

F FORMAL DETACHED CHARACTER AREAS



These planned estate areas and cul-de-sacs comprise mostly 2 storey detached houses, This form of development started in the 1930s and became popular in the 1950s and early 1960s.

The detached houses are usually relatively closely spaced on a regular building line set back from the road behind front gardens enclosed by consistent boundaries, usually low walled gardens or hedges and some trees. Groups of buildings are visible above walled, hedged and treed front boundaries. The space between buildings may vary, such as at the head of a cul de sac or bend in the road.

Streets may comprise individually designed houses, built as individual plots were sold and developed, or may contain repeated or similar designs.

The formal layout is created by the standard road layout usually with two footways, a regular building line and spacing between buildings.



Example of Formal Detached Character Layout

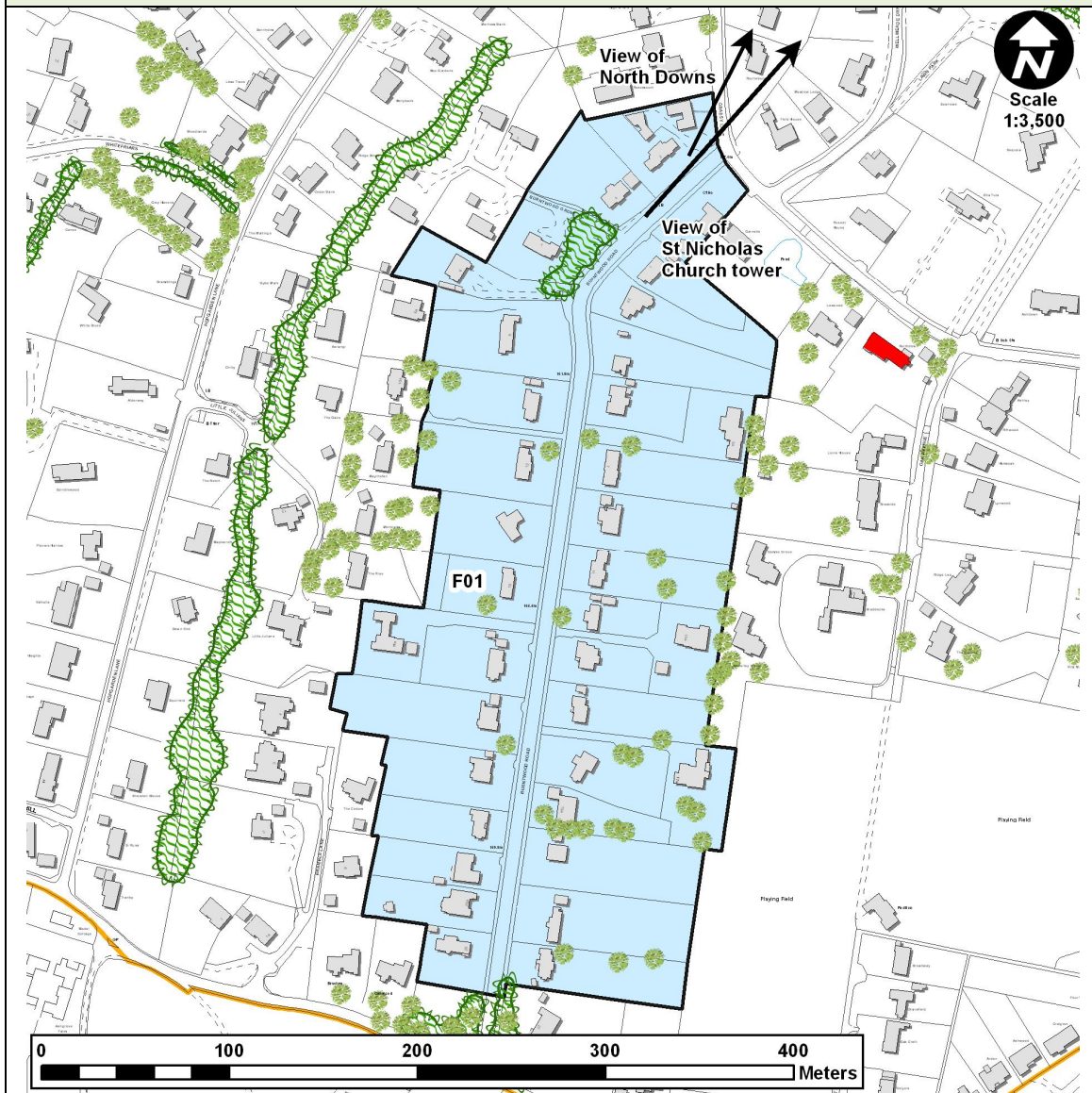
F01 BURNTWOOD ROAD

Comprising Burntwood Road

HISTORICAL CONTEXT

Historically the area comprised open fields with hedgerows and trees some of which still survive today. Development was laid out from the 1930's onwards.

TOWNSCAPE MAP



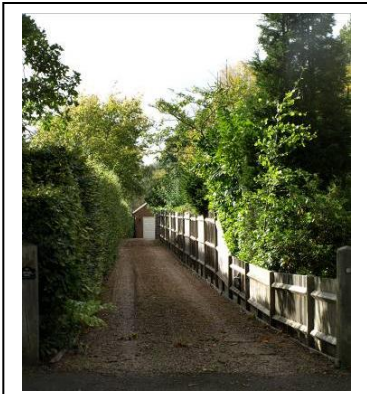
Locally Distinctive Contextual Features	
Age of buildings	1930s to present day
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys with a few bungalows
Prominent building materials	Various
Predominant boundary treatments	Low walled gardens with hedges and some trees
Open space/ vegetation	Hedges and trees to front gardens

Area Characteristics



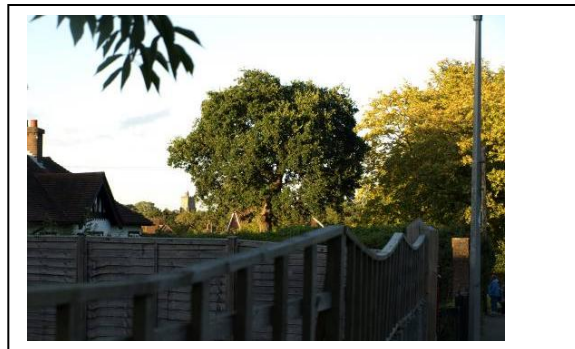
Individually designed detached houses are set back from the road on a regular building line. Groups of buildings are visible above walled, hedged and treed front boundaries. The formal layout is created by the wide road with two footways and a regular building line and spacing between buildings.

A group of trees at the turn of the road (top left) is important in enclosing and framing the road whilst other boundary hedges and trees help soften the townscape.



A number of narrow drives lead away from Burntwood Road to serve development behind the properties fronting the road. These are no wider than access points to individual frontage properties and replicate the walled and hedged characteristics of the road. The small drives have the effect of retaining the spacing between houses typical of this area. The backland development is generally very well screened from the road. Such development has not adversely affected the character of the area.

Views



There are glimpses of the North Downs and of St Nicholas church tower from the eastern end of Burntwood Road.

Locally Distinctive Positive Features

Individually designed mostly 2 storey detached houses are formally spaced on a regular building line with gaps between buildings

A group of trees at the turn of the road is important in enclosing and framing the road.

Hedged and tree boundaries

Glimpses of the North Downs and of St Nicholas church tower from the eastern end of Burntwood Road

Narrow drives serving discrete development to the rear of Burntwood Road properties

Negative Features

No significant detractors

Design Guidance

Some long back gardens have been developed with discrete backland development and further such development may prove acceptable but any such development should meet the guidance included in this SPD.

In proposing new development within the Burntwood Road Character Area:

Regular building lines and space between buildings should be respected in development fronting Burntwood Road

Backland development should be served by narrow access drives and be well screened from the road to avoid a significant impact on the character of the area

Mature trees and hedged boundaries which contribute to the character of the road should be retained

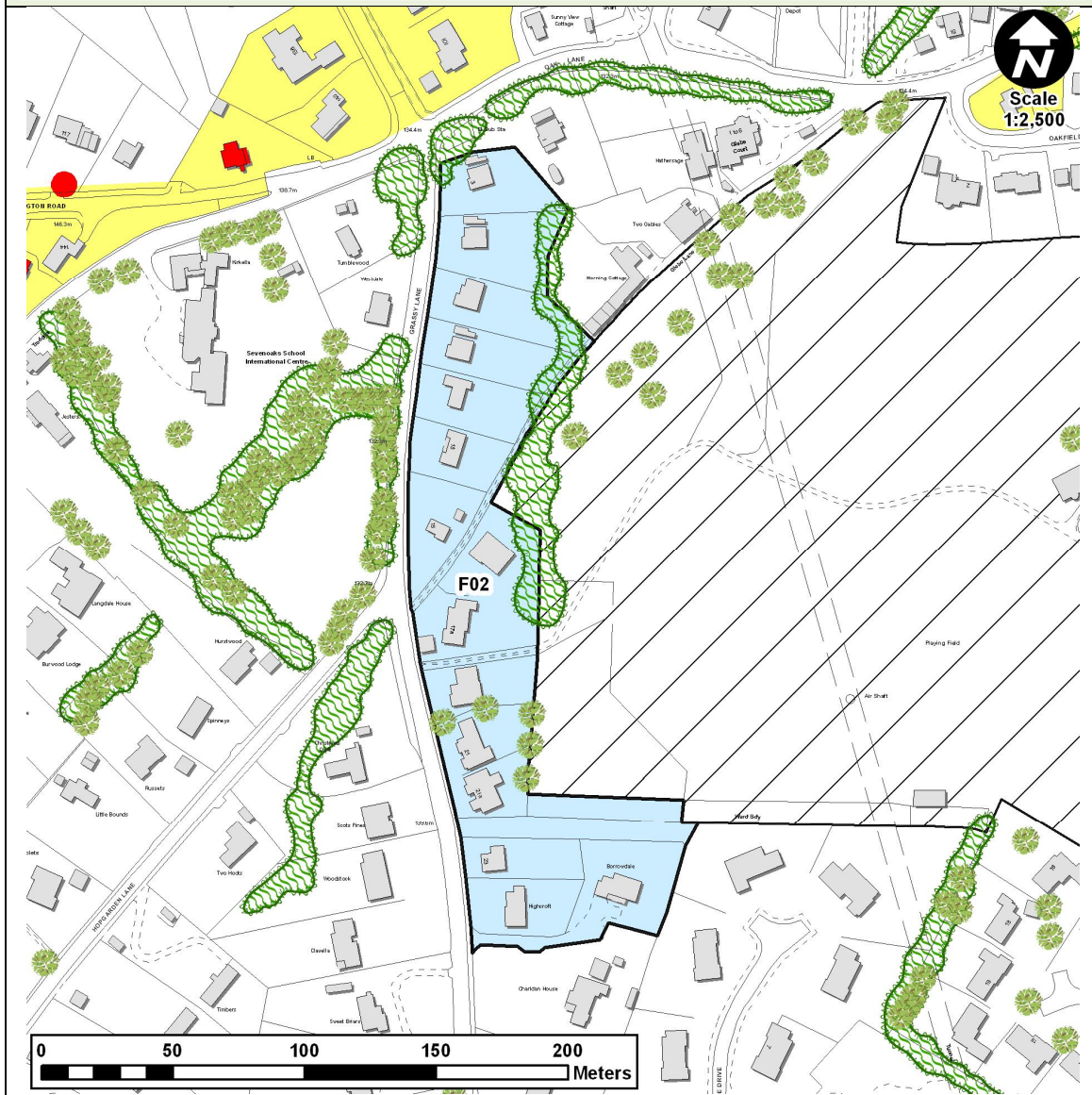
F02 GRASSY LANE (EAST SIDE)

Comprising Grassy lane (east side)

HISTORICAL CONTEXT

Historically the area comprised open fields with hedgerows and trees and was laid out from the 1930's onwards.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1930s to present day
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys with one three storey
Prominent building materials	Various
Predominant boundary treatments	Low walled gardens with hedges and fences with some trees
Open space/ vegetation	Hedges and trees to front and back gardens



Individually designed detached houses are set back from the road on a regular building line. Groups of buildings are visible above walled, hedged and treed front boundaries. The formal layout is created by the road with footway and a regular building line and spacing between buildings.

Landscape



Grassy Lane rises to the north and trees on the west side help enclose the street.



The south of Grassy Lane is framed by trees which enclose the entrance to the road.

Trees to the rear of properties on Grassy Lane east side enclose the space, provide a contrasting backdrop to development and form an edge to the character area.

Locally Distinctive Positive Features

Individually designed mostly 2 storey detached houses are formally spaced on a regular building line with gaps between buildings

Mature trees and hedged boundaries

Negative Features

No significant detractors

Design Guidance

Some larger gardens have been developed with infill development but the opportunities for further such development are limited.

