

E FORMAL SEMI-DETACHED LAYOUT CHARACTER AREAS



There are very few areas of this type in Sevenoaks.

These areas were developed in the 1960s and 1970s and comprise semi detached houses of uniform, repeated or similar design. The semi detached houses are closely spaced on a regular building line set back from the road behind relatively shallow front gardens enclosed by consistent boundaries, usually low walled gardens or hedges and some trees. Groups of buildings are visible from the street.

The formal layout is created by the standard road layout with two footways, a regular building line and spacing between buildings.



Example of Formal Semi-Detached Layout

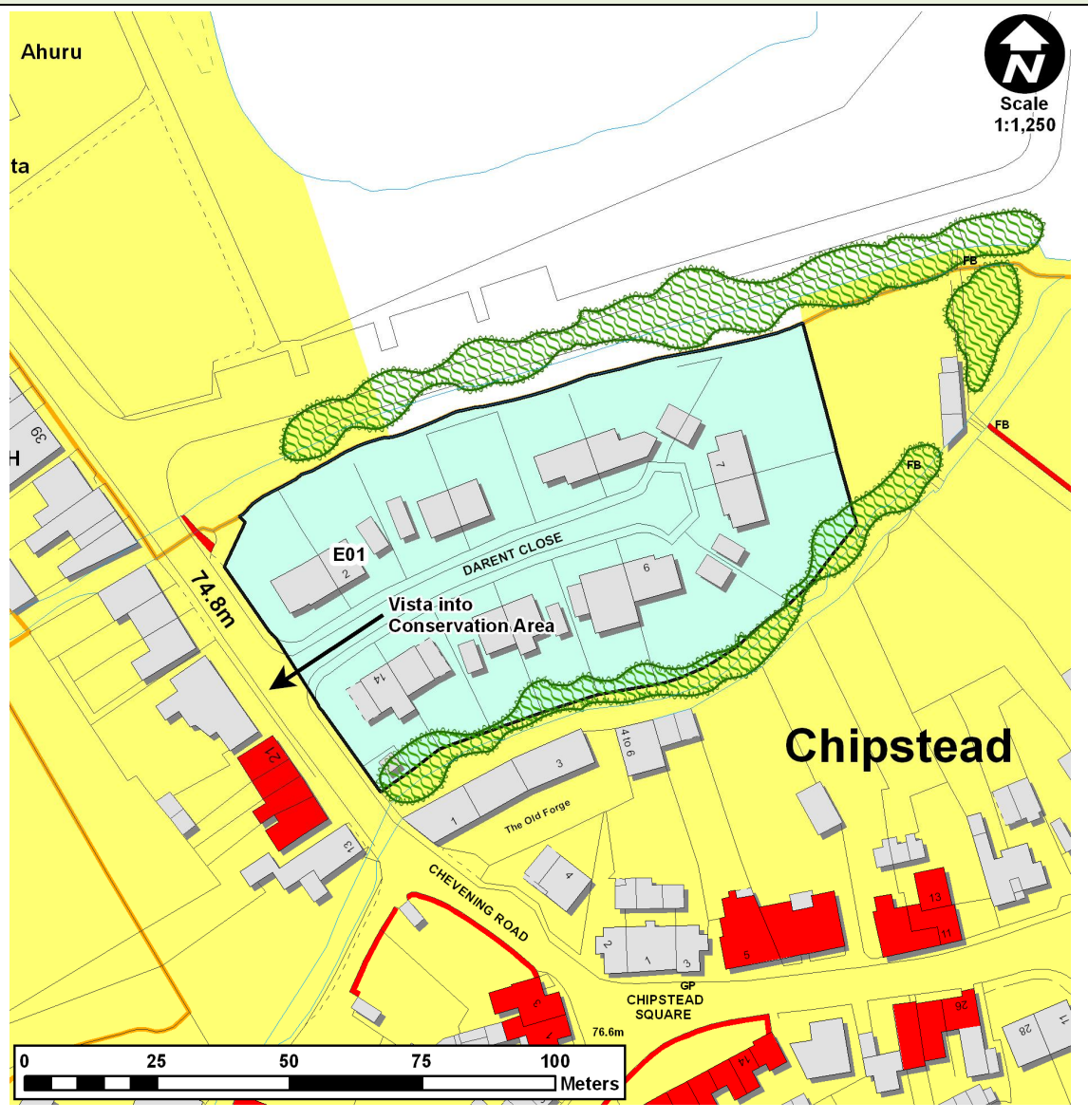
E01 – DARENT CLOSE

Comprising Darent Close

HISTORICAL CONTEXT

Seven pairs of semi-detached houses built in the 1960's on formerly open land used as a cattle pen, adjoining Chipstead village centre between two branches of the River Darent.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	Early 1960s
Type of buildings	Semi-detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Orange/brown brick, brown roof tiles and white framed windows.
Predominant boundary treatments	Low brick walls
Open space/ vegetation	Landscaped front gardens. Glimpses between houses to north and south of trees along the banks of the River Darent.

Area Characteristics



The houses are set back on a regular building line behind landscaped front gardens enclosed or partially enclosed by brick walls. The two storey orange/brown brick houses have half hipped or hipped brown tiled roofs with small chimneys, single storey flat roofed bay windows and arched porches with recessed doors. The properties have been altered and extended but the cul-de-sac retains a cohesive character due to the consistent scale, set back and materials of the properties. Swan neck street lamps are a feature.



Trees bordering the River Darent are visible between and over the houses to the north, east and south.

To the west there is a vista into Chipstead Conservation Area (left). There are no long views.

Locally Distinctive Positive Features
<p>Tree belts visible above and between the houses</p> <p>Consistent scale, set back, materials and boundary treatments contribute to the cohesive character</p> <p>Swan neck street lamps</p> <p>Vista of the Chipstead Conservation Area</p> <p>Residential character with no through traffic</p>

