facing gables, some of which are asymmetric, the roofline sweeping down to the first storey. Many have flat roofed porches and attached garages.



In Chartway there are views into The Vine Conservation Area of the adjoining late Victorian house, the Methodist Church Spire and of the Bandstand and Pavilion of the historic Vine Cricket Ground and help orientate the area with the rest of the town. There are also long views to the south east over the recreation ground and Knole Park. There is a view of the North Downs from the access to Knole Park east of Plymouth Park.

The entrance is enclosed by plain board fences.



To the Southeast of Plymouth Drive there is a historic driveway to Knole Park, enclosed by trees on both sides with a long view towards the North Downs.

Locally Distinctive Positive Features

Open, spacious character created by unenclosed frontages, set back of buildings, relatively wide plots, spacing between houses and the sloping topography

Tree belts visible above and between the houses forming a backdrop to the development and contributing to the leafy character

Views of the conservation area from Chartway and some longer views over the Recreation Ground and Knole Park. View towards North Downs from Knole Park access.

Stone wall in Plymouth Drive

Quiet, residential character

Negative Features

Some poor surfacing in Chartway

These developments generally lack visual unity or local references in terms of materials or design and are generally lacking in landmarks and reference points

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time. There may be opportunities to enhance the area either through retrofitting some buildings not built to current energy efficiency standards (for example with new cladding, solar panels and added insulation) or through the creation of individual buildings of interest or additional landscape features. There may be merit in using such improvements to uplift indistinctive, standardised architecture and add a new distinctiveness to an area. Landmark buildings can lift a design from the ordinary and may be justified on the basis of a sound urban design appraisal of their context and a perceived environmental uplift to the quality of the area.

In proposing new development within the Plymouth Park Character Area:

Individual buildings should be of a high standard of intrinsic design quality

Mature trees which contribute to the character of the area should be retained

Views of the recreation ground, Knole Park and the North Downs should be protected

The setting of The Vine Conservation Area should be protected or enhanced

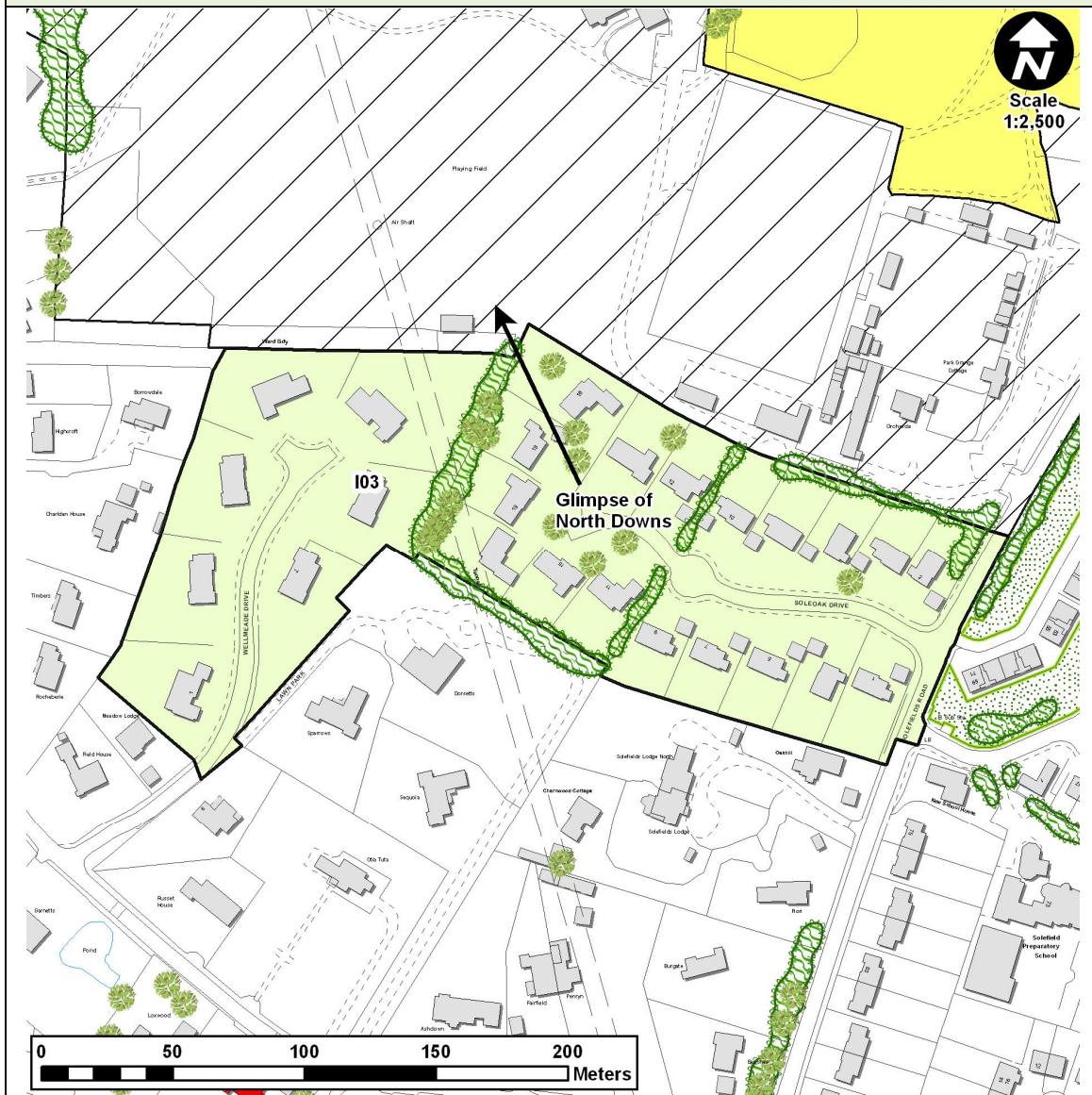
I03 - SOLEOAK DRIVE

Comprising Soleoak Drive and Wellmeade Drive

HISTORICAL CONTEXT

Soleoak Drive was built post 1990 on the site of two 1930s houses. Wellmeade was constructed in the early 1970s on a wedge of open land.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1970s +
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Brown/orange and brown brick, red hung tiles, brown plain roof tiles, white weatherboard
Predominant boundary treatments	Open plan
Open space/ vegetation	Deep front lawns planted with some trees and shrubs. Tree belts form backdrop to the buildings.

Area Characteristics



The detached houses in Soleoak Drive (above left and right) are set back from the road on relatively wide plots behind unenclosed lawns with large, mature trees and shrubs. The houses are individually designed of orange brown brick with brown plain tiled hipped and half hipped roofs, many with hung tiles on upper stories and some painted render. Half timber provides a contrast. The windows have white frames. The street has a spacious, character enhanced by the elevated position and glimpses between the houses of trees and longer views to the north.



The western section of Soleoak Drive is visually separated from the eastern section by a hedge marking the former boundary between the two gardens on which the development is sited. The access road is paved beyond this point and the houses are clustered around the access enclosing the view with glimpses between and over the houses of trees and the North Downs. A prominent tree is a particular feature. A variety of designs and materials are used.



Wellmeade Drive (above left and right) is an older development accessed via a curving, dipping road which, together with the tree belt to the south east, contributes to the inward looking, private character. The low, wide 1970s houses have brown tiled roofs with sections sweeping forward to ground floor level. Several properties have distinctive tapering chimney stacks and single storey forward projections. They are set in wide plots behind grassed landscaped frontages. Mature trees enclose the development.

Locally Distinctive Positive Features

Open, spacious character created by unenclosed frontages, set back of buildings, relatively wide plots, spacing between houses and, in Soleoak Drive, the sloping topography and glimpses of long views

Tree belts visible above and between the houses forming a backdrop to the development and contributing to the leafy character. Tall, mature trees within the developments are a key feature

Quiet, residential character

Negative Features

No significant detractors but these developments generally lack visual unity or local references in terms of materials or design and are generally lacking in landmarks and reference points

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time. There may be opportunities to enhance the area either through retrofitting some buildings not built to current energy efficiency standards (for example with new cladding, solar panels and added insulation) or through the creation of individual buildings of interest or additional landscape features. There may be merit in using such improvements to uplift indistinctive, standardised architecture and add a new distinctiveness to an area. Landmark buildings can lift a design from the ordinary and may be justified on the basis of a sound urban design appraisal of their context and a perceived environmental uplift to the quality of the area.

In proposing new development within the Soleoak Drive Character Area:

Individual buildings should be of a high standard of intrinsic design quality

Mature trees which contribute to the character of the area should be retained

I04 - HIGHLANDS PARK

Comprising Highlands Park

HISTORICAL CONTEXT



Highlands Park was constructed post 1980 on former farmland.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1980s+
Type of buildings	Detached and attached.
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Buff or red/orange brick, hung tiles and weatherboard effect.
Predominant boundary treatments	Open plan
Open space/ vegetation	Grassed treed open spaces within the development. Tree belts to the north and east.

Area Characteristics

	<p><i>The houses are set behind deep open plan front gardens and arranged around grassed open spaces with mature trees. The houses are partly obscured by the topography and trees creating a verdant and spacious character. The land rises towards the west and there are views of trees and Seal church to the east assisting legibility in the area. Trees are visible between the houses northwards.</i></p>
	<p>The elevations are buff or orange/red brick with hung tiles or white weatherboard effect on the upper storeys. The shallow gabled roofs are of brown tiles. The properties have white framed neo-Georgian style windows and wide monopitch tiled porch canopies supported on white pillars. The garages are detached or integral.</p> <p>The common design themes and materials give the development a cohesive character.</p>

Locally Distinctive Positive Features

Consistent designs, materials and building heights contribute to coherent character.

Quiet residential character with no through traffic

Deep open plan front gardens, grassed open space, mature trees and tree belts to the north and east contribute to the spacious, verdant character

View eastwards of trees and Seal church

Negative Features

Poor surfacing

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time. There may be pressure for extensions to properties.