In proposing new development within the Grassy Lane (east side) Character Area:

Regular building lines and space between buildings should be respected

Mature trees and hedged boundaries which contribute to the character of the road should be retained

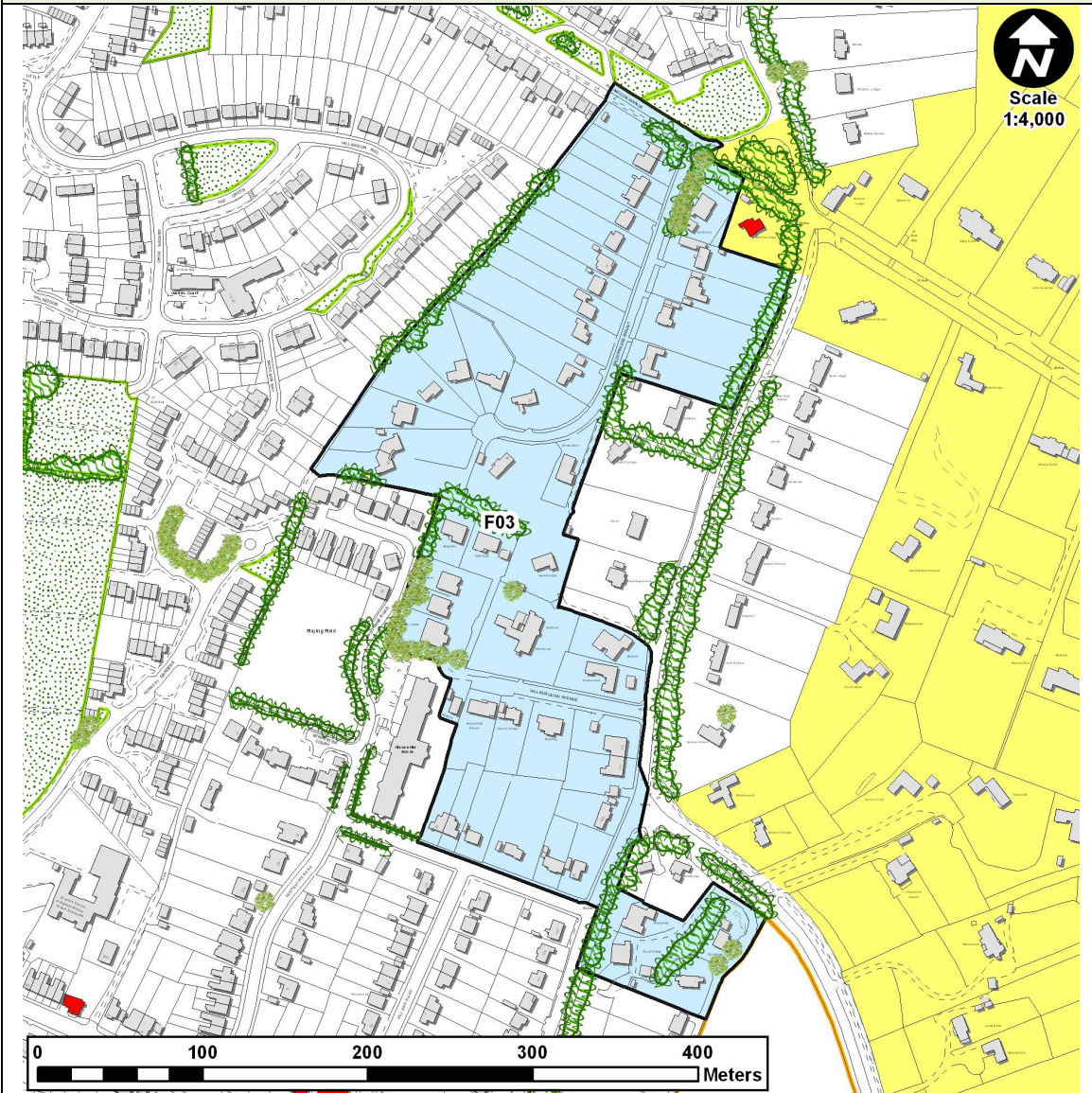
F03 WILDERNESSE MOUNT AREA

Comprising Wilderness Mount, Serpentine Road, Hillborough Avenue, Seal Hollow Road, Quarry Hill

HISTORICAL CONTEXT

Historically the area comprised open fields with hedgerows and trees some of which still survive today. Development was laid out from the 1930's onwards.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1930s to present day
Type of buildings	Detached and semi detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Various
Predominant boundary treatments	Low walled gardens with hedges and some trees
Open space/ vegetation	Treed open space to the north of Wildernesse Mount, trees of the Wildernesse Conservation Area forming the backdrop for the area and hedges and trees to front gardens.

Area Characteristics



Individually designed detached houses are set back from Wildernesse Mount on a slightly irregular building line. Groups of buildings are visible above walled, hedged and treed front boundaries. The formal layout is created by the wide road with footway on the western side and a relatively regular building line and spacing between buildings.

The south eastern side of the road has a different character with buildings generally set back much deeper within the plot and screened behind hedged and treed boundaries and is grouped within the Seal Hollow Road Character Area.



The tree lined northern entrance opposite the treed amenity open space areas provides an attractive entrance to Wildernesse Mount.



Individually designed detached and semi detached houses are set back along the north side of Serpentine Road on a regular building line. Groups of buildings are visible above walled, hedged and treed front boundaries. The formal layout is created by the wide road with footway on both sides and a regular building line and spacing between buildings.

The hedged boundaries on both sides of the Serpentine Road contrast with the built form and soften the townscape. The verdant mature trees of the Wildernesse Conservation Area terminate the eastward vista from Serpentine Road.





Individually designed detached houses are set back from Hillborough Avenue on a slightly irregular building line. Groups of buildings are visible above walled, hedged and treed front boundaries. The formal layout is created by the straight road and a relatively regular building line and spacing between buildings. The character is made more informal by the lack of footways, the road surface and the hedged boundaries.



Individually designed detached and semi detached houses are set back from the west side of Seal Hollow Road on a slightly irregular building line. Groups of buildings are visible above fenced, walled, hedged and treed front boundaries. The larger scale buildings dominate this section of road.



Individually designed detached houses are set back from Quarry Hill within shallow front gardens on a slightly irregular building line. Two modern buildings are visible – partially screened by hedges.

The character is made more informal by the lack of footways, the hedged boundaries and the proximity of the open countryside to the east.

Locally Distinctive Positive Features

Individually designed mostly 2 storey detached houses are set back from the road with gaps between buildings

The north side of Serpentine Road is spaced along a regular building line

Mature trees within the Wildernesse Conservation Area are important to the setting of the area

The tree lined northern entrance to Wildernesse Mount opposite the treed amenity open space areas

Hedged and tree boundaries

Negative Features
No significant detractors

Design Guidance
Some infill development and redevelopment has occurred in this character area, although the individual designs and irregular building lines in some streets mean that further such development may prove acceptable but any such development should meet the guidance included in this SPD.
In proposing new development within the Wildernesse Mount Character Area:
Development should be set back from the road and retain space between buildings
Development fronting the north side of Serpentine Road should be set back to the regular building line
Mature trees and hedged boundaries which contribute to the character of the area should be retained

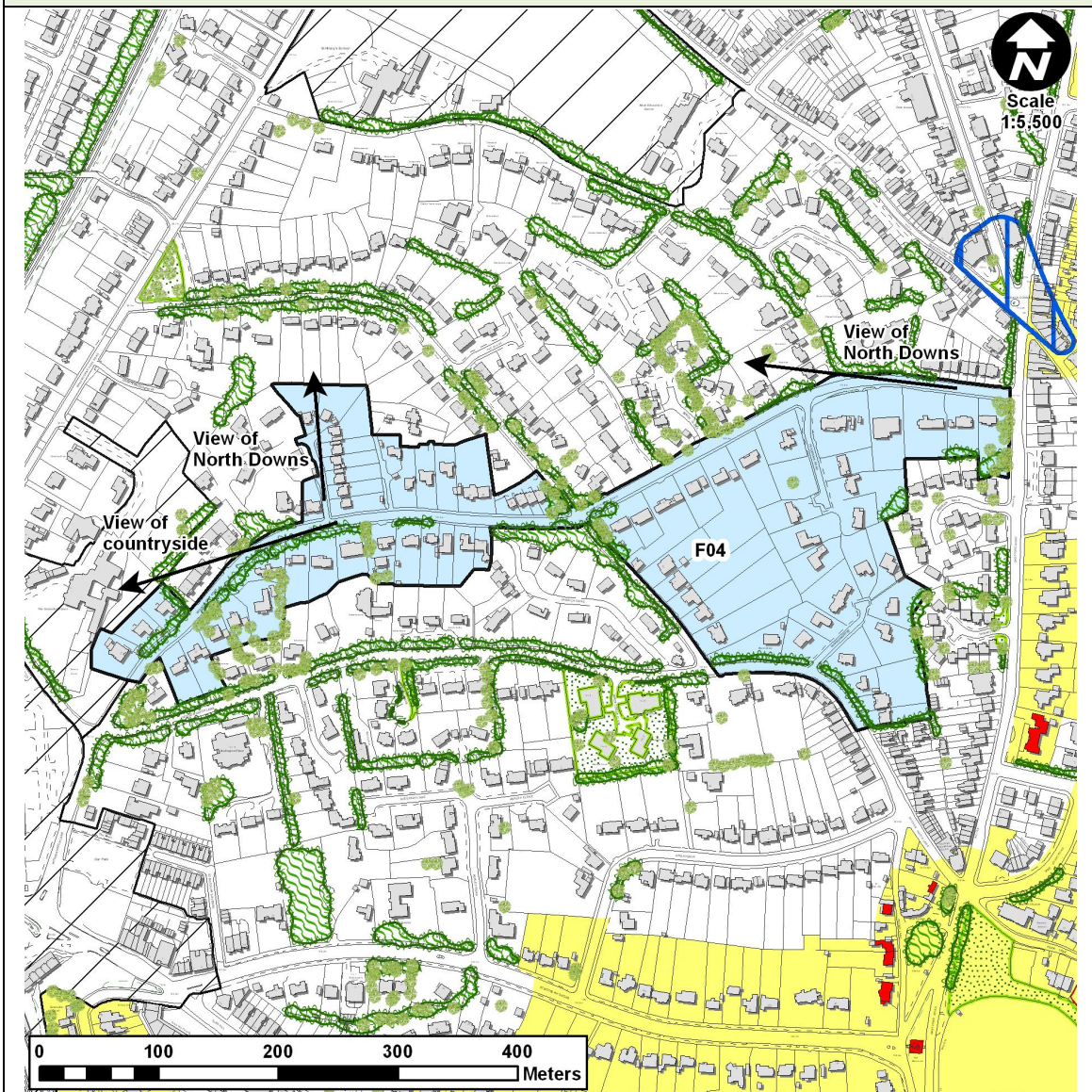
F04 MOUNT HARRY ROAD AREA

Comprising Mount Harry Road; Woodside Road (south); Merlewood; Pendennis Road; Hunsdon Drive

HISTORICAL CONTEXT

The area was formerly part of the original Bradbourne House Estate, and included nurseries, orchards, a planned informal landscape, and a quarry. Large houses set in woodlands were built in the Victorian and Edwardian periods with further plots developed in the 1930s. Large houses such as Merlewood and Pendennis were redeveloped as cul de sacs. Gradually, development has been infilled up to the present day.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	Late 1800s to present day
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys with some bungalows
Prominent building materials	Various
Predominant boundary treatments	Low walled or fenced gardens with hedges and some trees
Open space/ vegetation	Hedges and tree boundaries to front gardens and wider landscape visible in views

Area Characteristics



Mount Harry Road and Woodside Road comprise individually designed detached houses set back from the road on a relatively regular building line. Groups of buildings are visible above walled, fenced, hedged and treed front boundaries. The formal layout is created by the wide road with footways and a relatively regular building line, with spacing between buildings.

Mount Harry Road curves and rises from the south west and to the east.

Merlewood cul-de-sac is less spacious in layout with narrow road and a single footpath and buildings set closer to the road. Groups of buildings are visible above landscaped front gardens.

The road falls away from Mount Harry Road to give views of the North Downs



Hunsdon Drive cul de sac is less spacious in layout with a narrow road and footpaths. Groups of buildings are visible above hedged front boundaries.



There is a high survival of former mature tree cover in Pendennis Road front and rear gardens. The road is lined with boundary hedges and a mix of mature native trees and suburban planting - giving a verdant character to the road. The mature native trees provide historic links back to the original farmland and make a significant contribution to the character of this area. Groups of buildings are visible above hedged front boundaries.

Landscape





The roads are lined with boundary hedges and a mix of mature native trees and suburban planting - giving a verdant character. The hedged and treed boundaries on both sides of the road contrast with the built form and soften the townscape. The mature native trees provide historic links back to the original farmland and woodland and make a significant contribution to the character of this area.

Views



The undulating topography of the area allows views across roofs looking northwards towards the North Downs from Merlewood (top right) and south westwards from Mount Harry Road (top left).

Townscape Features



Bridle House forms an historic townscape feature highly visible in Mount Harry Road. The white painted rendered two storey house has a gable end facing the road with decorative barge boards and finial. The slate roof is topped by a chimney.

The two storey Lodge house to the former Merlewood house and estate sits prominently to Mount Harry Road and forms an historic townscape feature within the road. The stone Lodge has brick window dressing and quoins. The hipped roof is tiled with a decorative chimney.



Locally Distinctive Positive Features

Individually designed mostly 2 storey detached houses are set back from the road along a relatively regular building line with gaps between buildings

Trees and boundary hedges

Views looking northwards towards the North Downs and south westwards

The Lodge House and Bridle House townscape features

Detractors



Houses without the regular set back and spacing or walled and hedged or hedged front boundary can appear dominant in the street scene and out of character with the area.



High fenced boundaries have a detrimental impact on the verdant character of the roads and whilst hedges and trees are visible above the fences, the appearance is less verdant and more urban in character.

Negative Features

Some new development has not respected the characteristic set back from the road or allowed spacing between buildings

High fenced boundaries have a detrimental impact on the verdant character

Design Guidance

Some infill development and redevelopment has occurred in this character area and there is limited potential for further such development and the area is likely to remain largely unchanged over time.