Negative Features
<p>Road noise from the M26 and M25.</p>

Design Guidance
<p>The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.</p> <p>There may be pressure for extensions to existing buildings.</p> <p>In proposing new development within the Darent Close Character Area:</p> <p>Regular building lines should be respected</p> <p>The harmonious palette of orange/brown brick, brown roof tiles and white framed windows should be respected</p> <p>The characteristic roof profile should be respected</p> <p>Traditional detailing should be retained</p> <p>Low brick wall boundaries should be retained</p> <p>Mature trees and hedge boundaries which contribute to the character of the area should be retained</p>

E02 – THE PADDOCKS

Comprising The Paddocks

HISTORICAL CONTEXT

A post 1990 development on previously open land at the eastern edge of Sevenoaks.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	Post 1990
Type of buildings	Semi-detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Brown and orange brick, brown roof tiles
Predominant boundary treatments	Low hedges or open plan
Open space/ vegetation	Grassed front gardens and shrubs. Tree belt to the west.

Area Characteristics



The semi-detached houses are evenly spaced on a curving building line around the short cul-de-sac with one property facing the entrance (above right). This layout creates an intimate, residential character with no through traffic. The front gardens are grassed with some trees and partially enclosed by low hedges, whilst the rear gardens of numbers 1 and 2 are enclosed by a curved brick wall. The houses are of repeated design with brown brick elevations with orange brick details, white framed windows, monopitch tiled porch projections and gabled tiled roofs. Some properties are tile hung on the upper storey, others have curved window openings on the ground floor. The property by the entrance has a prominent forward facing gable. The repeated designs give the development a cohesive character.

The development is screened from Seal Hollow Road by a hedge, stone wall and some trees. There is a broad grass verge fronting the road providing a green setting for the development. The east side of Seal Hollow Road is partially enclosed by an embankment with bushes and trees. Trees are visible over and between the houses closing the views to the north, west and south.