In proposing new development within the Highlands Park Character Area:

The common design themes and materials should be respected

Mature trees and open spaces which contribute to the character of the area should be retained

The view of Seal Church should be protected

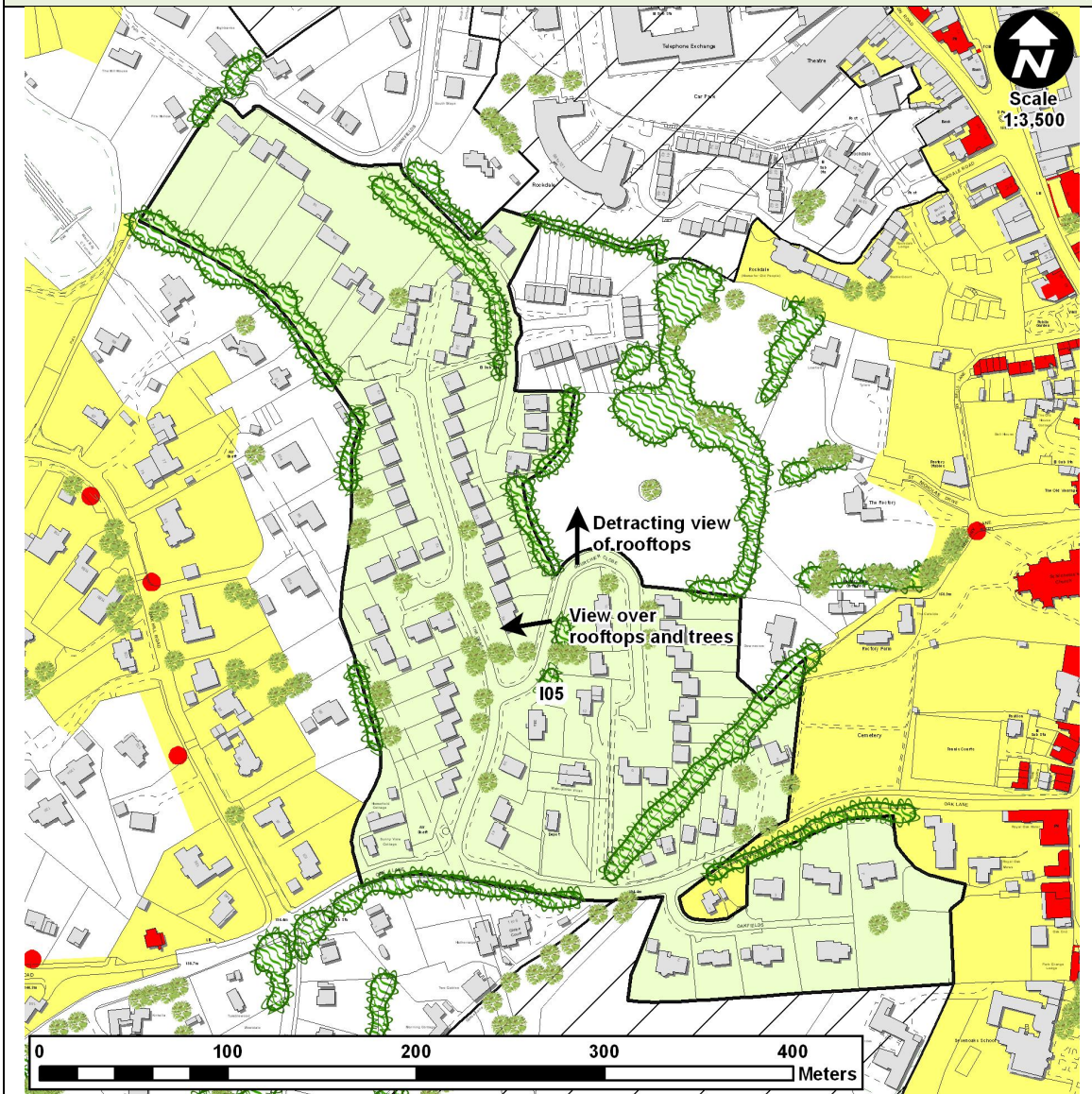
I05 - THE DENE AREA

Comprising The Dene, Bouchier Close, Crownfields, Valley Drive and Oak Lane (part)

HISTORICAL CONTEXT

Crownfields and Valley Drive were completed by the early 1970s. The Dene was developed post 1990 on former waterworks land. Thomas Bouchier was Archbishop of Canterbury and lived at Knole House in the 15th Century.

TOWNSCAPE MAP

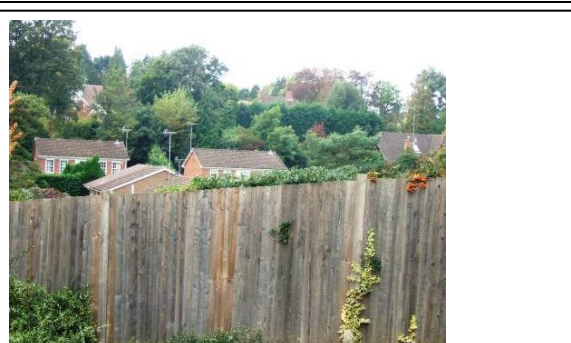


Locally Distinctive Contextual Features	
Age of buildings	Early 1970s to 1990s
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Brown, buff and red/brown brick, white weatherboard, white cornices and brown roof tiles.
Predominant boundary treatments	Open plan
Open space/ vegetation	Open grassed frontages. Trees belts to rear of houses. Individual trees and hedges within the developments.

Area Characteristics



The setting of the area is undulating and verdant. The Dene dips and curves with grassed frontages on either side planted with trees. Tree belts frame the development and are visible between and over the houses.



Bourchier Close is physically separated from The Dene by a curving access road which rises up the hillside. It is enclosed by hedges and panel fences with views westwards of trees and rooftops.



The two storey detached houses are of a variety of interspersed repeated designs in a Neo-classical style many with 12 light sash symmetrical windows, central doorways, pedimented porches supported on white pillars and decorative cornices on the garages (above right). The properties have relatively shallow brown tiled gabled roofs. Some have white weatherboard. Shutters on the first floor central window are a repeated feature. Five properties are situated to the south of the entrance to The Dene with bay windows and forward projecting garages and are set on a staggered building line (above left).



In the vicinity of Burchier Close there has been some more recent construction which creates more variety in the townscape.

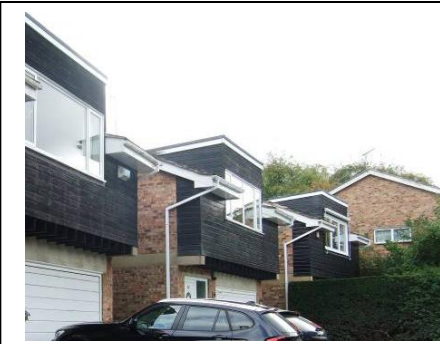


In Crownfields the detached houses are situated on wide plots on an uneven building line behind deep grassed open plan frontages with trees (see left). The end of the cul-de-sac is enclosed by trees and a tree belt forms a backdrop to the development, visible over and between the houses. Further trees enclose the entrance to Valley Drive. This part of the character area has a green, open residential character.

Townscape Feature



The small tower west of the entrance to The Dene is a reference to the former water works and forms an interesting historic townscape feature.



At the southern end of Valley Drive, properties of uniform design with striking black wooden first floor projections form an interesting contrast.



At the northern end of The Dene there is a small clustered development of two storey brick houses (some rendered) with hipped or half hipped roofs some with forward facing gables which nestles on the lowest land forming a discrete unified enclave.

Locally Distinctive Positive Features

Houses set back from the road behind open frontages.

Each street has a varied character through house designs, plot widths and the impact of topography and layout

Tree belts visible above and between the houses form a backdrop to the development creating a verdant setting. This is enhanced by the grassed open frontages and mature trees and hedges within the development.

The topography creates changing vistas and a few longer views over rooftops from the more elevated parts. Buildings nestle in the landscape.

The small tower west of the entrance to The Dene

Quiet, residential character

Negative Features

No significant detractors

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time. There may be opportunities to enhance the area either through retrofitting some buildings not built to current energy efficiency standards (for example with new cladding, solar panels and added insulation) or through the creation of individual buildings of interest or additional landscape features. There may be merit in using such improvements to uplift indistinctive, standardised architecture and add a new distinctiveness to an area. Landmark buildings can lift a design from the ordinary and may be justified on the basis of a sound urban design appraisal of their context and a perceived environmental uplift to the quality of the area.

In proposing new development within the Dene Area Character Area:

Individual buildings should be of a high standard of intrinsic design quality

Mature trees which contribute to the character of the area should be retained

The character of the small tower west of the entrance to The Dene should be retained

I06 – FILMER LANE

Comprising Filmer Lane (part)

HISTORICAL CONTEXT

Filmer Lane was constructed in the early 1970s on previously open land.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1970s
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Brown and buff brick, pastel painted render, plain brown roof tiles and hung tiles, weatherboard effect.
Predominant boundary treatments	Open plan
Open space/ vegetation	Open plan grassed front gardens, some with hedges to the side. Tree belt to the north.

Area Characteristics



The houses are set back behind unenclosed landscaped gardens some separated by hedges. There are glimpses over and between the houses of trees and the tree belt to the north is a particular feature. From the northern end of the street there are views south over tree tops. Some surfacing is in poor condition.



The elevations are buff or brown brick with pastel painted render on some properties and red/orange or brown hung tiles or white weatherboard effect on the upper storeys. The houses have brown plain tiled pitched roofs with small chimney stacks on the ridge. Many properties have front porch extensions with pitched roofs and wide monopitch canopies.

Locally Distinctive Positive Features

Variations in design and finishes add interest to the street scene

Tree belt to the north and view of trees to the south. Glimpses of trees between and over the houses

Quiet residential character with no through traffic

Negative Features

Some poor surfacing. These developments lack visual interest or local references in terms of materials or design. They tend to be single use (residential estates) with uniform road layouts and generally lacking in landmarks and reference points.

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time. There may be opportunities to enhance the area either through retrofitting some buildings not built to current energy efficiency standards (for example with new cladding, solar panels and added insulation) or through the creation of individual buildings of interest or additional landscape features. There may be merit in using such improvements to uplift indistinctive, standardised architecture and add a new distinctiveness to an area. Landmark buildings can lift a design from the ordinary and may be justified on the basis of a sound urban design appraisal of their context and a perceived environmental uplift to the quality of the area.

In proposing new development within the Filmer Lane Character Area:

Individual buildings should be of a high standard of intrinsic design quality

Mature trees which contribute to the character of the area should be retained

I07 - QUAKER CLOSE

Comprising Quaker Close

HISTORICAL CONTEXT

This cul-de-sac was built in the early 1970s on the site of a former quarry within the grounds of the listed early 20th Century Seal Hollow House.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	Early 1970s
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Buff brick, concrete green or brown hung tiles and brown roof tiles.
Predominant boundary treatments	Open plan
Open space/ vegetation	Open grassed frontages. Trees to the east and west.

Area Characteristics



The houses are set back behind landscaped open front gardens with the exception of the older listed Seal Hollow House, which is a townscape feature, which is set behind a white painted picket fence. Tall trees frame the development to the west and east. There is a vista of the listed buildings to the north.

The buff brick houses have green or brown tile hung sections on the upper storeys and gabled brown tiled roofs with small chimneys. They have flat roofed porch canopies extending across the front of the building and flat roofed attached garages. Alterations and extensions have been undertaken.

Listed Buildings

Seal Hollow House, Quaker Close

Two storey 1908 house of white roughcast with tile roof, gables to front (one timber framed) and rear, porch and mullioned windows.

Grade 2



Locally Distinctive Positive Features

Tree belts visible above and between the houses forming a backdrop to the development and contributing to the green character

Listed Seal Hollow House is a townscape feature

Vista of listed buildings

Quiet residential character

Negative Features

No significant detractors but these developments generally lack visual unity or local references in terms of materials or design and are generally lacking in landmarks and reference points

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time. There may be opportunities to enhance the area either through retrofitting some buildings not built to current energy efficiency standards (for example with new cladding, solar panels and added insulation) or through the creation of individual buildings of interest or additional landscape features. There may be merit in using such improvements to uplift indistinctive, standardised architecture and add a new distinctiveness to an area. Landmark buildings can lift a design from the ordinary and may be justified on the basis of a sound urban design appraisal of their context and a perceived environmental uplift to the quality of the area.