In proposing new development within the Mount Harry Road Character Area:

Development should be set back from the road and respect the relatively regular building line

Mature trees and hedge, or wall and hedge, boundaries which contribute to the character of the area should be retained

The character of the Lodge House and Bridle House townscape features should be retained

The views of the North Downs should be protected

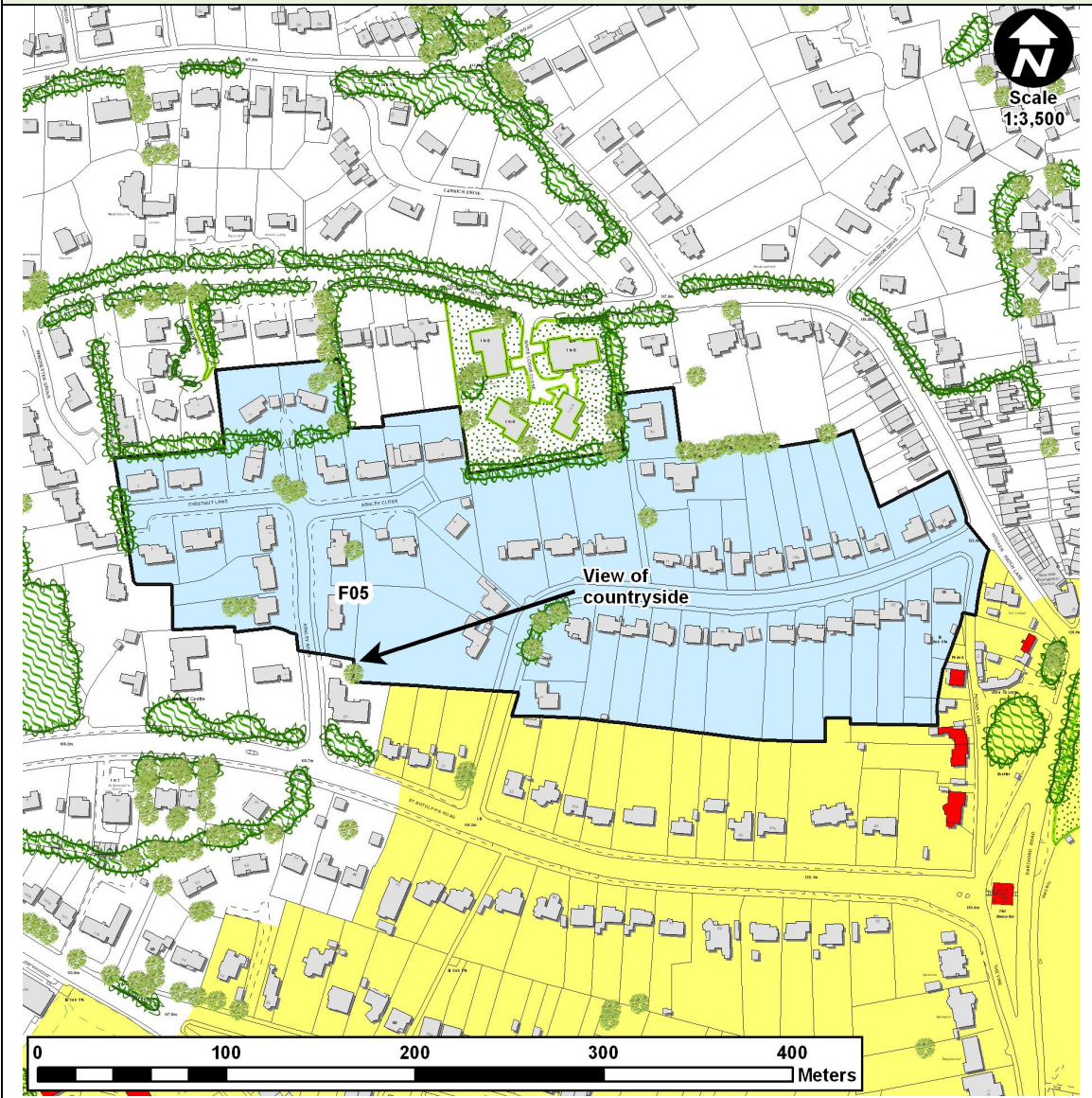
F05 VINE AVENUE ASHLEY ROAD AREA

Comprising Vine Avenue, Ashley Road, Ashley Close, Chestnut Lane

HISTORICAL CONTEXT

Historically the area comprised open fields with hedgerows and trees. Vine Avenue was built in the early 1900s with most of the eastern and southern parts developed from the 1930's onwards. The Ashley Road area was added in the 1970s.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1930s to present day
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Various
Predominant boundary treatments	Low walled gardens with hedges and some trees
Open space/ vegetation	Hedges and trees to front gardens

Area Characteristics



Within Vine Avenue, individually designed detached houses are set back from the road on a regular building line. Groups of buildings are visible above walled, hedged and treed front boundaries. The formal layout is created by the road with footway and a regular building line and spacing between buildings.



The hedged and treed boundaries of the western end of Vine Avenue lead into the Vine Conservation Area where this boundary treatment is characteristic. This verdant part of the road is important to the setting of St Botolph's Road within this Conservation Area.



Within the cruciform development of Ashley Road, Ashley Close and Chestnut Lane individually designed detached houses are set back from the road on a relatively regular building line, with the exception of the head of the cul de sacs. On Ashley Road, groups of buildings are visible above walled, hedged and treed front boundaries. Whilst containing mature trees, the gardens of Ashley Close and Chestnut Lane are more open plan than the wider area. The formal layout is created by the road with footway, relatively regular building line and spacing between buildings.



The narrow drive off Vine Avenue serves backland development. The narrow part landscaped access respects the hedge and tree-lined characteristics of the principal road from which development is barely visible.

View

The view westwards of open countryside between buildings in Vine Avenue adds to the character of this area.



Locally Distinctive Positive Features
Individually designed 2 storey detached houses are formally spaced on a relatively regular building line with gaps between buildings
The hedged and treed boundaries at the western end of Vine Avenue form part of the setting of the Vine Conservation Area
Hedged and tree boundaries
View of countryside westwards from Vine Avenue

Negative Features

No significant detractors

Design Guidance

Some larger gardens have been developed with infill development but the opportunities for further such development are limited and any such development should meet the guidance included in this SPD.

In proposing new development within the Vine Avenue/ Ashley Road Character Area:

Development should be set back from the road and retain space between buildings

In Vine Avenue the regular building line should be respected

Mature trees and hedged boundaries which contribute to the character of the road should be retained

The view of countryside from Vine Avenue should be protected

The setting of The Vine Conservation Area should be protected or enhanced

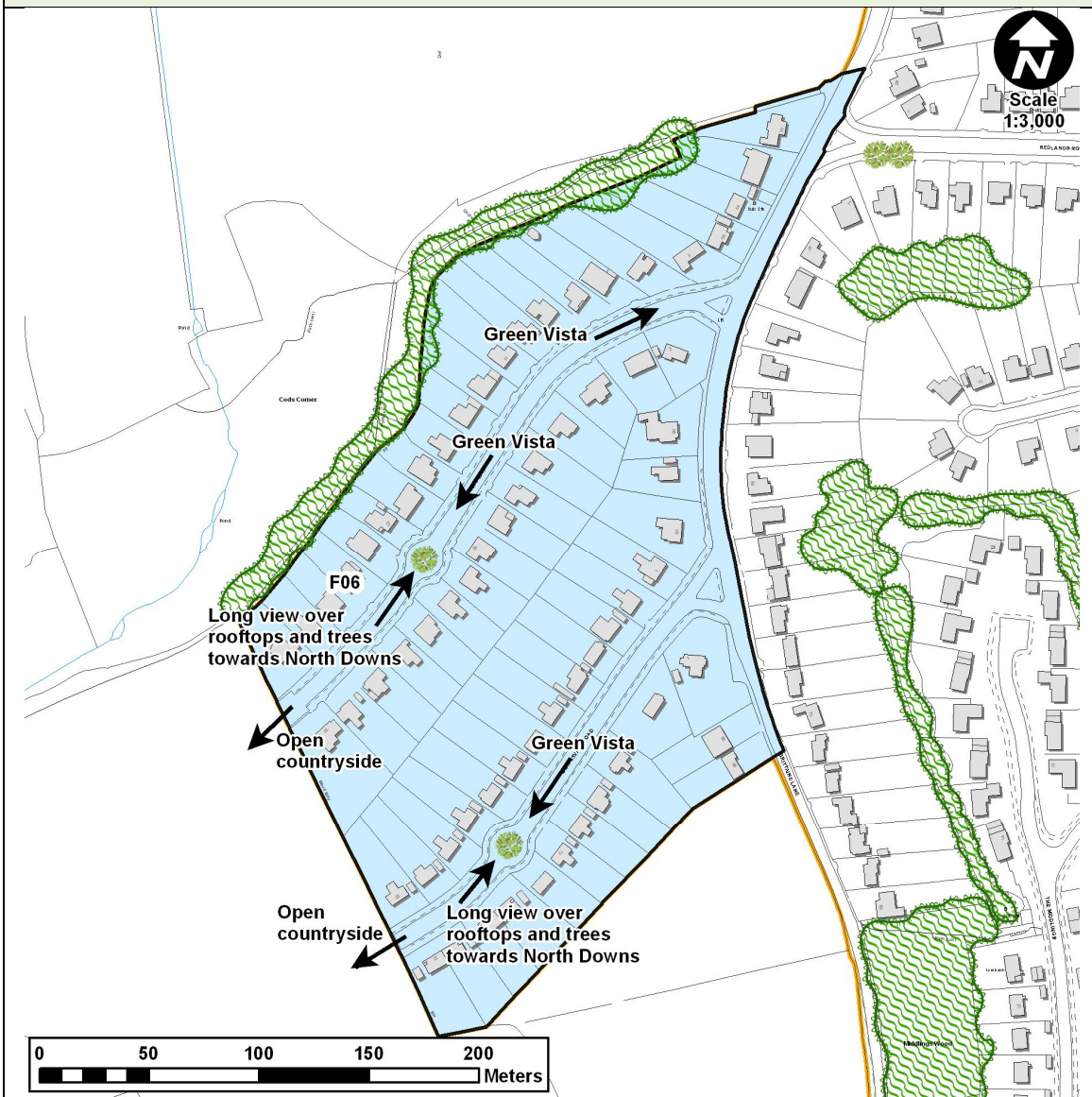
F06 – DOWNSVIEW ROAD AREA

Comprising Downsview Road, Croft Way, Brittain's Lane (part)

HISTORICAL CONTEXT

Downsview Road and Croft Way were started pre war on open land adjoining Brittain's Lane as part of a westward expansion of the Sevenoaks urban area primarily in the 1950s and early 1960s.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1950s/early 1960s
Type of buildings	Detached and two pairs semi-detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Red/brown brick, pastel painted render, red/brown or brown plain tiled roofs.
Predominant boundary treatments	Low brick walls, hedges and shrubs.
Open space/ vegetation	Landscaped front gardens and roundabouts. Garden trees.

Area Characteristics



The layout of Croft Way and Downsview Road is very similar and they were clearly developed as a pair but the style of housing differs between the two. Houses are set back from the slightly curved roads on a regular building line. Groups of buildings are visible above walled, hedged and treed front boundaries. The formal layout is created by the wide roads with two footways and verges and a regular building line and spacing between buildings.

The houses in Downsview Road (above) have a distinctive uniform design comprising a central doorway, tiled porch/single storey bay window, pitched plain tiled roof and side chimney stacks. Some properties have forward facing gables. The houses are rendered and painted a variety of pastel shades. The repeated design and bright paintwork creates a cohesive and distinctive character and the even spacing, regular chimneys and stepped roofline.



The houses in Croft Way (above) are of several repeated designs, many with convex hipped tiled roofs, curved two storey tile hung bay or bow windows, brown brick ground floors some with contrast pointing, painted rendered first floors and attached or integral garages. Some have wide curved porches. Although the houses were built in the 1950s/60s, the designs, as in Downsvie Road, refer back to interwar fashions.



At the western end of Downsvie Road, two pairs of semi detached former police houses are built in a simpler style with plain red brick elevations, flat porch covers supported on brick pillars and shallow tiled gabled roof.



The houses in both streets have been significantly altered and extended with two storey side and front extensions. In general these alterations are sympathetic and have retained the distinctive characteristics of the buildings but some dormer windows affecting the hipped roofline are over dominant.

Landscape/ Views



The houses are set back behind landscaped front gardens enclosed by low brick walls, hedges and shrubs. Both streets rise to the south west and there are long views over the rooftops and trees north eastwards towards the North Downs. This creates a feeling of space which is enhanced by the set back of the houses and low boundaries. The townscape is softened by landscaped front gardens, verges, street trees and glimpses between the houses of trees in the back gardens and the tree belt to the north contributing to this character. The central roundabouts and entrance splays are planted with shrubs further enhancing the character and providing green vistas along the streets.