Locally Distinctive Positive Features

Tree belts are visible above and between the houses forming a backdrop to the development to the north, west and south

Consistent building height, building line, materials, designs and boundary treatments contribute to the cohesive character

A hedge, stone and brick wall and some trees screen the development from Seal Hollow Road to the east

A broad verge adjoining Seal Hollow Road provides a green setting for the development

The clipped hedges and brick rear garden wall are distinctive features

Intimate, residential character with no through traffic

Negative Features

Some road noise from Seal Hollow Road.

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Paddocks Character Area:

Regular building lines should be respected

The harmonious palette of brown brick with orange brick details, brown roof tiles and white framed windows should be respected

Mature trees and hedge boundaries which contribute to the character of the area should be retained

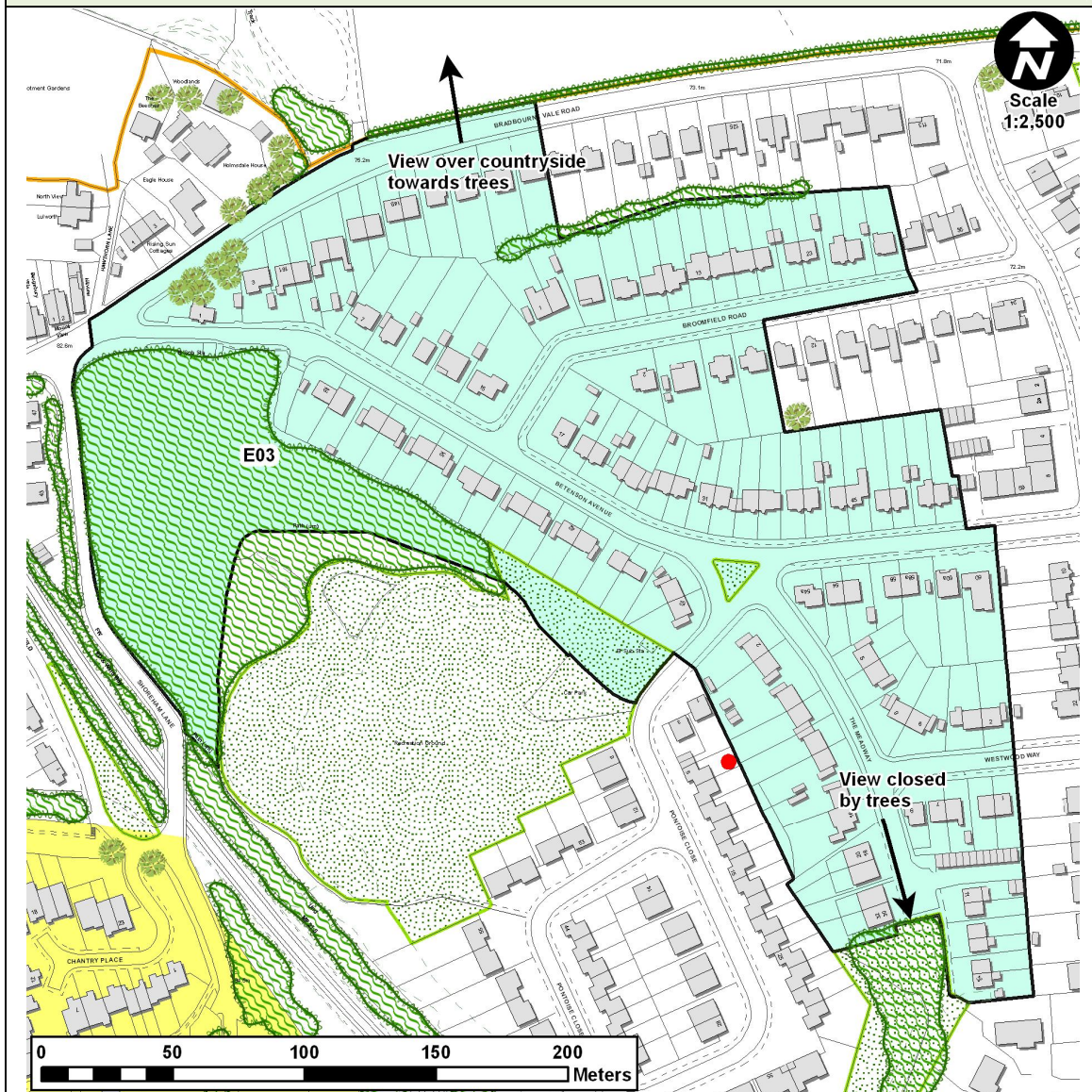
E03 – BETENSON AVENUE AREA

Comprising Betenson Avenue, Broomfield Road (part), The Meadway, Westwood Way (part) and Bradbourne Vale Road (part)

HISTORICAL CONTEXT

This grid of roads was laid out in the 1950s – 1960s (with some earlier and later properties) on the site of Bradbourne Hall in the triangle of land between branches of the railway line, south of the A25. The 18th century Bradbourne Hall was demolished in 1937. Betenson Avenue follows the line of the former driveway.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1930s – mid 1970s
Type of buildings	Semi-detached and some detached
Main uses	Residential
Building heights	One - two storeys
Prominent building materials	Red/brown brick, painted render, some hung tiles, brown roof tiles
Predominant boundary treatments	Low brick walls, some hedges and panel fences
Open space/ vegetation	Landscaped front gardens. Treed open space to the west and south. Tree belt along the railway line to the west.

Area Characteristics



The streets in this area are curved with the houses set back on a regular building line in similar sized plots behind pavements and landscaped front gardens enclosed by low brick walls. Betenson Avenue and Broomfield Road (left) have verges and the buildings include inter-war style bay fronted properties together with red/brown flat fronted properties of more uniform design. The Meadway (below left) and Westwood Way do not have verges and the style of housing is more uniform. The southern part of the Meadway was constructed in the 1970s and includes some bungalows. The area has a residential character with little through traffic.