In proposing new development within the Quaker Close Character Area:

Individual buildings should be of a high standard of intrinsic design quality

Mature trees which contribute to the character of the area should be retained

The listed building and its setting should be protected

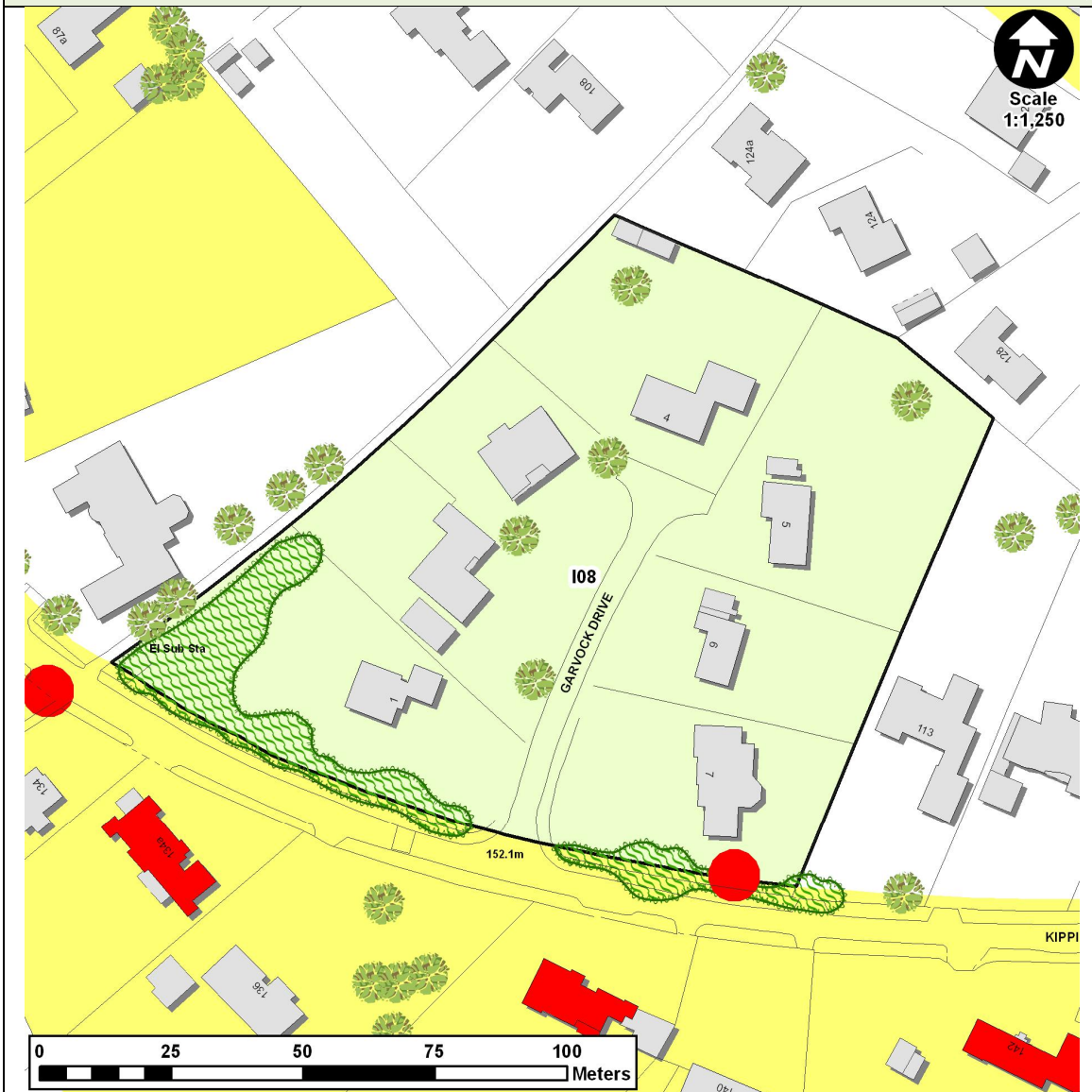
I08 - GARVOCK DRIVE

Comprising Garvock Drive

HISTORICAL CONTEXT

An early 1970s development on the site of a late Victorian house named Garvock, situated within Kippington Park. Garvock Drive comes off Kippington Road, a private road which follows the line of the original drive to Kippington House.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	Early 1970s +
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Brown brick, brown roof tiles, white framed windows.
Predominant boundary treatments	Open plan except at northern end
Open space/ vegetation	Landscaped frontages, trees within gardens, some hedges. Tree belts frame the development.

Area Characteristics



Garvock Drive has an informal character with the houses widely spaced and set back from the road behind open grassed frontages with trees and shrubs. The houses at the north end are partially enclosed by hedges.



The one-two storey houses form an eclectic group in a variety of styles and materials with the only unifying elements being their relatively low height, wide spacing and set back behind landscaped frontages. They have been extended and modified over time.



The extensive front garden of number 7 is enclosed by post and rail fencing and hedge creating an enclosed frontage onto Kippington Road which is in keeping with the character of that road. A hedge and tall trees face onto Kippington Road to the west of the entrance partially screening Garvock Drive and helping to preserve the parkland setting of Kippington Conservation Area.

Tall trees to the rear of the houses and within gardens enhance the character of the area.

Locally Distinctive Positive Features

Private, residential character

Trees visible above and between the houses form a backdrop to the development and contribute to the green character. Landscaped front gardens and mature trees enhance the development.

Hedges, trees and post and rail fence partially screen the development and help to preserve the setting of the Kippington Conservation Area and the character of Kippington Road.

Negative Features

Poor surfacing.

These developments generally lack visual unity or local references in terms of materials or design and are generally lacking in landmarks and reference points

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time. There may be opportunities to enhance the area either through retrofitting some buildings not built to current energy efficiency standards (for example with new cladding, solar panels and added insulation) or through the creation of individual buildings of interest or additional landscape features. There may be merit in using such improvements to uplift indistinctive, standardised architecture and add a new distinctiveness to an area. Landmark buildings can lift a design from the ordinary and may be justified on the basis of a sound urban design appraisal of their context and a perceived environmental uplift to the quality of the area.

In proposing new development within the Garvock Drive Character Area:

Individual buildings should be of a high standard of intrinsic design quality

Mature hedges and trees which contribute to the character of the area should be retained

The setting of Kippington Conservation Area should be protected or enhanced

Locally Distinctive Contextual Features	
Age of buildings	Late 1960s - early 1970s
Type of buildings	Detached
Main uses	Residential
Building heights	One - two storeys
Prominent building materials	Red/brown and brown brick, cream painted render, hung tiles, stone cladding and brown tiled roofs.
Predominant boundary treatments	Open plan
Open space/ vegetation	Landscaped frontages, trees within gardens, some hedges. Tree belts frame the development.

Area Characteristics



The houses are set back from the road on an uneven building line behind deep unenclosed or partially enclosed front gardens. Clipped hedges follow the curves of the road and landscaped gardens and mature trees contribute to the verdant character. Tree belts enclose the views on all sides. The curving streets and undulating topography create changing vistas.



The two storey detached houses have buff or red/brown brick elevations with hung tiles, painted render or stone cladding, relatively shallow pitch brown tiled roofs, many with shallow forward facing gables and narrow chimney stacks to the side and attached flat roof double garages. The properties have flat or pitched roof porches and wide white framed windows. The properties have been sympathetically altered and extended introducing more variety to the designs but the openness of the layout has been retained.



There has been some more recent infill development on the east side of the area including a two storey house and bungalows. Although the materials and design differ from the earlier houses, they blend into the townscape retaining the low scale and open character.

Locally Distinctive Positive Features	
Tree belts visible above and between the houses form a backdrop to the development and contribute to the green character. Clipped hedges, which emphasise the sweeping curves, mature trees and planting enhance the development. Vegetation and topography create changing vistas.	
Residential character	
Negative Features	
Some poor surfacing	
Traffic noise from the A21	

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time. There may be opportunities to enhance the area either through retrofitting some buildings not built to current energy efficiency standards (for example with new cladding, solar panels and added insulation) or through the creation of individual buildings of interest or additional landscape features. There may be merit in using such improvements to uplift indistinctive, standardised architecture and add a new distinctiveness to an area. Landmark buildings can lift a design from the ordinary and may be justified on the basis of a sound urban design appraisal of their context and a perceived environmental uplift to the quality of the area.

In proposing new development within the Beaconsfields Character Area:

Individual buildings should be of a high standard of intrinsic design quality

Mature trees and hedges which contribute to the character of the area should be retained.

I10 - WHITEFRIARS

Comprising Whitefriars

HISTORICAL CONTEXT

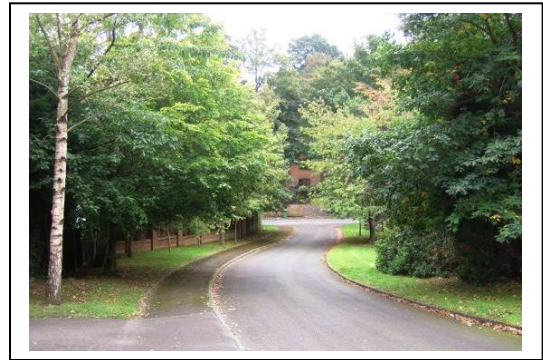
A post 1990 backland development off Hopgarden Lane on former garden land.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	Post 1990
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Variety of brown, red/brown and red brick, brown or orange plain roof tiles, hung tiles.
Predominant boundary treatments	Open plan
Open space/ vegetation	Landscaped frontages, trees within gardens, some hedges. Tree belts frame the development.

Area Characteristics



The character of the area is enhanced by the landscaping. The development is set back from Hopgarden Lane along a curved access road (above right). Tree lined verges and brick and wood panel garden boundaries enclose the road. This verdant entrance enhances the area contributing to the private residential character and maintains the character of Hopgarden Lane.

The houses are set back at angles to the road or facing onto shared accesses behind unenclosed or partially enclosed front gardens, some with low brick walls. The landscaped gardens and mature trees contribute to the verdant character. Tree belts enclose the views to the north and partially screen the development to the south west. To the east there is a longer view over trees and rooftops. The curving street, vegetation and sloping topography create changing vistas.



The two storey detached houses are individually designed incorporating a range of materials including brown, buff and red bricks, red or brown plain roof tiles, white painted or dark wood window frames, and decorative finishes including half timber, hung tiles, stone facing, contrast and herringbone brickwork. One property has neo-classical styling with white pillars supporting the porch and a flat roof side extension. The unifying features are the height and scale of the properties and the spacious open plan plots.

Locally Distinctive Positive Features

The curved landscaped access road enhances the private residential character of the development and maintains the character of Hopgarden Lane.

Individually designed properties

Tree belts visible above and between the houses form a backdrop to the development and contribute to the green character. Landscaped front gardens, mature trees and planting enhance the development. The vegetation, curving layout and topography create changing vistas.

Long view to the east over trees and rooftops

Negative Features

The tree screen could be reinforced to the south west

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time. There may be opportunities to enhance the area through the creation of individual buildings of interest or additional landscape features. Landmark buildings can lift a design from the ordinary and may be justified on the basis of a sound urban design appraisal of their context and a perceived environmental uplift to the quality of the area.