Locally Distinctive Positive Features

Evenly spaced 2 storey detached properties are formally set back on a regular building line
Retention of original designs, materials and details contributing to a cohesive character with references to the interwar period.
Repeated designs, particularly in Downsview Road, where the gabled convex roofs, regular chimneys and spacing create a distinctive townscape. The painted render brightens the townscape in both streets.
Hedged and tree boundaries, verges and glimpses between the houses of back garden trees
Long views to the north east towards the North Downs,

Negative Features

Some over-dominant extensions and dormers.
Poor surfacing.
Flat roofed garages at south western end of Downsview Road.
Traffic noise from the A21

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.
There may be pressure for extensions to existing buildings but any such development should meet the guidance included in this SPD.
In proposing new development within the Downsview Road Area Character Area:
Regular building lines and space between buildings should be respected
The harmonious palette of red/brown brick, pastel painted render, red/brown or brown plain roof tiles should be respected
The characteristic designs and roofline should be respected
Traditional detailing should be retained
Mature trees and hedged boundaries which contribute to the character of the road should be retained
Views of the North Downs should be retained

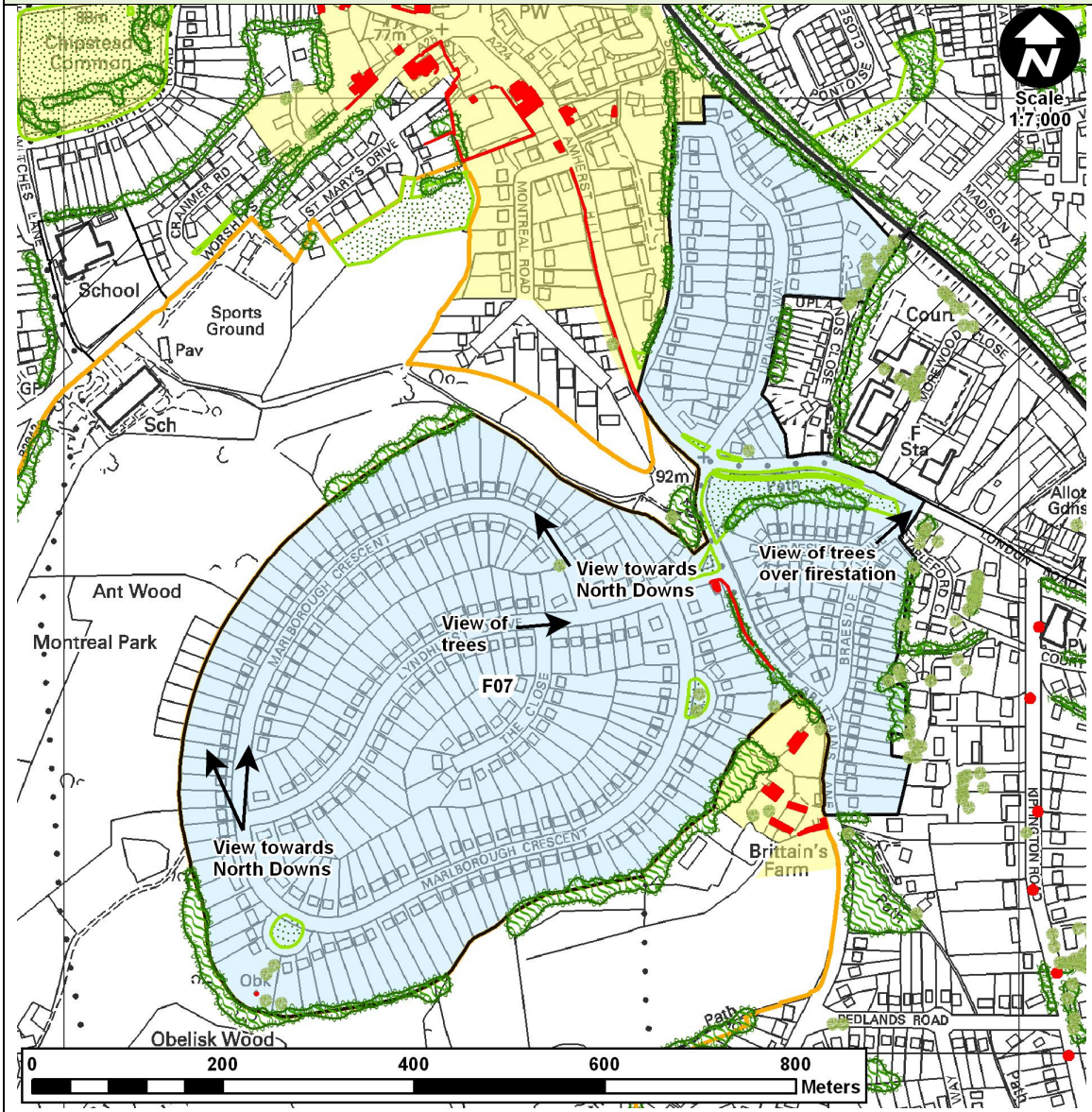
F07 – MONTREAL PARK AREA

Comprising Marlborough Crescent, Lyndhurst Drive, The Close, Brittain's Lane (part), Braeside Close, London Road (part), Braeside Avenue, Uplands Way and Shoreham Lane

HISTORICAL CONTEXT

These properties were constructed as part of a westward expansion of the Sevenoaks urban area in the 1950s and early 1960s. Montreal Park was constructed on the Montreal estate following the demolition of the 18th century Palladian mansion previously owned by the Amherst family.

TOWNSCAPE MAP



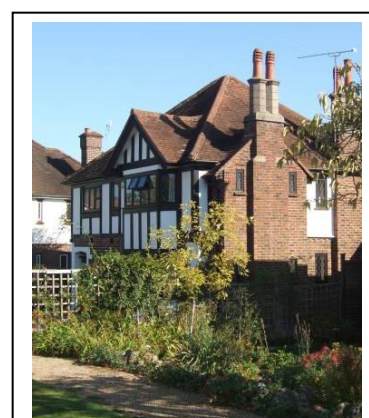
Locally Distinctive Contextual Features	
Age of buildings	1950s/early 1960s
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys with some one storey
Prominent building materials	Red/brown brick, pastel painted render, red/brown or brown plain tiled roofs, decorative finishes including hung tiles and half timber.
Predominant boundary treatments	Low walls, hedges and shrubs.
Open space/ vegetation	Grassed area fronting London Road/Brittains Lane and smaller grassed areas with trees in Montreal Park.

Area Characteristics



The 2 storey detached houses are set back from the curved roads on a regular building line. Groups of buildings are visible above ragstone walled and hedged front boundaries. The formal layout is created by the wide roads with two footways and verges and a regular building line and spacing between buildings.

The houses in Montreal Park are of repeated designs which have been modified and extended through time. The 2 storey houses are constructed of brown brick with hipped plain tiled roofs and narrow chimneys. Some have front facing gables, others asymmetric rooflines which sweep down to ground floor level at the side. Many elevations or sections are rendered and painted white and red or brown hung tiles adorn the upper storeys. There is some half timbering. The repeated designs, building scale, spacing and set back and enclosed gardens are strongly unifying features contributing to a cohesive and distinctive streetscape.



The detached houses in Uplands Way and Shoreham Lane show variety in materials with frequent use of white render and half timbering. Other features include two storey tile hung bay windows, prominent forward facing gable ends, tall decorative chimney stacks, porches, brick details and painted wooden brackets.



Braeside Avenue is a through route and the houses are slightly more tightly spaced but the style and age of buildings, materials and set back behind enclosed landscaped front gardens is consistent with the other streets.

To the north of Uplands Close there is a small, more recent clustered development of three detached houses which nestle among the trees (right).



A number of properties have been significantly extended. These alterations blend into the streetscene but extension up to the side boundaries reduces the characteristic gaps which contribute to the feeling of spaciousness and allow glimpses of trees and longer views.

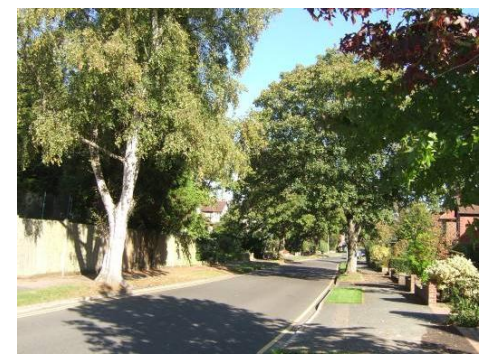
Landscape and Views



The development of Montreal Park is arranged around sweeping loops and curved cul-de-sacs. The land rises to the west and there are long views to the north east and north from Marlborough Crescent over trees and rooftops towards the North Downs. There is a view of trees eastwards from Lyndhurst Drive. Wide tree-lined verges and open spaces enhance the green character and spaciousness of the development. The triangle of grass creates a verdant entrance to the park.



Tree belts frame the development to the west, north and east and the east side of Uplands Way is partially enclosed by trees giving no long views. Shoreham Lane is an old route and has retained its rural character. It has no pavements and is strongly enclosed by garden boundaries to the east and trees and hedges to the west.



Mature trees and sections of verge line Braeside Avenue the street (left). There are no long views. Garden trees further enhance the streetscape. Trees close the view to the north and east (over the fire station) and enclose the west side of Brittain's Lane.

Listed Buildings

The Old Lodge, 1 Lyndhurst Drive

Octagonal shaped lodge, probably early 19th Century. Conical shaped roof with centre chimney and bracketed eaves soffit. 2 storeys, 3 windows on end, sashes with glazing bars. Random rubble masonry with freestone dressings. 6 panel door top glazed.



Locally Distinctive Positive Features

Evenly spaced 2 storey detached properties are formally set back on a regular building line
The retention of original designs, materials and details contributes to a cohesive character
A green character is created by the landscaped front gardens, verges, street trees, open spaces and glimpses between and over houses of back garden trees and tree belts
In Montreal Park, the sloping topography creates long views to the north east over rooftops and trees towards the North Downs.
The feeling of space which is enhanced by the set back of the houses, low boundaries and in Montreal Park by the sweeping curves and topography.
Shoreham Lane is an historic lane with a rural, enclosed character.
Listed Building Old Lodge, Montreal Park, provides a link with the history of the Montreal Estate

Negative Features

Some extensions close the gap between houses which is a distinctive feature of this area
Traffic noise from the A21 in Montreal Park
Some over-dominant dormer extensions

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.
There may be pressure for extensions to existing buildings but any such development should meet the guidance included in this SPD.
In proposing new development within the Montreal Park Area Character Area:
Regular building lines and space between buildings should be respected

The harmonious palette of red/brown brick, pastel painted render, red/brown or brown plain tiled roofs, should be respected

The characteristic designs and roofline should be respected

Traditional detailing should be retained

Mature trees, hedged boundaries and amenity open space which contribute to the character of the road should be retained

The listed building and its setting should be protected

Views of the North Downs should be retained

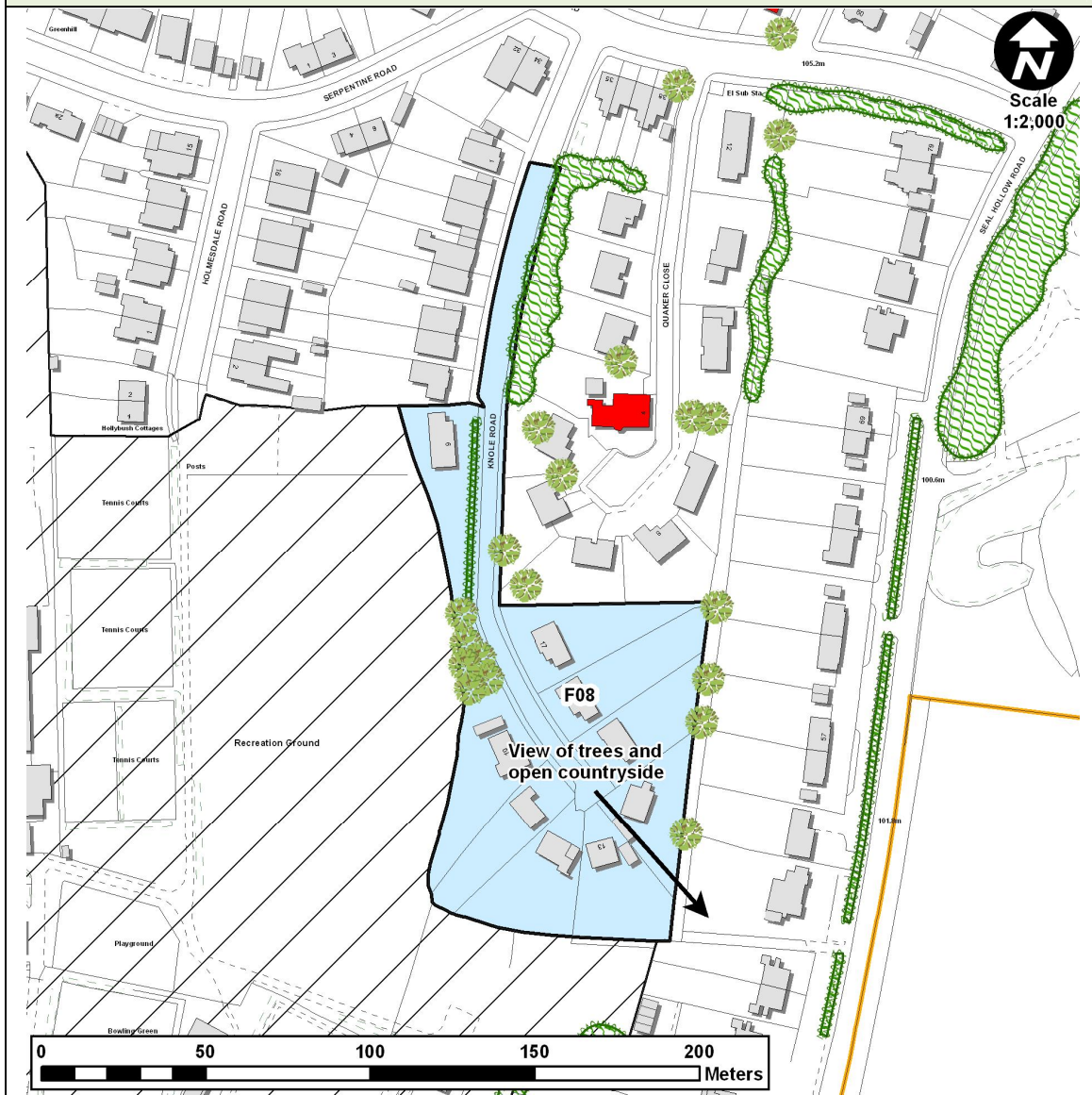
F08 - KNOLE ROAD

Comprising Knole Road (part)

HISTORICAL CONTEXT

The Knole Road cul-de-sac development was built in the late 1950's as an extension of the existing road on orchards to the rear of Seal Hollow House (now Quaker House).