The inter-war style houses in Betenson Avenue and Broomfield Road (above left) have part or fully rendered or pebbledash elevations with two storey bay windows and hipped roofs with central chimneys or tall narrow chimneys to the side. The later housing is more uniform in appearance with red/brown brick flat elevations, more steeply pitched brown tiled hipped roofs, small chimneys on the ridge, entrance doors on the side elevations and distinctive tall staircase windows. The uniformity of design creates a distinctive streetscape. However, some chimneys have been lost.



In the Meadway, the houses are also of repeated designs with flat porch canopies, single storey bay windows and wide hipped roofs with central chimneys.

Townscape Feature



At the western end to Betenson Avenue, ragstone walls, the old lodge house and treed open space mark the former entrance to the Bradbourne estate, providing a link with the past. The 19th Century lodge house is constructed of ragstone with a steep tiled roof, prominent gabled dormers and porch and decorative chimney stacks.

Views



At the southern end of the Meadway (left) the view is enclosed by trees however, in the northern part of the area there are longer views across open countryside. Belts of trees to the west and within back gardens are visible over and between the houses.

Poor surfacing detracts from the character of the area.

Locally Distinctive Positive Features

Tree belts and garden trees visible above and between the houses

Consistent scale, building line, boundary treatments and repeated designs contribute to the cohesive character

The lodge house, ragstone walls and treed open space at the western end of Betenson Avenue provide a townscape feature with link with the past

Long views across open countryside

Residential character with limited through traffic

Negative Features

Poor surfacing

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Betenson Close Character Area:

Regular building lines should be respected

The harmonious palette of red/brown brick, painted render, brown roof tiles should be respected

The characteristic roof profile should be respected

Mature trees and hedge boundaries which contribute to the character of the area should be retained

The character of the lodge house townscape feature should be respected

Views of open countryside should be protected

E04 - UPLANDS CLOSE

Comprising Uplands Close

HISTORICAL CONTEXT

These properties were constructed as part of a westward expansion of the Sevenoaks urban area in the 1950s and early 1960s.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1950s/early 1960s
Type of buildings	Semi-detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Orange/brown brick, brown roof tiles and white framed windows.
Predominant boundary treatments	Low brick walls
Open space/ vegetation	Landscaped front gardens.