In proposing new development within the Whitefriars Character Area:

Individual buildings should be of a high standard of intrinsic design quality

Mature trees and hedges which contribute to the character of the area should be retained

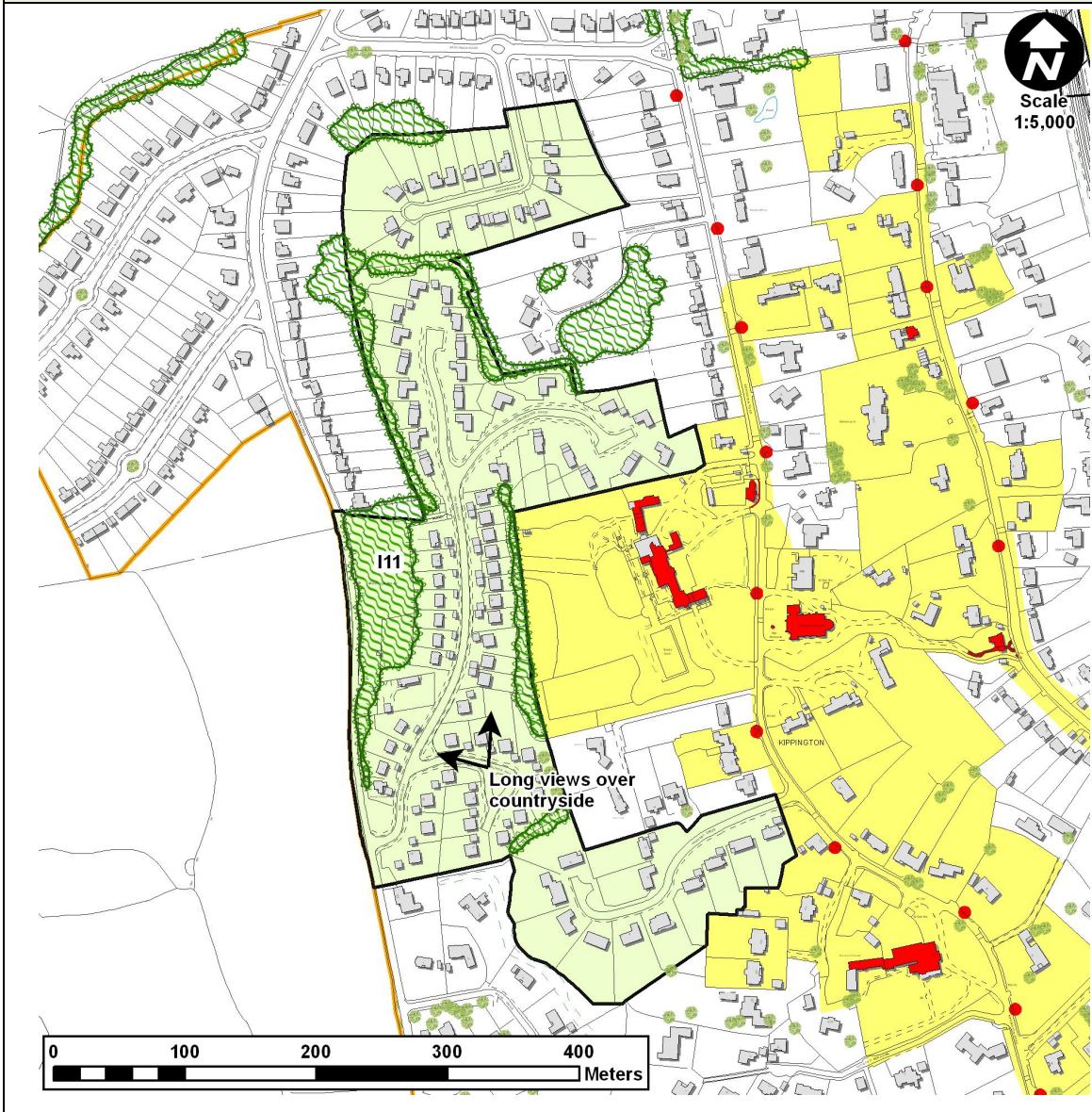
I11 - THE MIDLINGS AREA

Comprising The Middlings, Chichester Drive, Greenwood Way and Middlings Rise.

HISTORICAL CONTEXT

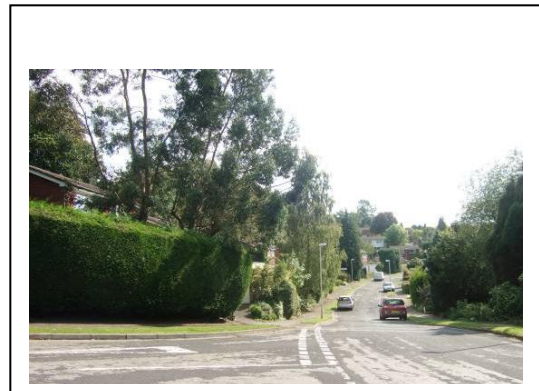
Constructed in the early 1970s on the site of a former community home and Middlings Wood.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	Early 1970s
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys and chalet bungalows
Prominent building materials	Red, buff and brown brick, white weatherboard effect, hung tiles and brown tiled roofs.
Predominant boundary treatments	Open plan
Open space/ vegetation	Open grassed frontages with mature trees and shrubs. Verges in parts. Tree belt to the west.

Area Characteristics



The area has a verdant character created by the grassed frontages, verges, hedges, mature trees and shrubs, tree belts visible to the rear and between houses and the long views over open countryside. There are many chestnut trees from an old chestnut plantation. The undulating topography and curving street layout create changing vistas and views. Trees to the back of the Middlings and Middlings Rise form part of the setting of the Kippington Conservation Area.



The house styles and plot width vary in each street. The houses are constructed of red, brown or buff brick with shallow pitch brown tiled roofs and attached garages. The northern section of the Middlings (above left) comprises two storey tile hung houses with wide frontages set on a relatively regular building line. The middle section of the road comprises slightly smaller houses on narrower plots. In Chichester Drive (below left) the larger houses are arranged at angles to the road on irregular undivided plots and in Middlings Rise (above right) chalet bungalows with distinctive asymmetric roofs nestle into the hillside.

Views



The land rises sharply to the west permitting long views eastwards (above left) and southwards (above right) over open countryside from Middlings Rise, protected by the low height of the chalet bungalows. There is a footpath through Middlings Wood to Britains Lane.

Locally Distinctive Positive Features

Tree belts visible above and between the houses form a backdrop to the development and contribute to the green character. Grassed frontages, verges, hedges, mature trees and planting enhance the development. The curving streets, vegetation and topography create changing vistas and views.

There are long views to the south and east from Middlings Rise

Residential character with no through traffic

Negative Features

Some poor surfacing

Traffic noise from the A21

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time. There may be opportunities to enhance the area either through retrofitting some buildings not built to current energy efficiency standards (for example with new cladding, solar panels and added insulation) or through the creation of individual buildings of interest or additional landscape features. There may be merit in using such improvements to uplift indistinctive, standardised architecture and add a new distinctiveness to an area. Landmark buildings can lift a design from the ordinary and may be justified on the basis of a sound urban design appraisal of their context and a perceived environmental uplift to the quality of the area.

In proposing new development within the Middlings Area Character Area:

Individual buildings should be of a high standard of intrinsic design quality

Mature trees and hedges which contribute to the character of the area should be retained

Views to the south and east from Middlings Rise should be protected

The setting of Kippington Conservation Area should be protected or enhanced

I12 - SERPENTINE COURT

Comprising Serpentine Court and Lansdowne Road (part)

HISTORICAL CONTEXT

A post 1990 development on former playing fields and garden land.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	Post 1990
Type of buildings	Detached
Main uses	Residential and nursing home
Building heights	Two storeys
Prominent building materials	Brown, red/brown and buff brick, half timbering, hung tiles, roof tiles.
Predominant boundary treatments	Open plan
Open space/ vegetation	Landscaped frontages and trees within gardens. Hedge/trees along northern boundary. Adjoins playing fields. Hedge enclosing Lansdowne Road.

Area Characteristics



The five detached two storey houses (above left) are set back from a short paved cul-de-sac and shared access behind grassed frontages planted with trees and shrubs. Curved brick walls enclose the entrance. Grassed verges and the hedge enclosing the playing field contribute to the green character. The houses are of individual designs with a variety of traditional decorative finishes including hung tiles, half timbering and contrast brickwork. The gabled tiled roofs have front facing gables and/or pitched dormer windows. The development has an open residential character with no long views.

The long frontage of the nursing home (above right) and its brick boundary wall and hedge enclose Lansdowne Road on the east side. The building is constructed of red/brown brick with white painted render first storey and a brown tiled gabled roof. A wide forward facing gable end with semi circular porch and balcony breaks up the façade. Small pitched dormer windows provide interest in the roofline. The low height blends well with surrounding housing in this elevated position. The brick wall and hedge maintains the enclosed character of Lansdowne Road.

Locally Distinctive Positive Features

The brick walls and hedge/trees enclosing the access to Serpentine Court enhance the private residential character of the development and maintain the character of Lansdowne Road

Individually designed properties with a variety of traditional decorative details

Open character within Serpentine Court created by unenclosed frontages, set back of buildings, relatively wide plots and spacing between houses

The hedge, landscaped front gardens, mature trees and planting enhance the development

The wide façade and low height of the nursing home and the brick walls and hedges maintain the enclosed character of Lansdowne Road and blend with surrounding housing

The gable, porch and balcony break up the façade and provide interest in the roofline

Negative Features

No significant detractors

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Serpentine Court Character Area

Mature trees and hedges which contribute to the character of the area should be retained

I13 - ROSEFIELD

Comprising Rosefield

HISTORICAL CONTEXT

A cul-de-sac development built on the site of a late Victorian mansion named Rosefield which was demolished in the early 1970s.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	Early 1970s
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Brown brick with stone clad
Predominant boundary treatments	Open plan
Open space/ vegetation	Mature trees and hedges

Area Characteristics



Rosefield is a cul-de-sac development of detached 1970s houses set in a curve around the access road behind very deep grassed and landscaped open or partially enclosed frontages, creating an informal, open, green character. The entrance from Kippington Road is curved and enclosed by mature trees and hedges, which screen the development and maintain the historic verdant character of Kippington Road. The houses are two storey with brown brick with stone clad elevations, shallow pitched roofs and wide forward facing gables, with single storey garages to the side and large areas of glazing.



Locally Distinctive Positive Features

Hedges and trees screen the development and help to preserve the verdant, historic character of Kippington Road

Trees visible above and between the houses form a backdrop to the development and contribute to the green character. Deep, landscaped frontages and mature trees enhance the development.

Private, residential character

Negative Features

No significant detractors but these developments generally lack visual unity or local references in terms of materials or design and are generally lacking in landmarks and reference points

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time. There may be opportunities to enhance the area either through retrofitting some buildings not built to current energy efficiency standards (for example with new cladding, solar panels and added insulation) or through the creation of individual buildings of interest or additional landscape features. There may be merit in using such improvements to uplift indistinctive, standardised architecture and add a new distinctiveness to an area. Landmark buildings can lift a design from the ordinary and may be justified on the basis of a sound urban design appraisal of their context and a perceived environmental uplift to the quality of the area.