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	Early 1960s
Type of buildings	Detached
Main uses	Residential
Building heights	One and two storeys
Prominent building materials	Red/brown brick with brown hung tiles and brown plain tiled roofs.
Predominant boundary treatments	Brick walls and hedges
Open space/ vegetation	Recreation ground to the north of the area. Landscaped front gardens.

Area Characteristics



The development is visually separated from, and a completely different character to, the northern older section of Knole Road. Separation is by a long gap in the frontage enclosed by walls, fences and a hedge and the road curves and dips as it enters the cul-de-sac with tall trees framing the entrance (right). This separation reinforces the private, residential character of the area.

The 2 storey detached houses and bungalows are set back along the short cul de sac on a regular building line. Groups of buildings are visible above walled and hedged front boundaries. The formal layout is created by the wide roads with two footways and a regular building line and spacing between buildings.

From within the development there are views over and between the houses of trees and further over open countryside. The development has a verdant character.



The detached two storey houses are constructed of orange/brown brick with hung tiles on the upper storey. They have brown plain tiled half hipped or hipped roofs and chimneys. The flat roofed garages are attached.

The two storey houses nestle on the lower ground, whilst the properties located on the higher ground to the west of the street are bungalows.

The houses are set behind paved driveways and landscaped front gardens partially enclosed by brick walls and hedges.



The low height of the bungalows and the set down of the two storey properties in the cul-de-sac protects long views eastwards from the adjoining recreation ground to the west. Views are partially limited by trees and buildings.

Locally Distinctive Positive Features

2 storey detached properties are formally set back on a regular building line with gaps between

Consistent materials contribute to the cohesive character

Trees and hedges

Listed building

Long views eastwards across the area from the adjoining recreation ground

Residential character with no through traffic

Negative Features

Poor surfacing

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings but any such development should meet the guidance included in this SPD.

In proposing new development within the Montreal Park Area Character Area:

Regular building lines and space between buildings should be respected

Development should not significantly detract from views eastwards across the area from the adjoining recreation ground

The harmonious palette of red/brown brick, pastel painted render, brown hung and brown plain tiled roofs should be respected

The listed building and its setting should be protected

Mature trees and hedged boundaries which contribute to the character of the road should be retained

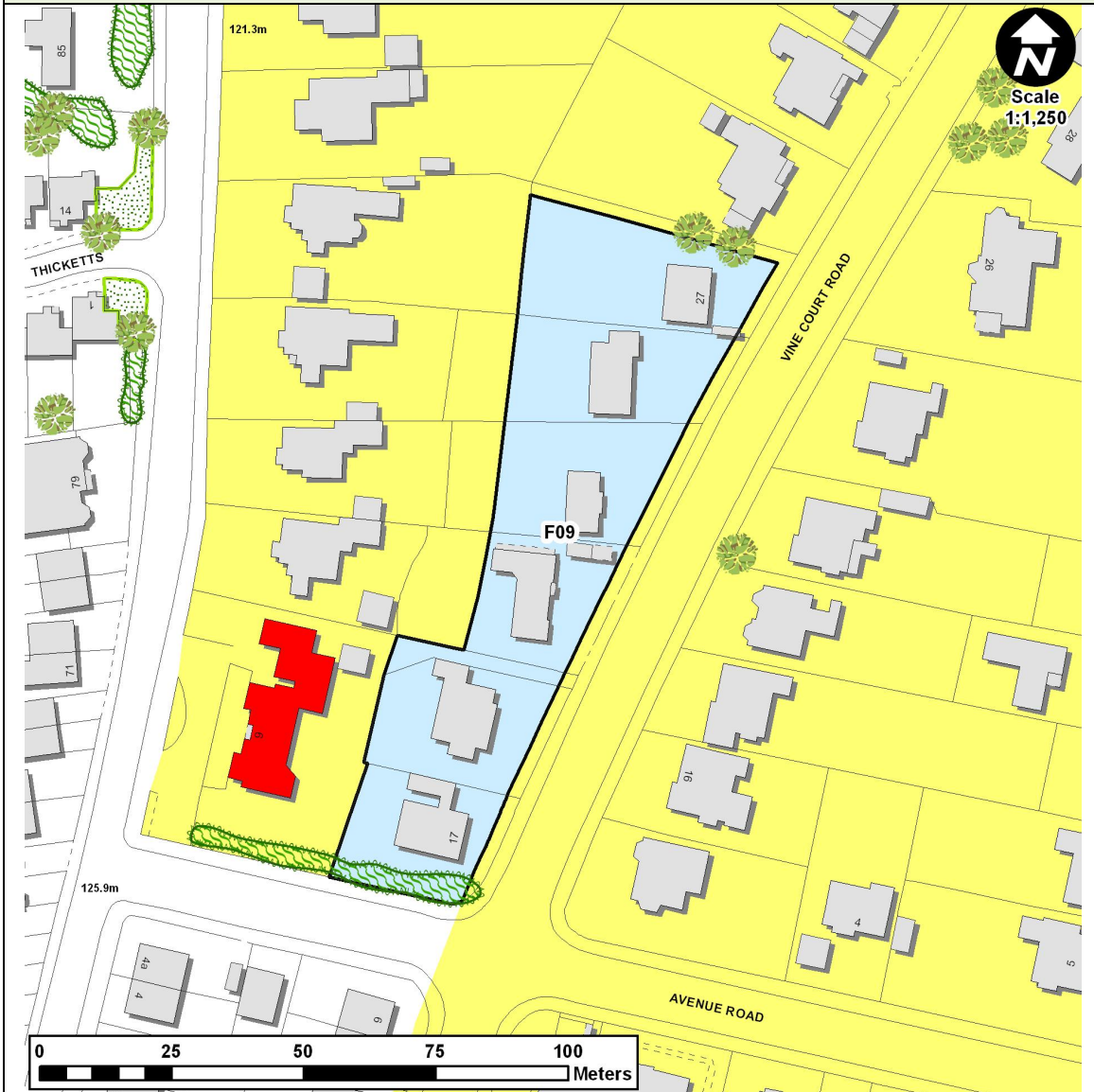
F09 VINE COURT ROAD

Comprising Vine Court Road

HISTORICAL CONTEXT

The development of houses between Vine Court Road and Hollybush Lane is an example of a historic seventeenth century house being demolished in the last century to make way for a planned scheme of new roads and houses to cater for the demands of railway commuters. The area has been infilled with more recent development.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1960s and 1970s
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys and bungalows
Prominent building materials	Various
Predominant boundary treatments	Fenced or low walled gardens with hedges and some trees
Open space/ vegetation	Hedges and trees to front gardens

Area Characteristics



Individually designed detached houses are set back from the road. Buildings are visible above fenced, walled, hedged and treed front boundaries. The formal layout is created by the wide road with two footways and the set back of properties and spacing between buildings.

Trees at the junction with Avenue Road (top left) are important in enclosing and framing the road whilst other boundary hedges and trees help soften the townscape and contribute to the setting of the Vine Court Conservation Area which surrounds this character area.

Townscape Feature

The traditionally designed sewer outlet pipes make an interesting townscape feature.



Locally Distinctive Positive Features

Individually designed mostly 2 storey detached houses are set back from the road with gaps between buildings

A group of trees at the junction of the road is important in enclosing and framing the road

Hedged and tree boundaries

Traditionally designed sewer outlet pipes are a townscape feature of the area

Negative Features

No significant detractors

Design Guidance

There is the opportunity to enlarge or redevelop the bungalows within this area of generally two storey properties but it is unlikely that this area will significantly change.

In proposing new development within the Vine Court Road Character Area:

The scale and mass of new development should fit unobtrusively within its setting and should not appear cramped on the site or out of context with the character of the street

A side extension should not completely infill the space between properties or dominate the original building

Mature trees and hedged boundaries which contribute to the character of the road should be retained

The character of the traditional sewer outlet pipe should be retained

The setting of the adjoining Vine Court Conservation Area should be protected or enhanced

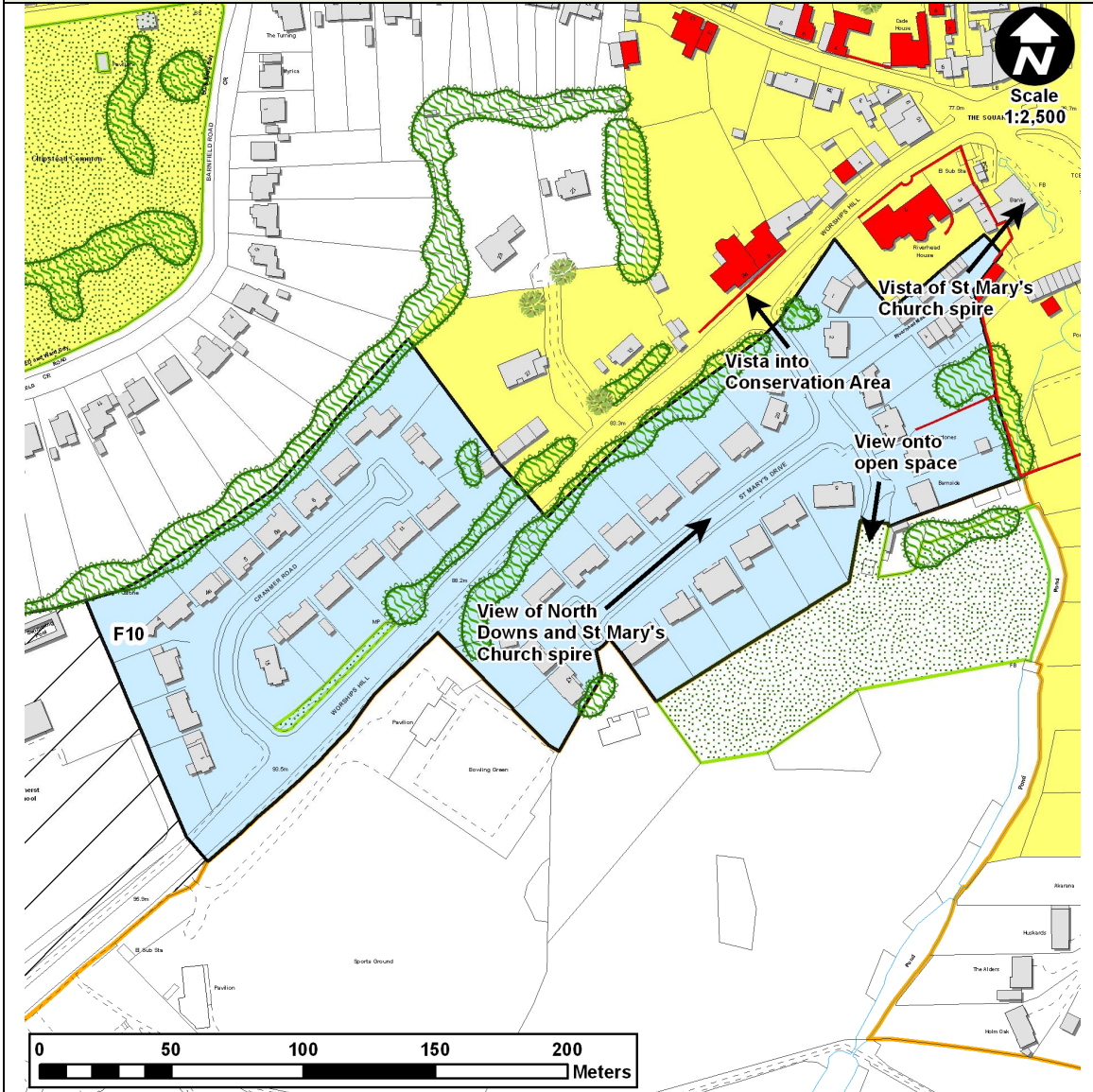
F10 – ST MARY’S DRIVE AREA

Comprising St Mary’s Drive, Cranmer Road, Riverhead Mews and Worships Hill (Part)

HISTORICAL CONTEXT

These two cul-de-sac developments leading off Worships Hill were constructed in the 1960s. St Mary’s Drive is located in the former grounds of Riverhead House. Riverhead Mews is of more recent construction to the rear of Riverhead House.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1960s to present day
Type of buildings	Detached and terraced mews
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Red, buff and brown brick, some stone cladding, tiled roofs, hung tiles and dark timber.
Predominant boundary treatments	Dwarf stone walls, some open plan.
Open space/ vegetation	Landscaped front gardens. Trees screen St Mary's Road from Worships Hill. Other tree belts form a backdrop to the houses.

Area Characteristics



St Mary's Drive is a T shaped cul-de-sac with individually designed houses set back from the road close together on a relatively regular building line behind landscaped front gardens. The land rises to the south west allowing long views to the north east of the spire of St Mary's Church and on to the North Downs. Trees to the north screen the houses from the A25 and form a green backdrop to the houses. The green character is further enhanced by grassed verges at the north eastern end and trees and shrubs in the landscaped front gardens. The low stone boundary walls are a unifying feature. There is a vista into the Conservation Area to the north and short views southwards over the parkland.