Area Characteristics



Uplands Close is a cul-de-sac development of uniform hipped roof semi-detached houses set back on a regular building line behind landscaped front gardens enclosed or partially enclosed by brick walls. The houses have orange/brown brick elevations, hipped brown plain tiled roofs, chimneys on the pitch, single storey bay windows and wide tiled porch canopies which extend across the width of the building (above left). Situated on lower ground and facing onto trees the cul-de-sac has a quiet, enclosed residential character.

Locally Distinctive Positive Features
Consistent scale, set back, materials and boundary treatments contribute to the cohesive character
Residential character with no through traffic

Negative Features
No significant detractors

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Uplands Close Character Area:

Regular building lines should be respected

The harmonious palette of orange/brown brick, brown roof tiles and white framed windows should be respected

The characteristic roof profile should be respected

Traditional detailing should be retained

Low brick wall boundaries should be retained

Mature trees and hedge boundaries which contribute to the character of the area should be retained

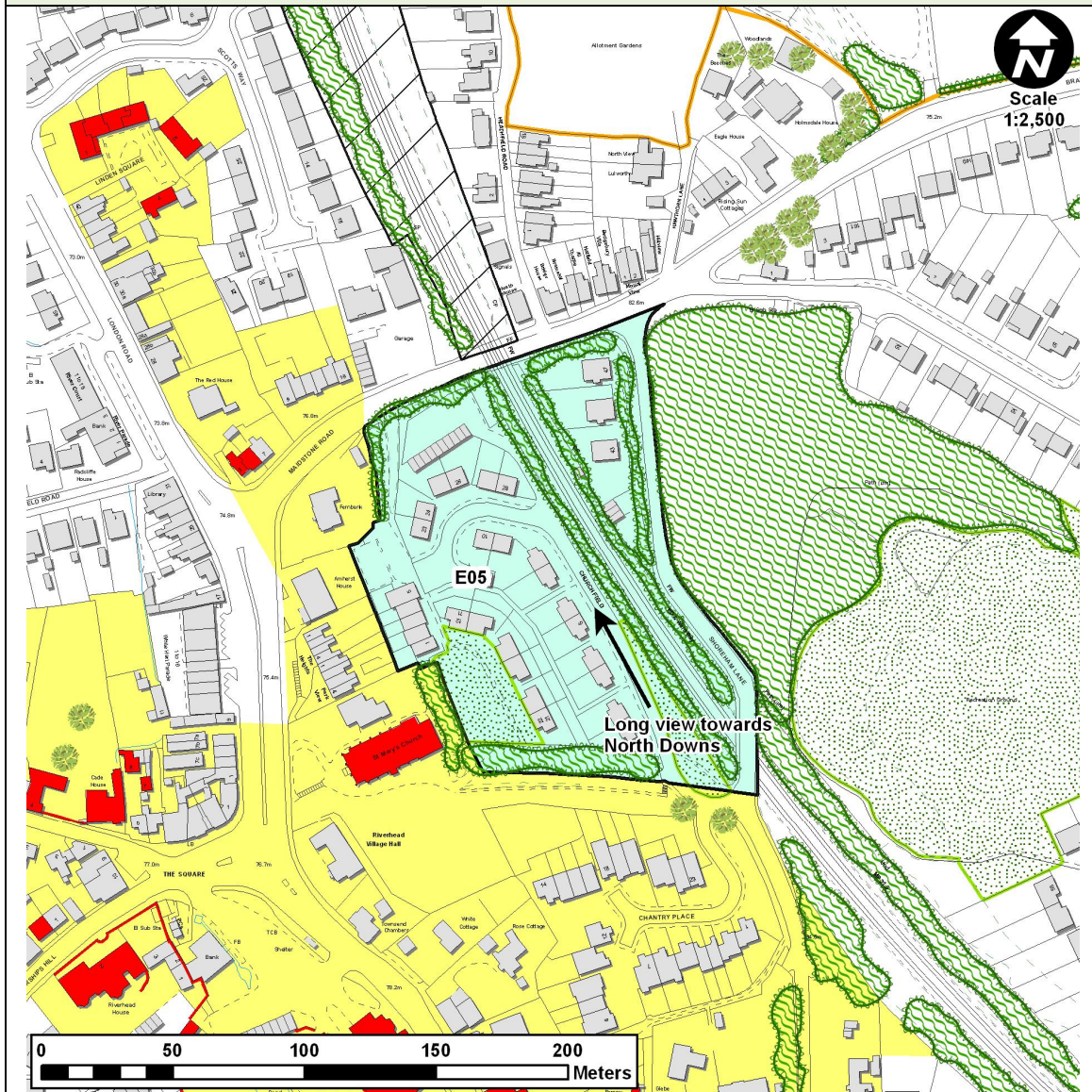
E05 – CHURCH FIELDS

Comprising Church Fields and Shoreham Lane (part)

HISTORICAL CONTEXT

This Church land (formerly allotments) was built on in the early 1970s.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1970s
Type of buildings	Semi-detached, terraced houses and flats
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Buff and brown brick, painted render and brown roof tiles
Predominant boundary treatments	Open plan or wire fences. Some dwarf hedges and walls
Open space/ vegetation	Small area of green open space. Tree belt along the railway line

Area Characteristics



The development comprises mainly semi detached two storey houses set back on a regular building line facing onto the sloping curved cul-de-sac or onto a footpath running between the rows of houses. The houses are of uniform design with buff brick elevations, monopitch porches and brown tiled pitched roofs with small chimneys on the front pitch. There is also a short row of single storey