In proposing new development within the Rosefield Character Area:

Individual buildings should be of a high standard of intrinsic design quality

Mature trees and hedges which contribute to the character of the area should be retained

Locally Distinctive Contextual Features	
Age of buildings	Early 1970s
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Various
Predominant boundary treatments	Open plan
Open space/ vegetation	Trees

Area Characteristics



Pineneedle Lane leads off south of Linden Chase whilst The Glade leads off north from Woodside Road. The entrance to Pineneedle Lane (left) is long and narrow, strongly enclosed by high fences and trees with a vista of a striking 1970s property on lower ground with a backdrop of trees closing the view. The Glade by contrast is a short cul-de-sac with the first property adjoining Woodside Road.



Pineneedle Lane comprises individually designed properties on wide open plots set behind landscaped grassed areas which create a verdant setting (below left). The site is flat, low-lying and surrounded by trees which contribute to the sense of place. The houses on the south side have wide forward facing asymmetric gables with windows of various dimensions including floor to ceiling single pane windows, flat roofed porches and a variety of decorative finishes including white paint, and painted or natural vertical timbers (above left and right). Those to the north, have wide timber facades, shallow gabled tiled roofs and white balconies (below right). The striking house designs and spacious layout gives the lane a unique character.

To the west of Pineneedle Lane there are two open plan properties down a gated access.



The Glade is a more conventional cul-de-sac layout with the houses spaced out on an uneven building line behind landscaped open plan front gardens. The houses are of individual designs in red/brown or brown brick with brown tiled roofs and forward facing gables.



In Blair Drive, the yellow and brown brick neo-Georgian style houses are set back behind landscaped front gardens and driveways on the west side of the access road. The set back, spaces between houses, trees and other soft landscaping contribute to an open character. Trees are visible above and between the houses and landscaping along the southern boundary helps to maintain the green character of Mount Harry Road.

Locally Distinctive Positive Features

Tree belts visible above and between the houses form a backdrop to the developments
Residential character with no through traffic

Negative Features

The open plan character of The Glade is juxtaposed to the character of the informal lane
Woodside Road which it abuts

These developments generally lack visual unity or local references in terms of materials or design
and are generally lacking in landmarks and reference points

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time. There may be opportunities to enhance the area either through retrofitting some buildings not built to current energy efficiency standards (for example with new cladding, solar panels and added insulation) or through the creation of individual buildings of interest or additional landscape features. There may be merit in using such improvements to uplift indistinctive, standardised architecture and add a new distinctiveness to an area. Landmark buildings can lift a design from the ordinary and may be justified on the basis of a sound urban design appraisal of their context and a perceived environmental uplift to the quality of the area.

In proposing new development within the Pineneedle Lane Area Character Area:

Individual buildings should be of a high standard of intrinsic design quality

Mature trees which contribute to the character of the area should be retained and enhanced

I15 - LYLE PARK

Comprising Lyle Park

HISTORICAL CONTEXT

The area north of Hitchen Hatch Lane comprising agricultural land, Mount Harry and Barrack Wood was laid out with large houses along curving streets in the late 19th Century. This cul-de-sac development was constructed on the site of the demolished late Victorian Lyle Court in the early 1970s.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	Early 1970s
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Brown and buff brick, stone cladding, hung tiles, brown roof tiles and weatherboard.
Predominant boundary treatments	Open plan
Open space/ vegetation	Hedges, grassed frontages and planting within the area. Trees form a backdrop and enclose views.

Area Characteristics



The entrance to Lyle Park rises and curves off to the north from Linden Chase. The houses are arranged either side of the street on relatively wide plots and an uneven building line, behind open grassed frontages and driveways of various depths. The view to the east is enclosed by trees. There is a view to the south over trees and rooftops. The houses are of brown and buff brick in various styles with some repeated, with gabled tiled roofs and some forward facing gables. Decorative finishes include hung tiles, stone cladding and white weatherboard. The open plan character is juxtaposed to the adjoining Linden Chase.



Locally Distinctive Positive Features

Tree belts visible above and between the houses form a backdrop to the development
Views are enclosed by trees
Residential character with no through traffic

Negative Features

The open plan character is juxtaposed to the adjoining informal lane character of Linden Chase
These developments generally lack visual unity or local references in terms of materials or design and are generally lacking in landmarks and reference points

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time. There may be opportunities to enhance the area either through retrofitting some buildings not built to current energy efficiency standards (for example with new cladding, solar panels and added insulation) or through the creation of individual buildings of interest or additional landscape features. There may be merit in using such improvements to uplift indistinctive, standardised architecture and add a new distinctiveness to an area. Landmark buildings can lift a design from the ordinary and may be justified on the basis of a sound urban design appraisal of their context and a perceived environmental uplift to the quality of the area.

In proposing new development within the Lyle Park Character Area:

Individual buildings should be of a high standard of intrinsic design quality

Mature trees which contribute to the character of the area should be retained and enhanced

I16 - SERPENTINE ROAD

Comprising Serpentine Road (part)

HISTORICAL CONTEXT

This is 1970s/80s infill development.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1970-1985
Type of buildings	Detached and semi-detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Red/brown brick, brown roof tiles, hung tiles.
Predominant boundary treatments	Open plan, some dwarf walls, fences and hedges.
Open space/ vegetation	Some hedges. Open space to the south of the area.

Area Characteristics



This is an infill development of detached and semi-detached two storey houses set amongst a Victorian/ Edwardian Character Area. The houses are set back on an even building line behind front gardens or driveways which are open plan or partially enclosed by dwarf walls, fences and hedges. The houses are constructed of red/brown brick and are of various styles with hipped or gabled brown tiled roofs. Some properties have the upper storey in the roof with dormer windows.

Locally Distinctive Positive Features
Houses set back on an even building line behind landscaped front gardens

Negative Features

The open plan character is juxtaposed to the adjoining Victorian/ Edwardian Character Area and lack local references in terms of materials or design

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time. There may be opportunities to enhance the area either through retrofitting some buildings not built to current energy efficiency standards (for example with new cladding, solar panels and added insulation) or through the creation of individual buildings of interest or additional landscape features. There may be merit in using such improvements to uplift indistinctive, standardised architecture and add a new distinctiveness to an area. Landmark buildings can lift a design from the ordinary and may be justified on the basis of a sound urban design appraisal of their context and a perceived environmental uplift to the quality of the area.

In proposing new development within the Serpentine Road Character Area:

Individual buildings should be of a high standard of intrinsic design quality and respect the cohesive character of the adjoining character area

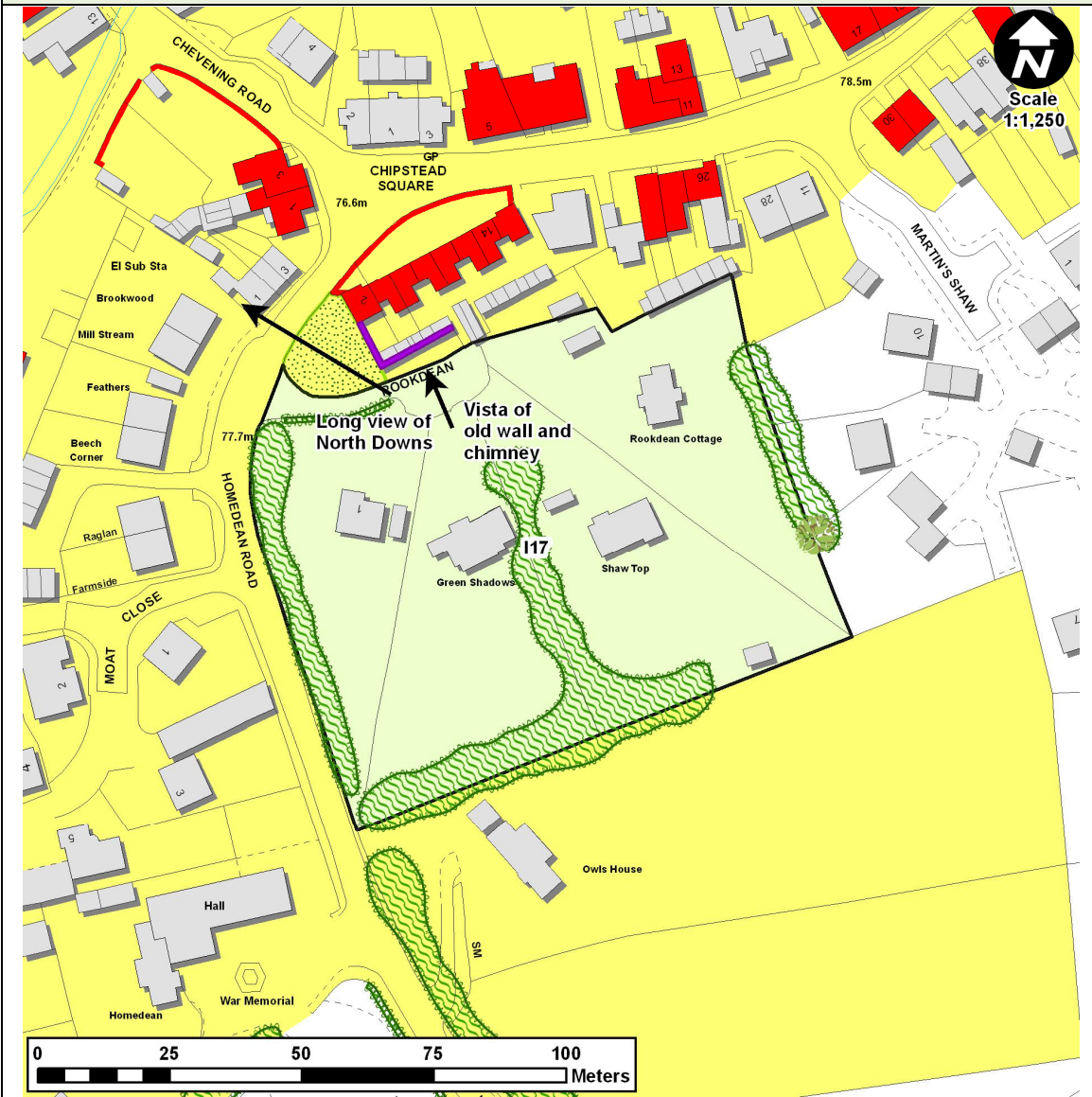
I17 - ROOKDEAN

Comprising Rookdean

HISTORICAL CONTEXT

A small 1960s development on land that previously formed part of the Chipstead Place estate.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1960s
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Brick of various shades, roof tiles and painted render.
Predominant boundary treatments	Part open, part hedges and shrubs.
Open space/ vegetation	Long front gardens. Adjoins small green open space.