The two storey houses are in a variety of styles, some of which have been sympathetically altered, with hipped or half hipped tiled roofs some with forward facing gables which may be tile hung or clad in dark timber. Despite the variety in the designs and finishes the cul-de-sac has a cohesive character due to the even spacing, scale, height and set back of the buildings. Two later buildings adjoining the recreation ground blend into the streetscene.



Cranmer Road has a similar layout to St Mary's Drive with detached houses set close together on a regular building line, although the houses are more uniform in design. Houses at either end of the cul-de-sac enclose the views. Landscaped front gardens soften the townscape but the poor surfacing harms the character.



Riverhead Mews is a post 1990 development of terraced houses to the rear of Riverhead House accessed via St Mary's Drive. The traditionally styled two storey hipped roofed buildings with pitched porch canopies and tile hung upper storeys have an intimate, informal character, that is appropriate for this sensitive location adjoining the Conservation Area. There is a vista of St Mary's Church spire.

Locally Distinctive Positive Features

Individually designed mostly 2 storey detached houses are formally spaced on a regular building line with gaps between buildings Alterations have been sympathetic.

In St Mary's Drive, a green character is created by the landscaped front gardens, verges, glimpses between and over houses of back garden trees and tree belts and the topography allowing long views towards the North Downs.

Riverside Mews has an intimate, informal, traditional character that is appropriate for the sensitive location adjoining the Conservation Area.

There are vistas and short views from St Mary's Drive of St Mary's Church steeple, the Conservation Area and the parkland.

Negative Features

Poor surfacing in Cranmer Road

Traffic noise from the A25 Worships Hill

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings but any such development should meet the guidance included in this SPD.

In proposing new development within the St Mary's Drive Area Character Area:

Regular building lines and space between buildings should be respected

Mature trees and hedged boundaries which contribute to the character of the road should be retained

Views of the North Downs, St Mary's Church and recreation ground should be protected

The setting of the Conservation Area should be protected or enhanced

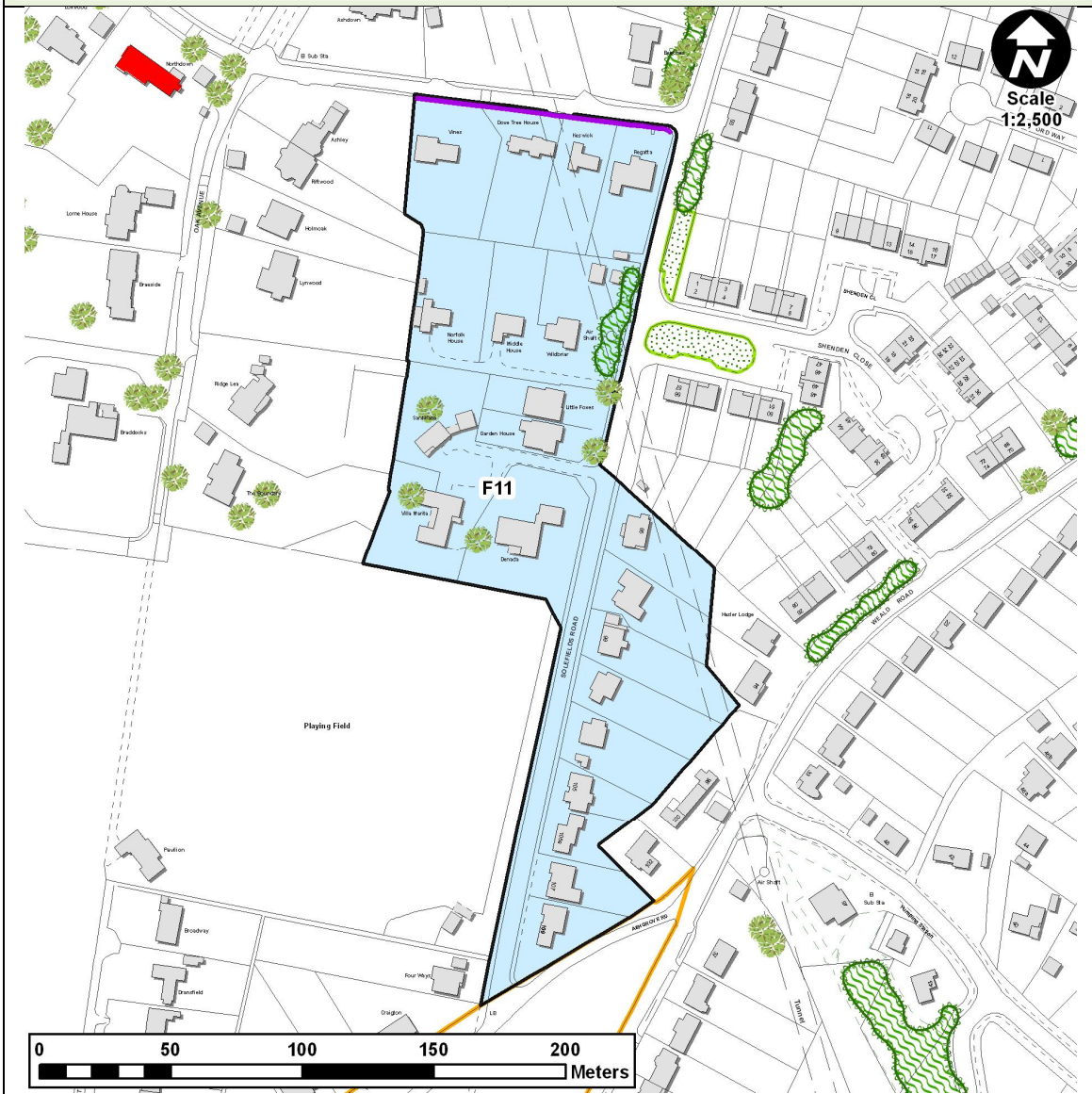
F11 SOLEFIELDS

Comprising Solefields Road, Grassy Lane (part)

HISTORICAL CONTEXT

Solefields Road was developed on the east side in the 1930s with the west side and Grassy Lane being added piecemeal through the 1960's onwards.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1930s to present day
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Various
Predominant boundary treatments	Low walled gardens with hedges and fences with some trees; high ragstone wall in Grassy Lane
Open space/ vegetation	Hedges and trees to front gardens

Area Characteristics



Individually designed detached houses are set back from Solefields Road on a regular building line. Groups of buildings are visible above hedged and walled front boundaries. The formal layout is created by the straight road with two footways and a regular building line and spacing between buildings.



A narrow drive leads away from Solefields Road to serve development behind the properties fronting the road (left). In addition a row of detached houses is arranged on a regular building line at right angles to the road (right). Both drives are no wider than access points to individual frontage properties. Such development has not adversely affected the character of the area.



Individually designed detached houses are set back from Grassy Lane (south side) on a regular building line. Groups of buildings are visible above a high ragstone wall front boundary.

Landscape



Playing fields to the western part of Solefields Road create a more open character. Boundary hedges and trees help soften the townscape

Boundary Treatment



The distinctive ragstone wall forms the front boundary to houses fronting Grassy Lane (south side) and encloses this side of the road.

Locally Distinctive Positive Features

Individually designed mostly 2 storey detached houses are formally spaced on a regular building line

A more open character is created by the playing fields to the west of Solefields Road

A high ragstone wall encloses the south side of Grassy Lane

Negative Features

Modern development can appear cramped on the site if built or extended without sufficient space between buildings or forward of the regular building line

Design Guidance

The arrangement of buildings and plots of this recent development gives little opportunity for development.

In proposing new development within the Solefields Road Area Character Area:

Regular building lines and space between buildings should be respected

Mature trees, hedged and ragstone boundaries which contribute to the character of the roads should be retained

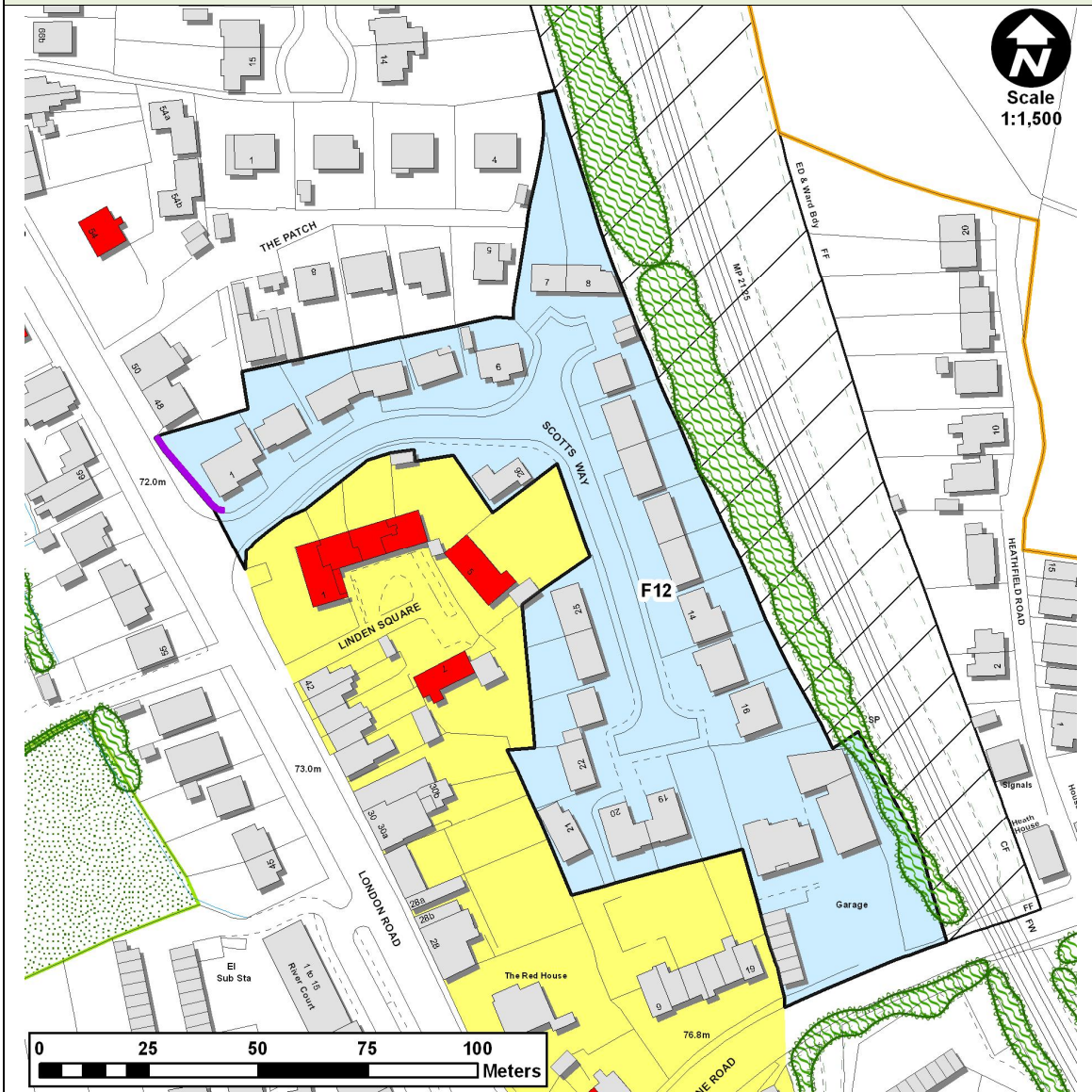
F12 - SCOTTS WAY

Comprising Scotts Way

HISTORICAL CONTEXT

An early 1970s backland development between the London Road and the railway line.

TOWNSCAPE MAP



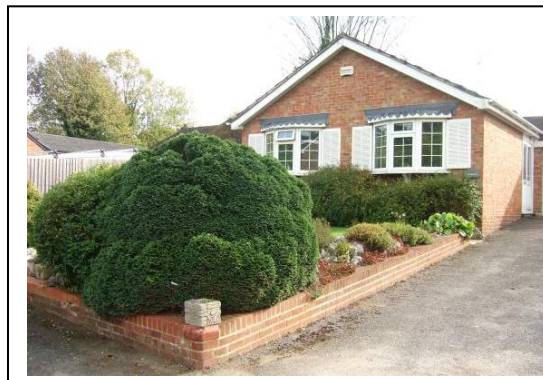
Locally Distinctive Contextual Features	
Age of buildings	Early 1970s
Type of buildings	Mainly detached and attached. Also semi-detached
Main uses	Residential
Building heights	One and two storeys
Prominent building materials	Brown brick, pastel paint, brown roof tiles
Predominant boundary treatments	Dwarf walls and some open plan
Open space/ vegetation	Tree belt to the east

Area Characteristics



Scotts Way is a curved cul-de-sac that slopes up from the east side of the London Road. The two storey mainly detached and attached houses are of uniform design and are closely spaced on similar sized plots on a relatively regular building line behind front gardens enclosed by dwarf walls.

The houses are of uniform design with brown brick elevations, many painted pastel shades, pitched brown tiled roofs with chimneys on the rear pitch, bow windows, flat porch canopies on brackets and shutters. The pastel shades and uniform designs create a distinctive and cohesive character. The access is enclosed on the south and west side by a wall and hedge. The area has a residential character with no through traffic but there is traffic noise from the London Road. The tree belt along the railway line is visible above and between the houses to the east.