terraced properties in brown brick with white rendered sections and forward facing gables on a brown plain tiled roof (below right). The intimate scale and uniform materials create a cohesive residential character. There are long views towards the North Downs from the higher ground and glimpses between the houses, but the sloping topography and layout creates an intimate, inward looking character on the lower western part of the area. Parking areas are concealed to the rear of the houses. The low scale protects the setting of the Riverhead Conservation Area.





The gardens facing onto the road are open plan or enclosed by dwarf walls and hedges whilst those by the footpath have a more informal, semi-rural character and are enclosed by wire fences.



Tree belts to the east and south of the development and grassed open spaces adjoining the entrance and to the rear of the houses contribute to the green, private character of the development and help to protect the setting of the Riverhead Conservation Area.

Locally Distinctive Positive Features

Consistent building line, use of materials and design

Tree belts to the south and east and open space within the development enhance the character, screen the railway line and protect the setting of the Riverhead Conservation Area.

The sloping topography creates changing vistas and views. There are long views towards the North Downs from the higher ground, whilst the lower area to the west has an intimate, inward looking character.

The amenity open space opposite 11-22 Churchfields should be protected

The footpath and open space contribute to an informal, semi-rural character

The area has a residential character with no through traffic

Negative Features

Intermittent train noise

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Church Fields Character Area:

Regular building lines should be respected

The harmonious palette of buff and brown brick, painted render and brown roof tiles should be respected

Mature trees and hedge boundaries which contribute to the character of the area should be retained

The amenity open space opposite 11-22 Churchfields should be protected

Views of the North Downs should be protected

The setting of the Riverhead Conservation Area should be protected or enhanced