Area Characteristics



The four individually designed detached houses are situated on the south and east side of a short shared access off Homedean Road. A grass open space then verge and mellow stone and brick wall form the northern boundary. The houses are set back in a curve behind deep landscaped front gardens with mature trees, which are partially enclosed by hedges and shrubs, creating a very green character. Trees and hedges screen the houses from Homedean Road, protecting the historic character of the adjoining Chipstead Conservation Area. The houses are constructed of various shades of brick with white rendered sections and hipped or gabled brown tiled roofs with forward facing gables.





There are vistas to the north (see left) and west (see below) into the Chipstead Conservation Area.



Locally Distinctive Positive Features

Landscaped access enclosed by a verge and old stone wall to the north

Vistas of roofscape in the Chipstead Conservation Area to the north and of the Conservation Area to the west

Verdant character

Screened from Homedean Road and the Conservation Area by hedge and trees

Negative Features

Road noise from the M25 and M26 to the west and north

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time. There may be opportunities to enhance the area either through retrofitting some buildings not built to current energy efficiency standards (for example with new cladding, solar panels and added insulation) or through the creation of individual buildings of interest or additional landscape features. There may be merit in using such improvements to uplift indistinctive, standardised architecture and add a new distinctiveness to an area. Landmark buildings can lift a design from the ordinary and may be justified on the basis of a sound urban design appraisal of their context and a perceived environmental uplift to the quality of the area.

In proposing new development within the Rookdean Character Area:

Individual buildings should be of a high standard of intrinsic design quality

Mature trees which contribute to the character of the area should be retained

The setting of Chipstead Conservation Area should be protected or enhanced

I18 - CHIPSTEAD PARK

Comprising Chipstead Park

HISTORICAL CONTEXT

The area was laid out in the mid 1960s - 1970s on former quarry land belonging to Chipstead Place.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1960-1970s
Type of buildings	Detached
Main uses	Residential
Building heights	One – two storeys
Prominent building materials	Various brick, hung tiles, weathboard.
Predominant boundary treatments	Open plan with some dwarf walls and hedges.
Open space/ vegetation	Treed open space adjoins to the south. Tree belt to the north.

Area Characteristics



Chipstead Park forms a loop off a loop with an arm leading off to the west. It is separated from Chipstead Lane by open space with trees which close the views to the south. This open space lies within the Chipstead Conservation Area. The curving streets and undulating topography create changing views and vistas with occasional long views northwards over trees towards the North Downs. The houses are set back on a curved building line behind front gardens which are open plan or partially enclosed by hedges and dwarf walls. The scheme incorporates both two storey houses and bungalows, with bungalows particularly along the northern edge to protect the views. The area has an open, green character. There is no through traffic but there is noise from the M26 to the north.



The houses are of various designs with some repeats and are constructed in various shades of brick with white weatherboard, hung concrete tiles and painted render. The roofs are generally shallow and gabled, some with wide gables facing the road. There are also hipped and mansard roofs.

Locally Distinctive Positive Features

Residential character with no through traffic

The undulating topography and curving streets create changing views and vistas.

There are views from the higher points northwards over trees towards the North Downs

A tree belt within the Chipstead Conservation Area closes views to the south

Negative Features

Traffic noise from the M26 to the north

These developments generally lack visual unity or local references in terms of materials or design and are generally lacking in landmarks and reference points

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time. There may be opportunities to enhance the area either through retrofitting some buildings not built to current energy efficiency standards (for example with new cladding, solar panels and added insulation) or through the creation of individual buildings of interest or additional landscape features. There may be merit in using such improvements to uplift indistinctive, standardised architecture and add a new distinctiveness to an area. Landmark buildings can lift a design from the ordinary and may be justified on the basis of a sound urban design appraisal of their context and a perceived environmental uplift to the quality of the area. Any landmark building would need to be consistent with the scale and character of the surrounding residential area.

In proposing new development within the Chipstead Park Character Area:

Individual buildings should be of a high standard of intrinsic design quality

Mature trees which contribute to the character of the area should be retained

Views of the North Downs should be protected

The setting of Chipstead Conservation Area should be protected or enhanced

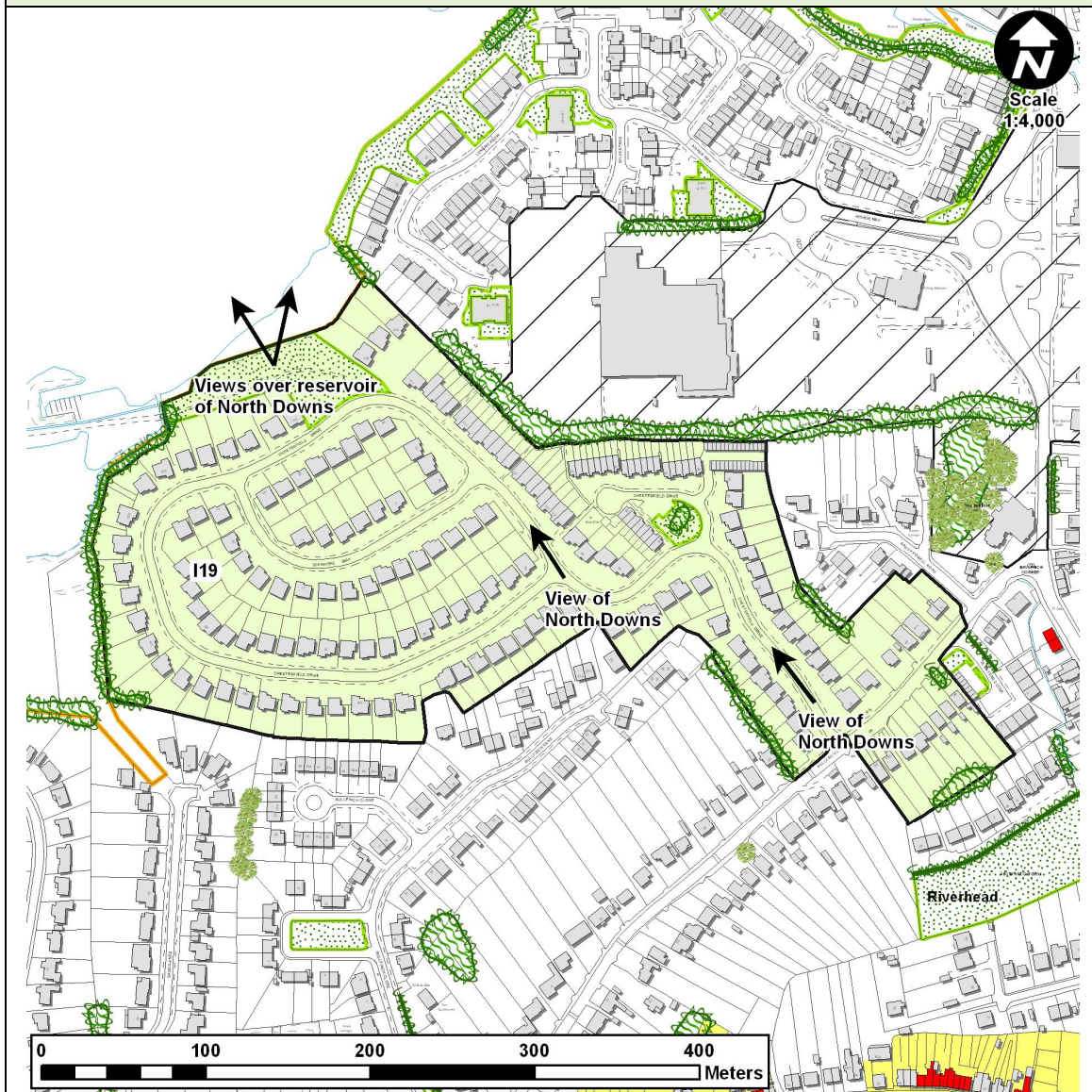
I19 - CHESTERFIELD DRIVE AREA

Comprising Chesterfield Drive and Stanhope Way

HISTORICAL CONTEXT

This area was laid out in the late 1970s on the site of former works associated with the gravel pit.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1960-1970s
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Brown and red brick, black and white weatherboard and hung tiles.
Predominant boundary treatments	Open plan
Open space/ vegetation	Grassed open space by lakeside. Smaller grassed open spaces and landscaped front gardens. Tree belts to the west, east and south.

Area Characteristics



Chesterfield Drive is a loop development with a short cul de sac leading off it. The houses are on a relatively regular building line behind relatively shallow open plan front gardens and driveways. The detached two storey houses are regularly spaced and are of various repeated designs.



The eastern part of the area includes terraced properties of uniform design set behind open plan frontages at slight angles to the road (above left). The horizontal banding of timber and white render provides interest in the elevations.

The detached houses are of a variety of repeated designs which incorporate red or brown brick, hung tiles and black weatherboard. The roofs are gabled, many with shallow gable ends facing the road. Some properties have distinctive asymmetric roof lines (above right).

Views



The sloping topography and curving streets create changing views. Long views are generally closed by surrounding tree belts, but at the northern corner the landscape suddenly opens out and there are long views over an open space, lake and across countryside to the North Downs (above left and right). There are also glimpses of trees over and between the houses.

Locally Distinctive Positive Features

The eastern part of the area includes terraced properties of uniform design with horizontal banding of timber and white render

Long views from the north corner over the green open space and lake towards the North Downs. This is a particular feature of the development

There are glimpses of trees over and between the houses

Residential character with no through traffic

Negative Features

Traffic noise from the M26 to the north

These developments generally lack visual unity or local references in terms of materials or design and are generally lacking in landmarks and reference points

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time. There may be opportunities to enhance the area either through retrofitting some buildings not built to current energy efficiency standards (for example with new cladding, solar panels and added insulation) or through the creation of individual buildings of interest or additional landscape features. There may be merit in using such improvements to uplift indistinctive, standardised architecture and add a new distinctiveness to an area. Landmark buildings can lift a design from the ordinary and may be justified on the basis of a sound urban design appraisal of their context and a perceived environmental uplift to the quality of the area. Any landmark building would need to be consistent with the scale and character of the surrounding residential area.