At the southern end of the area, bungalows with gable ends face the road. The shutters and bow windows coordinate with the two storey properties. There is also some more recent infill which is on the same building line and respects the height of surrounding development although the decorative finishes are different.

Locally Distinctive Positive Features

Evenly spaced two storey mainly detached and attached properties and bungalows set back from the road formally set back on a regular building line behind dwarf walls and landscaped front gardens

Retention of uniform design, materials and details contributing to a cohesive and distinctive character

The tree belt to the east is visible between and over the houses

Negative Features

Traffic noise from the London Road

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings but any such development should meet the guidance included in this SPD.

In proposing new development within the Scotts Way Character Area:

Regular building lines and space between buildings should be respected

The harmonious palette of brown brick, pastel painted brickwork and brown tiled roofs should be respected

Mature trees and hedged boundaries which contribute to the character of the road should be retained

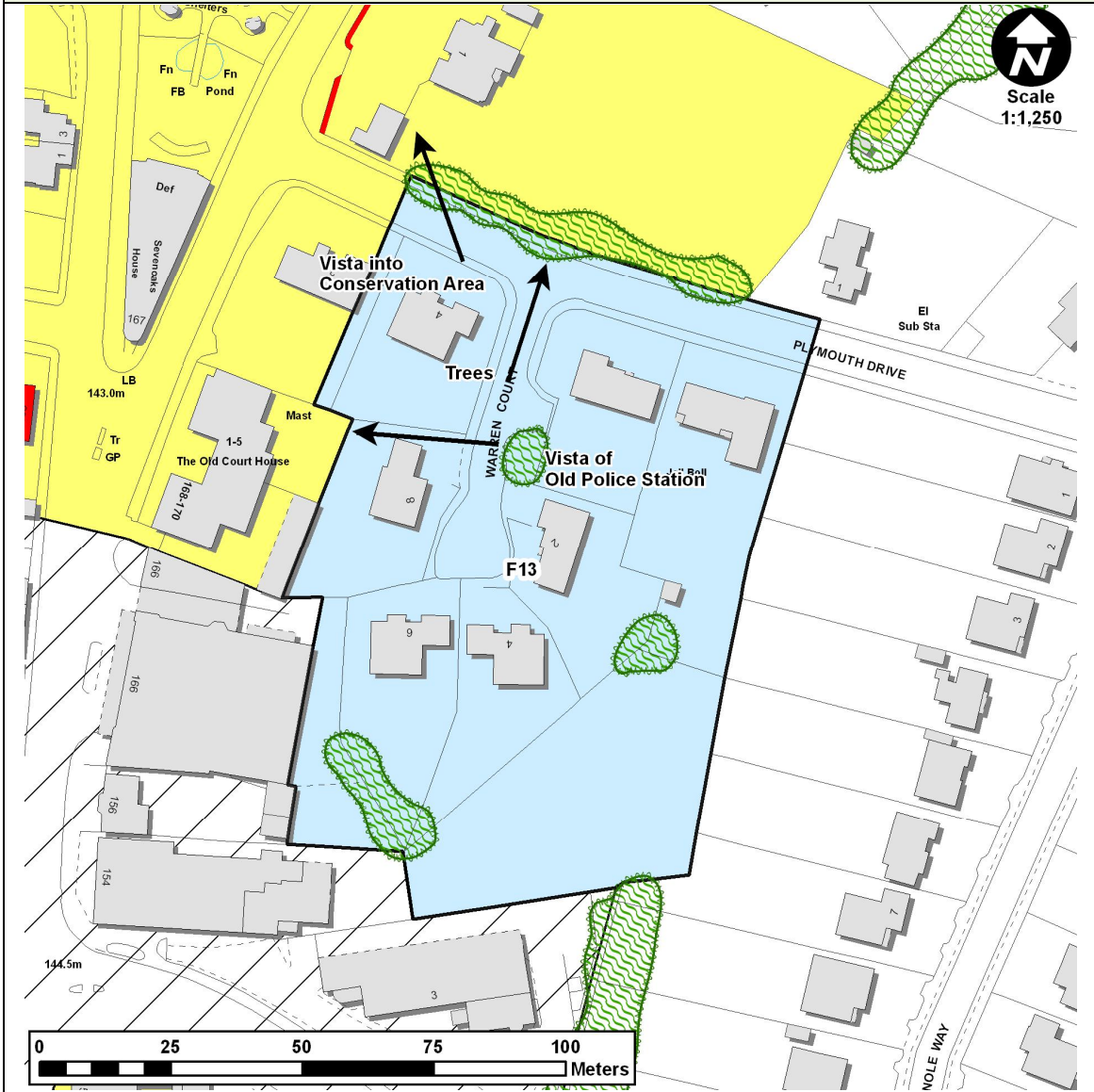
F13 - WARREN COURT

Comprising Warren Court

HISTORICAL CONTEXT

An early 1970s development to the rear of the police station in Sevenoaks High Street.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	Early 1970s
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Brown brick, brown roof tiles, some red roof tiles in Plymouth Drive
Predominant boundary treatments	Open plan and walls
Open space/ vegetation	Trees to the north, east and south

Area Characteristics



The area comprises four detached houses around a short cul-de-sac and three houses facing onto Plymouth Drive. The houses are set back from the road behind landscaped front gardens partially enclosed by shrubs and walls. They are brown and buff brick with shallow gabled brown or red tiled roofs and porches with flat roof attached garages. Surrounding trees partially screen the cul-de-sac from neighbouring commercial uses which are on higher ground. There is a vista to the northwest from Plymouth Drive into the Conservation Area and to the west from Warren Court of the Old Police Station.



Trees close the view to the north from Warren Court.

Locally Distinctive Positive Features

Two storey detached houses set back from the road behind partially enclosed landscaped front gardens

Vistas into the Conservation Area from Plymouth Drive and Warren Court

Trees partially screen adjoining commercial uses which are on higher ground to the south and west

Negative Features

No significant detractors

Design Guidance

The arrangement of buildings and plots of this recent development gives little opportunity for development.

In proposing new development within the Warren Court Character Area:

Mature trees which contribute to the character of the roads should be retained

The setting of The Vine Conservation Area should be protected or enhanced

F14 - WOODFIELDS

Comprising Woodfields

HISTORICAL CONTEXT

This development was constructed in the early 1970s on land formerly belonging to the Chipstead estate.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	Early 1970s
Type of buildings	Detached
Main uses	Residential
Building heights	One and two storeys
Prominent building materials	Red/brown brick with brown hung tiles, weatherboard and brown concrete tiled roofs
Predominant boundary treatments	Low brick walls, hedges and open plan
Open space/ vegetation	Hedges, landscaped front gardens

Area Characteristics



Woodfields is a straight cul-de-sac which slopes gently down to the south with an arm leading off to the east (left).

Individually designed detached houses are set back from the road on a relatively regular building line. Groups of buildings are visible above walled, hedged and treed front boundaries. The formal layout is created by the wide straight road with two footways and a regular building line and spacing between buildings.

The southern end of Woodfields is more open plan. Trees close the views to the south and north of Woodfields.



The one and two storey detached houses are of various designs with some repeats. They are constructed or red/brown brick with hung tiles, white painted render or weatherboard and medium to gentle pitched concrete tiled roofs (above left). The properties at the north end of Woodfields have chimneys. Some properties have gable ends facing the road and/or flat porch canopies supported on white metal posts. The bungalows are of various designs, some with wide gables facing the road with wide windows beneath.



The landscaped front gardens and specimen trees are a particular feature of the area. The green character is enhanced in Woodfields by views of trees to the south and north and glimpses towards the North Downs.

Locally Distinctive Positive Features

Evenly spaced 2 storey detached properties are formally set back on a regular building line behind landscaped front gardens which are enclosed by low walls and hedges or open plan.

Tree belts close the views to the south and north of Woodfields and are visible over and between the houses.

Glimpses of the North Downs from the eastern arm of Woodfields.

Specimen trees

Residential character with no through traffic

Negative Features

Poor surfacing

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings but any such development should meet the guidance included in this SPD.

In proposing new development within the Woodfields Character Area:

Regular building lines and space between buildings should be respected

Mature trees and hedged boundaries which contribute to the character of the road should be retained

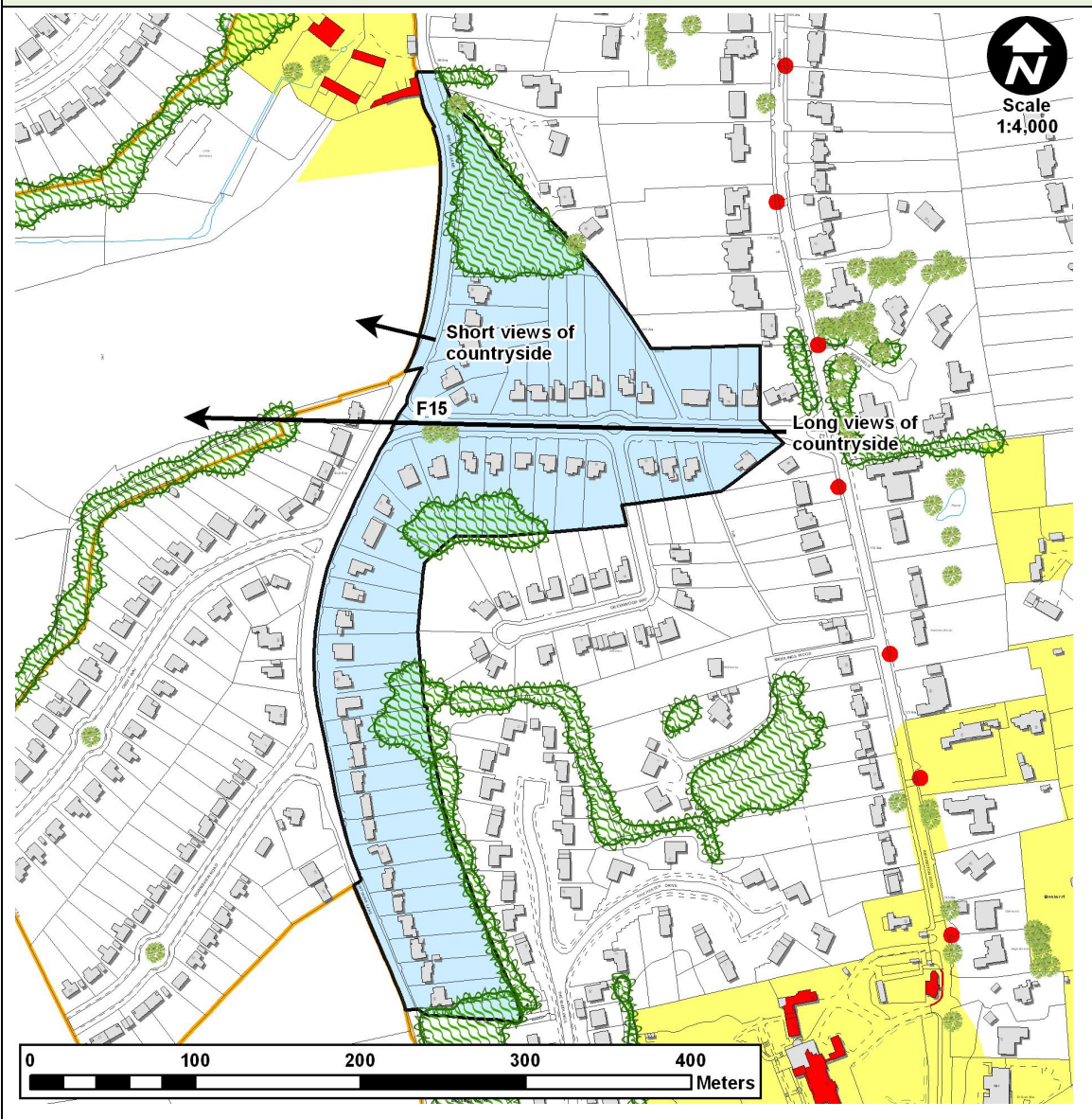
F15 REDLANDS ROAD/ BRITTAIN'S LANE

Comprising Redlands Road, Britain's Lane

HISTORICAL CONTEXT

Redlands Road and properties along Britain's Lane were constructed on open land adjoining as part of a westward expansion of the Sevenoaks urban area in the early 1960s.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1960s
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Red/brown brick, pastel painted render, hung tiles, red/brown or brown plain tiled roofs
Predominant boundary treatments	Low walled gardens with hedges, shrubs and some trees
Open space/ vegetation	Hedges and trees to front gardens. Woodland off Brittain's Lane and views of adjoining countryside

Area Characteristics



Two storey detached houses are set back from the road on a regular building line. Groups of buildings are visible in Redlands Road (top) and Brittain's Lane (bottom) above walled, hedged and treed front boundaries. The formal layout is created by the wide road with two footways (and verges in Redlands Road) and a regular building line and spacing between buildings. Small ornamental trees are planted within the verge in Redlands Road. Repeated designs, many with hipped roofs, curved two storey tile hung bay or bow windows, brown brick ground floors, painted rendered first floors and attached or integral garages. The topography leads to a stepped roof line.

Traffic on Brittain's Lane can affect the character of the street.



The houses in both streets have been significantly altered and extended with two storey side and front extensions. In general these alterations are sympathetic, have retained the distinctive characteristics of the buildings and have not adversely affected the character of the area.

Views



There are long views westwards of the countryside down Redlands Road (above left) and short views of the countryside which abuts the west side of Brittain's Lane which at this point marks the western edge of the Sevenoaks built up area (above right).