In proposing new development within the Chesterfield Drive Area Character Area:

Individual buildings should be of a high standard of intrinsic design quality

The unity of design and materials of the terraced properties should be respected

Mature trees and open spaces which contribute to the character of the area should be retained
The views of the North Downs should be protected

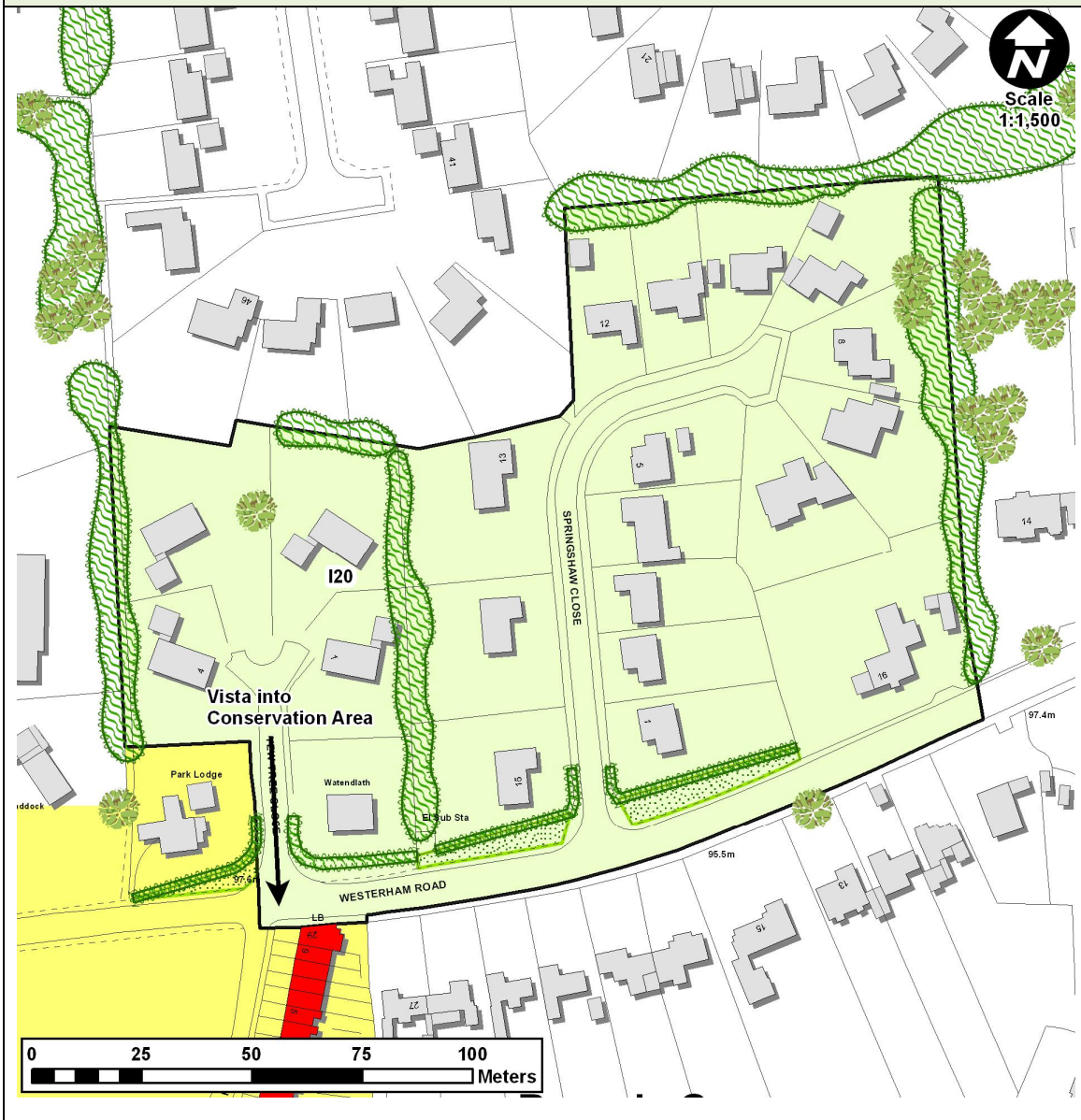
I20 - SPRINGSHAW CLOSE

Comprising Springshaw Close and Yew Tree Close

HISTORICAL CONTEXT

Springshaw Close was built in the early 1970s on former woodland belonging to Chipstead Place. Yew Tree Close is more recent infill.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1970s
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Brown brick, white painted render and hung tiles.
Predominant boundary treatments	Open plan
Open space/ vegetation	Tree belt to the east.

Area Characteristics



Springshaw Close (above) is an L-shaped cul-de-sac development leading from the north side of Westerham Road. The detached two storey houses are set back behind unenclosed or partially enclosed front gardens on plots of different width. The gardens in Yew Tree Close are more enclosed (below left). The houses are individually designed with hipped or gabled roofs, some with forward facing symmetric or asymmetric gables or roofs extending down to ground floor level. Decorative finishes include white painted render and hung tiles. The white paint brightens the streetscape. Several properties have tall, feature chimneys. The view is closed by trees to the east.

The entrance to Yew Tree Close forms part of the setting of the Bessels Green Conservation Area. There is a vista into the Conservation Area (below right).



Locally Distinctive Positive Features

A tree belt closes the view to the east in Springshaw Close
Residential character with no through traffic

Negative Features

Traffic noise from the A25 Westerham Road
These developments generally lack visual unity or local references in terms of materials or design and are generally lacking in landmarks and reference points

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time. There may be opportunities to enhance the area either through retrofitting some buildings not built to current energy efficiency standards (for example with new cladding, solar panels and added insulation) or through the creation of individual buildings of interest or additional landscape features. There may be merit in using such improvements to uplift indistinctive, standardised architecture and add a new distinctiveness to an area. Landmark buildings can lift a design from the ordinary and may be justified on the basis of a sound urban design appraisal of their context and a perceived environmental uplift to the quality of the area. Any landmark building would need to be consistent with the scale and character of the surrounding residential area.

In proposing new development within the Springshaw Close Character Area:

Individual buildings should be of a high standard of intrinsic design quality

Mature trees which contribute to the character of the area should be retained

The setting of Bessels Green Conservation Area should be protected or enhanced

I21 - WATERCRESS DRIVE

Comprising Watercress Drive and Watercress Close

HISTORICAL CONTEXT

The Greatness area was developed after estate land was donated to the town council in the 1920s. Watercress Drive and Close lie to the north of this area and were built after 1990. It is named after the watercress beds which were on this low lying site.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1990+
Type of buildings	Detached and semi-detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Buff and pink/brown brick, orange hung tiles.
Predominant boundary treatments	Open plan
Open space/ vegetation	Open grassed frontages. Tree belts to south and north. Recreation ground to the north of the area.

Area Characteristics



Watercress Crive is a slightly curved street connected at either end to Farm Lane and Queen's Drive. Watercress Close is a cul-de-sac development to the rear. The building line is at a slight angle to the road, so that the unenclosed grassed frontages and concrete driveways become deeper towards the north west. The uniform buff brick or pink/brown houses are hung with orange tiles and have dark brown window frames and brown tiled pitched roofs. The uniform building designs and a harmonious range of limited materials create a cohesive character.

The south side of the road is enclosed by trees, giving the area a private character. To the north a belt of trees forms a back drop to the development. There is access to a recreation ground to the north of the area.

Locally Distinctive Positive Features
The low site and tree belts create a private character with no long views.
Uniform building designs create a cohesive character
Residential character with little through traffic

Negative Features

Traffic noise from the M26 to the north

Poor quality surfacing and landscaping

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Watercress Drive Character Area:

The harmonious palette of buff and pink/brown brick, orange hung tiles and brown tile roofs should be respected

Mature trees which contribute to the character of the area should be retained

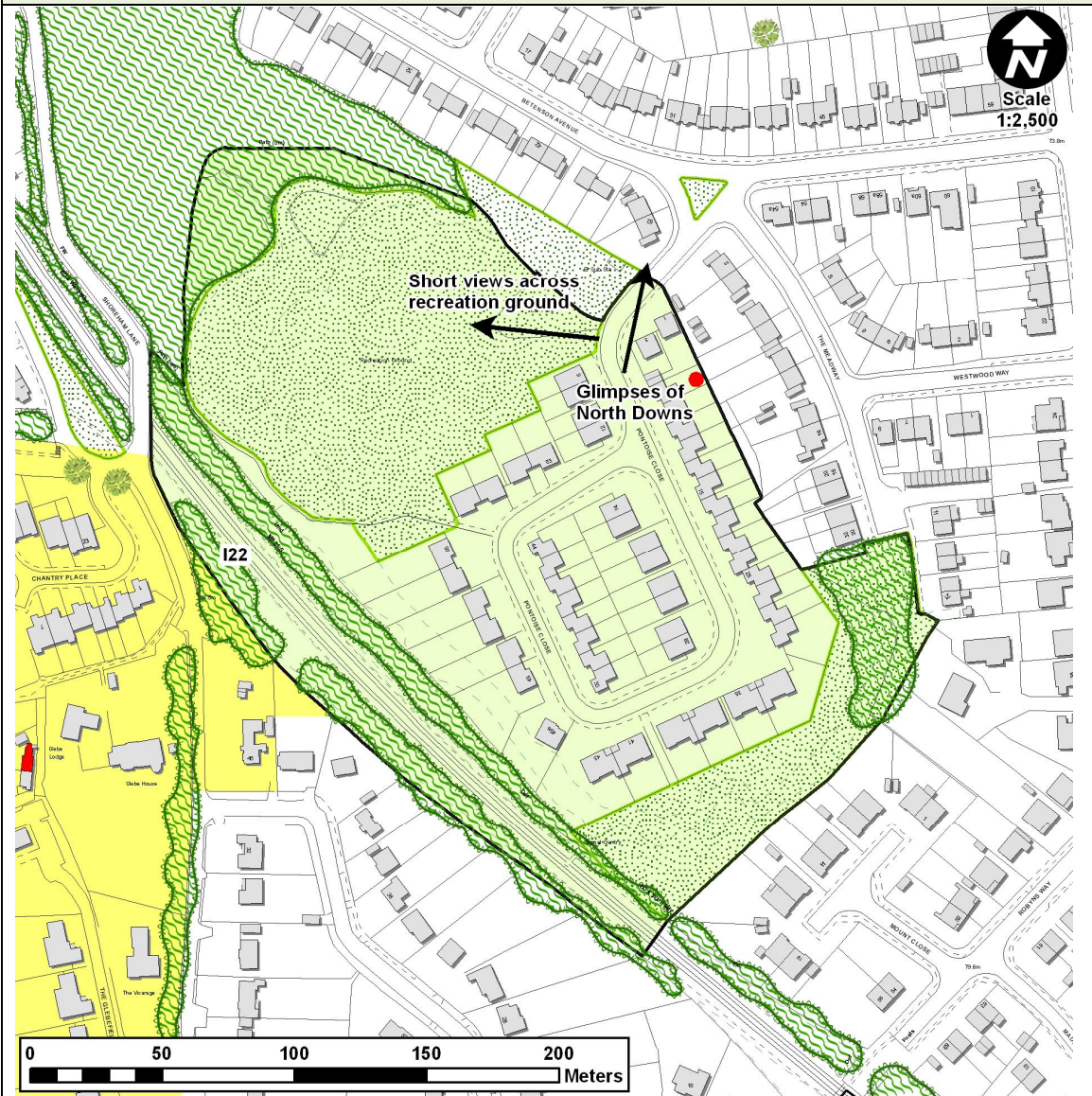
I22 - PONTOISE CLOSE

Comprising Pontoise Close

HISTORICAL CONTEXT

Constructed in the early 1970s on former woodland and sandpits. The Close is named to commemorate the Sevenoaks Pontoise twinning.

TOWNSCAPE MAP

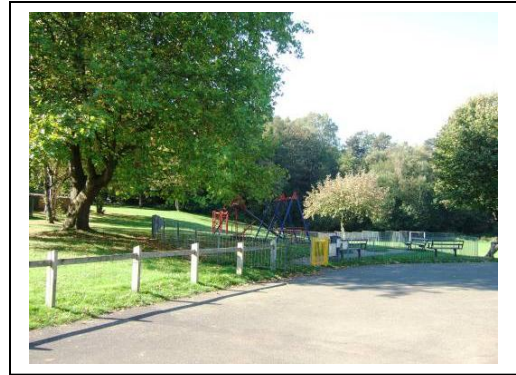


Locally Distinctive Contextual Features	
Age of buildings	Early 1970s
Type of buildings	Semi-detached, some detached
Main uses	Residential
Building heights	Two storeys and bungalows
Prominent building materials	Buff and brown brick, white weatherboard effect, hung tiles and brown tiled roofs.
Predominant boundary treatments	Open plan
Open space/ vegetation	Open space to the south and north. Open grassed frontages with trees and shrubs. Verges in parts. Tree belt to the west and north.