Landscape



There are a number of mature trees within the area including at the junction between Redlands Road and Brittain's Lane (above left). The woodland along Brittain's Lane marks the northern edge of the character area, sits opposite open countryside and is important to the setting of the adjoining Brittain's Farm Conservation Area.

Locally Distinctive Positive Features

2 storey detached houses of repeat designs are formally spaced on a regular building line with gaps between buildings

Retention of original designs, materials and details contributing to a cohesive character

Hedged and tree boundaries, verges and glimpses between and above the houses of back garden trees

Views to the west of countryside

Mature trees including at the junction between Redlands Road and Brittain's Lane and the woodland along Brittain's Lane

Hedged and tree boundaries

Negative Features

Traffic noise on Brittain's Lane

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings but any such development should meet the guidance included in this SPD.

In proposing new development within the Redlands Road/ Brittain's Lane Character Area:

Regular building lines and space between buildings should be respected

The harmonious palette of red/brown brick, pastel painted render, red/brown or brown plain hung tiles and roof tiles should be respected

The characteristic designs and roofline should be respected

Traditional detailing should be retained

Mature trees and hedged boundaries which contribute to the character of the road should be retained

Views of the countryside should be protected

The setting of the Brittain's Farm Conservation Area should be protected or enhanced

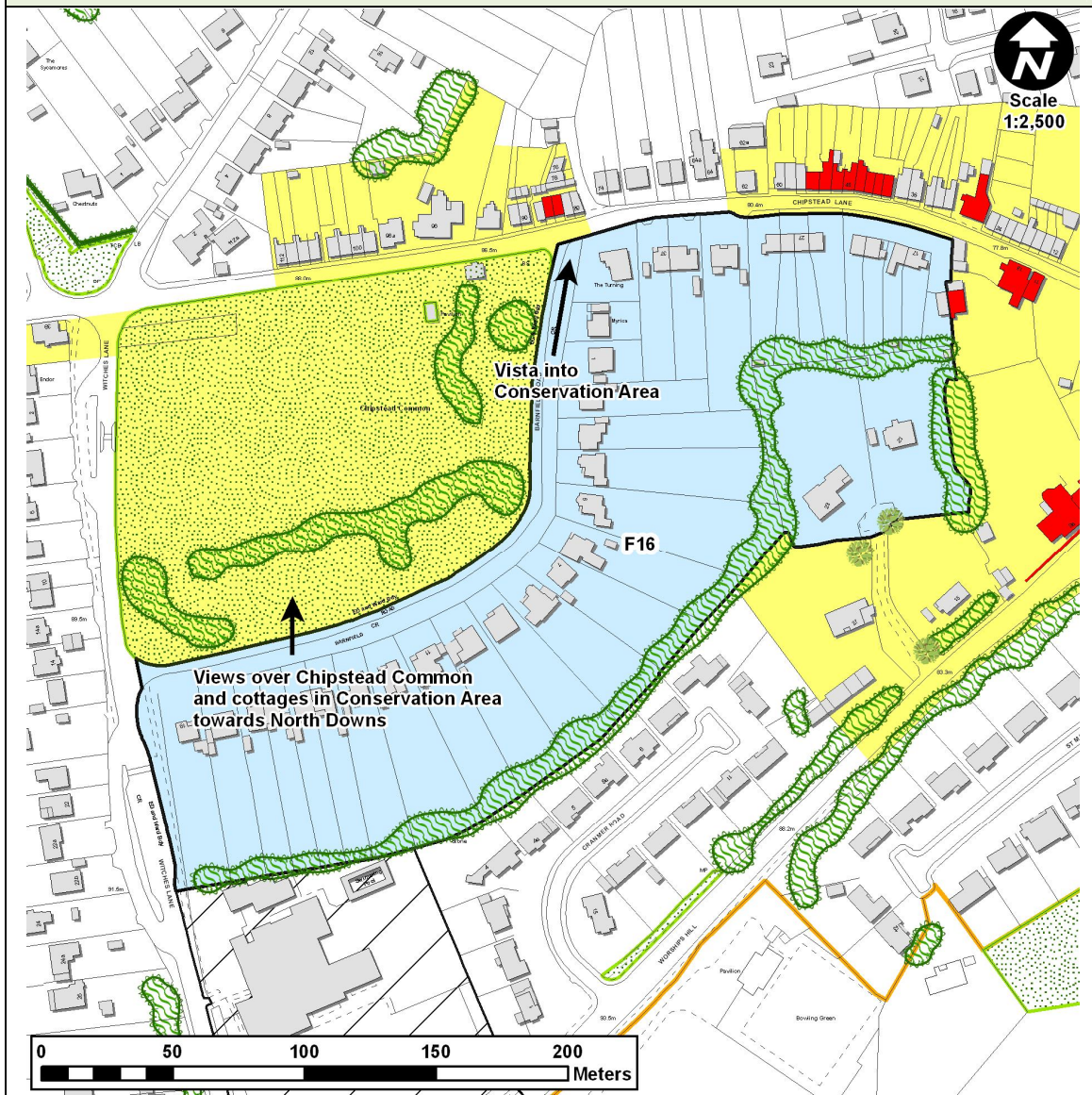
F16 – BARNFIELD ROAD

Comprising Barnfield Road and Chipstead Lane (part)

HISTORICAL CONTEXT

This road was laid out on previously open land south of Chipstead Common in the inter-war period.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1930s
Type of buildings	Mainly detached, some semi-detached and one terraced group
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Red/brown brick, brown roof tiles, hung tiles
Predominant boundary treatments	Hedges, fences and brick walls
Open space/ vegetation	Wide verge and overlooking Chipstead Common

Area Characteristics



Barnfield Road is a curved street running along the south side of Chipstead Common. It is bordered by a deep grass verge on the south side and a verge and posts on the north side. The houses are on a regular curved building line and are set back behind landscaped front gardens enclosed by hedges and some fences and walls. The curve of the hedges emphasises the sweep of the road. The street has an open, spacious green character.



The brown or red/brown brick houses are of various individual designs with hipped roofs and (usually) chimneys. Some properties have two storey bay windows and forward facing gables. Many have porches some of which are curved and recessed, others supported on wooden posts and brackets or brick pillars. The roofline is relatively even but varied. Decorative finishes include hung tiles, herringbone brickwork, white painted render, leaded windows and half timbering.



The views are a particular feature of this area. There are long views northwards across the Common of cottages in the Chipstead Common Conservation Area and beyond towards the North Downs. There is a vista at the eastern end of Barnfield Road of old cottages on Chipstead Lane (left). The inter-war development continues down the south side of Chipstead Lane and adjoins the Riverhead Conservation Area, the houses set back behind front gardens enclosed by a stone retaining wall. There are vistas to the west and east into the two Conservation Areas.



A more recent infill at the north end of Barnfield Road contrasts with the surrounding architecture. However, due to its position at the end of the road where there is a greater variety of styles and ages of buildings, it does not greatly affect the otherwise consistent character of the street.

Locally Distinctive Positive Features

Curved road lined by grass verges overlooking the trees and open space of Chipstead Common, creating an open, green character

Individually designed 2 storey detached houses are formally spaced on a regular building line

Retention of original 1930s designs, materials and details contributing to a cohesive and distinctive character. Features include hipped roofs, bow windows, chimneys, front facing gables, and porches. Decorative finishes include hung tiles, painted render, herringbone brick work and half timber.

Views and vistas

Negative Features

Some over-dominant dormer extensions

Design Guidance

The arrangement of buildings and plots in this area gives little opportunity for development.

In proposing new development within the Barnfield Road Character Area:

Regular building lines and space between buildings should be respected

Mature trees and hedged boundaries which contribute to the character of the roads should be retained

The setting of the adjoining Chipstead Common and Riverhead Conservation Areas should be protected or enhanced

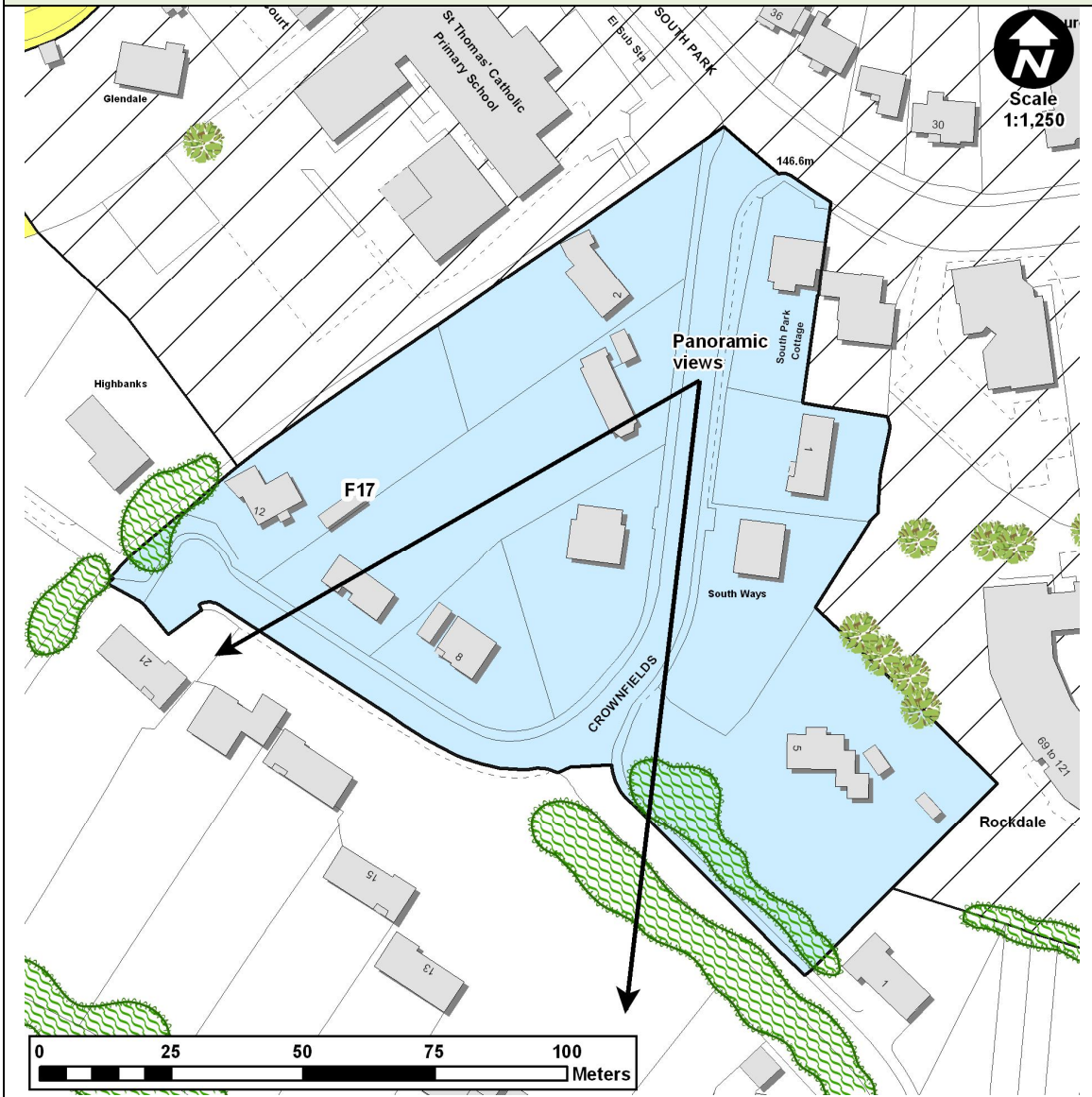
F17 CROWNFIELDS

Comprising Crownfields

HISTORICAL CONTEXT

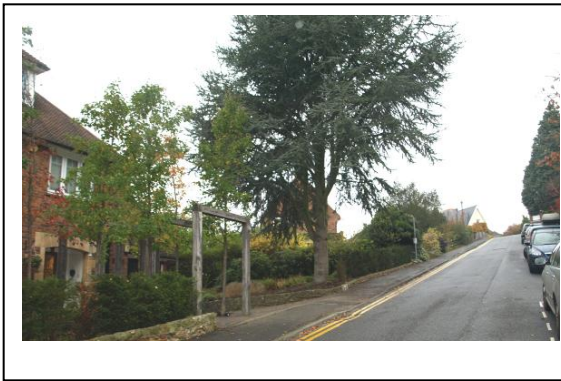
Crownfields was developed on an open field within the 1960s.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1960s – 1970s
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Various
Predominant boundary treatments	Low walled gardens with hedges and fences with some trees
Open space/ vegetation	Hedges and trees to front gardens

Area Characteristics



Crownfields descends sharply to the south (above) with the southern part of the road flatter along the bottom of the valley (below). Individually designed two storey detached houses are set back from the road on an irregular building line. Front boundaries tend to be hedged and treed, partially screening the houses. The formal layout is created by the straight road with two footways and the set back of buildings from the road.

The houses at the corner of Crownfields and Valley Drive (above right) are well screened behind mature vegetation.



Landscape



The high point on Crownfields allows long panoramic views across intervening verdant development in the Kippington Conservation Area and Character Area.

Locally Distinctive Positive Features

Individually designed 2 storey detached houses are set back from the road

Long panoramic views across verdant development including the Kippington Conservation Area and Character Area

Negative Features

No significant detractors

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to, or redevelopment of, existing buildings but any such development should meet the guidance included in this SPD.

In proposing new development within the Crownfields Character Area:

Buildings should be set back from the road

Development should not significantly detract from panoramic views across the area to the south east

Mature trees and hedged boundaries which contribute to the character of the road should be retained