Area Characteristics



This loop development of semi-detached two storey houses and bungalows has a quiet residential character with no through traffic. The buildings are of a variety of designs and materials. The west side comprises brown brick tile hung houses with chimneys. The east side is constructed of buff brick with flat roof front projections and white weatherboard. The roofs are pitched, some with wide shallow gables facing the road. At the southern end a row of bungalows is situated on the higher ground.



The landscape setting is a particular feature of the area. To the north east there is an extensive grass recreation area and playground framed by remnant woodland (above left and right). A belt of trees runs along the raised railway line to the west of the area, visible over and between the houses (top right). There are glimpses of the North Downs to the north east.

Soft landscaping within the scheme including grassed open plan frontages and planted verges (right) also enhance the character.



Locally Distinctive Positive Features

Tree belts visible above and between the houses form a backdrop to the development and contribute to the green character. Grassed frontages, verges and planting enhance the development.

There are short views across the recreation ground and glimpses of the North Downs

Residential character with no through traffic

Negative Features

Poor surfacing

Intermittent train noise

These developments generally lack visual unity or local references in terms of materials or design

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time. There may be opportunities to enhance the area either through retrofitting some buildings not built to current energy efficiency standards (for example with new cladding, solar panels and added insulation) or through the creation of individual buildings of interest or additional landscape features. There may be merit in using such improvements to uplift indistinctive, standardised architecture and add a new distinctiveness to an area. Landmark buildings can lift a design from the ordinary and may be

justified on the basis of a sound urban design appraisal of their context and a perceived environmental uplift to the quality of the area.

In proposing new development within the Pontoise Close Character Area:

Individual buildings should be of a high standard of intrinsic design quality

Mature trees and open space which contribute to the character of the area should be retained

Views of the recreation ground should be protected

I23 LAKE VIEW ROAD AREA

Comprising Robyns Way (part), Lake View Road, Madison Way and Crawshay Close

HISTORICAL CONTEXT

In the 19th Century this land formed part of the Bradbourne Estate. Robyns Way was begun in the interwar period. The other streets and all the buildings in this area date from the 1960s and 1970s.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1960 – 1970s, some 1950s
Type of buildings	Semi-detached and some detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Buff and brown brick, hung tiles, hung timber, brown roof tiles
Predominant boundary treatments	Open plan
Open space/ vegetation	Bradbourne Lakes and trees to the north. Tree belts to the west and south.

Area Characteristics



Lake View Road (left) slopes down gently westward. It has a verdant character with the houses set back behind landscaped open plan front gardens with specimen trees. To the north, the trees surrounding Bradbourne Lakes are visible over and between the houses forming a verdant backdrop and trees flank the eastern entrance to the road on the south side. The houses in Lake View Road are on irregular width plots on a slightly irregular building line. Robyns Way has a less verdant character with the houses more evenly spaced on a regular building line. Robyns Way and the cul-de-sacs leading off it, nestle on low lying ground with tree belts enclosing the view on all sides (above right showing the view of Robyns Way and Madison Way from Mount Close).



The houses are of various designs, with relatively steeply pitched or half hipped brown tiled roofs and brick elevations. Sections of the elevations are painted or hung with tiles or vertical timbers. In Lake View Road three pairs of semi detached houses have distinctive cut out rooflines and tall narrow chimneys (above left). In Crawshay Close (above right) and Madison Way (below left and right) cul-de-sacs the houses are more widely spaced.



At the western end of Robyns Way, there is a small open space where an arch leads under the railway line.



Facing onto Upper Lambarde Road, there are three properties dating from the 1950s which have brick ground floors and white painted rendered upper storeys under hipped, tiled roofs, set back behind hard surfaced front gardens enclosed by brick walls.

Locally Distinctive Positive Features

Tree belts visible above and between the houses form a backdrop to the developments

Verdant character of east end of Lake View Road

Residential character with little through traffic

Negative Features

Some poor surfacing

Train noise

These developments generally lack visual unity or local references in terms of materials or design and are generally lacking in landmarks and reference points

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time. There may be opportunities to enhance the area either through retrofitting some buildings not built to current energy efficiency standards (for example with new cladding, solar panels and added insulation) or through the creation of individual buildings of interest or additional landscape features. There may be merit in using such improvements to uplift indistinctive, standardised architecture and add a new distinctiveness to an area. Landmark buildings can lift a design from the ordinary and may be justified on the basis of a sound urban design appraisal of their context and a perceived environmental uplift to the quality of the area.

In proposing new development within the Lake View Road Character Area:

Individual buildings should be of a high standard of intrinsic design quality

Mature trees and open space which contributes to the character of the area should be retained

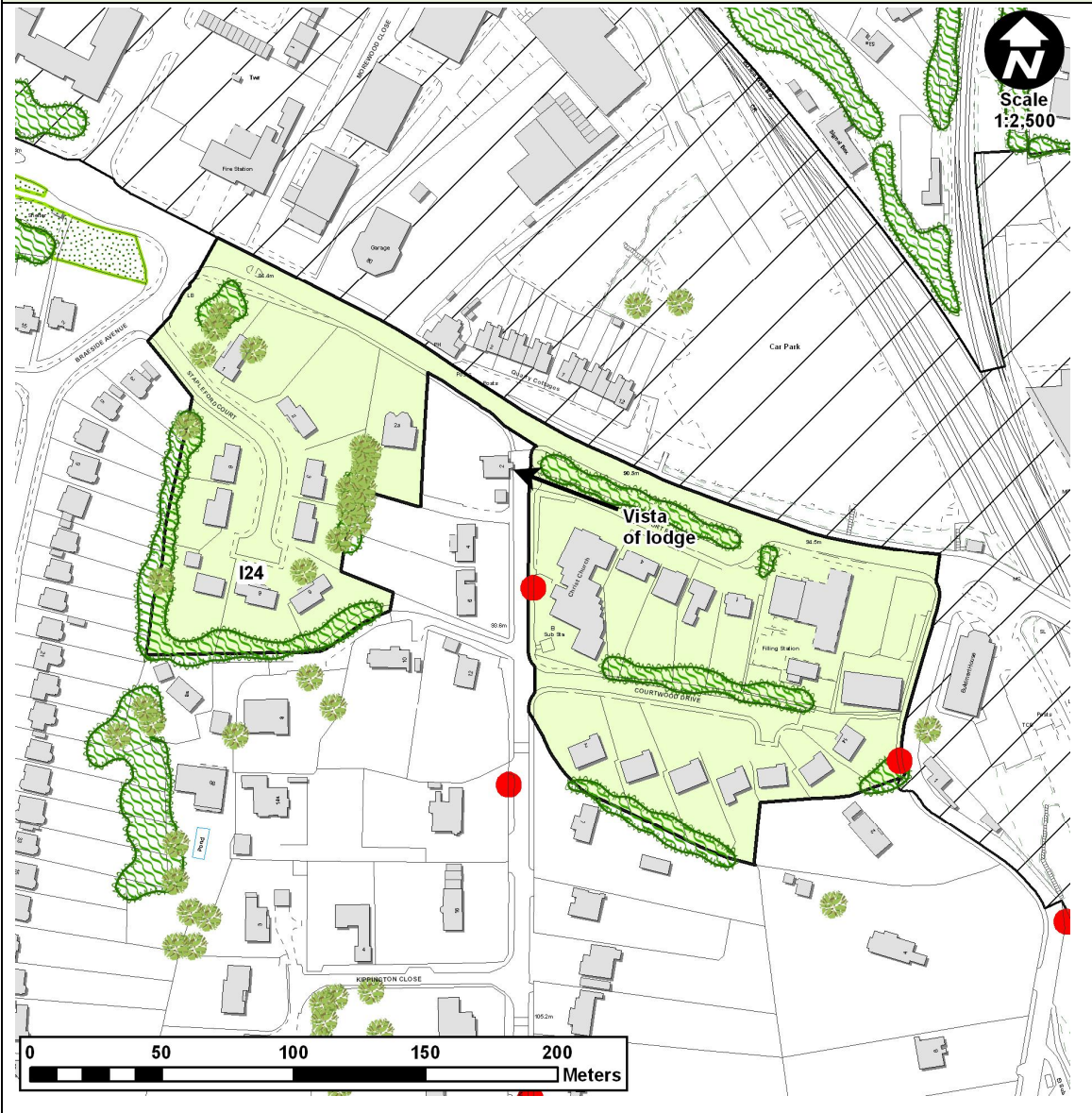
I24 - COURTWOOD DRIVE AREA

Comprising Courtwood Drive, Stapleford Court, Littlecourt Road and London Road (part)

HISTORICAL CONTEXT

These infill developments off London Road took place on former garden land between 1960 and 1985.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1960 - 1980s
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Various brick, hung tiles, half timber.
Predominant boundary treatments	Open plan
Open space/ vegetation	Littlecourt Road is set back behind a treed frontage.

Area Characteristics



This area incorporates three separate open plan developments. Courtwood Drive (above right) is a straight cul-de-sac leading off Kippington Road and Stapleford Court (above left) is a curved cul-de-sac off Braeside Avenue. Littlecourt Road constructed in the 1960s is a service road leading off the London Road, with a narrow treed band separating the houses from the road. In all three developments, the detached two storey houses are set back behind open grassed or hard surfaced frontages but the designs and materials vary.

The houses in Courtwood Drive are set above and at angles to the road and are of uniform design with red/brown brick elevations and gabled tiled roofs, flat roofed porches and tall staircase windows.

In Stapleford Court, the houses are red or yellow brick with neo-georgian details including symmetrical multipaned windows, hipped Roman tiled roofs and pillars. The yellow brick contrasts with the neighbouring red brick properties in Braeside Avenue.

In all streets, trees are visible above and between the properties.

In Littlecourt Road, the houses have hipped roofs and rendered painted upper storeys incorporating half timber details.



The cul-de-sacs have a residential character except for Littlecourt Road which has a more mixed character with the URC church and a garage adjoining to the north and south. There is a vista of the Kippington Lodge townscape feature to the north.

Locally Distinctive Positive Features
<p>Each development has a coherent and different character created by repeated designs and materials</p> <p>Trees partially screen Littlecourt Road from the London Road and enclose the east side of Courtwood Drive. Trees are visible behind the properties in all streets.</p> <p>Cul-de-sacs with no through traffic</p>

Negative Features
<p>Traffic noise from the London Road</p>

Design Guidance
<p>The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.</p> <p>In proposing new development within the Courtwood Drive Area Character Area:</p> <p>Harmonious palettes of materials within Courtwood Drive, Stapleford Court and Littlecourt Road should be respected</p> <p>Mature trees which contribute to the character of the area should be retained</p>

