

C INTER-WAR PLANNED DEVELOPMENT CHARACTER AREAS



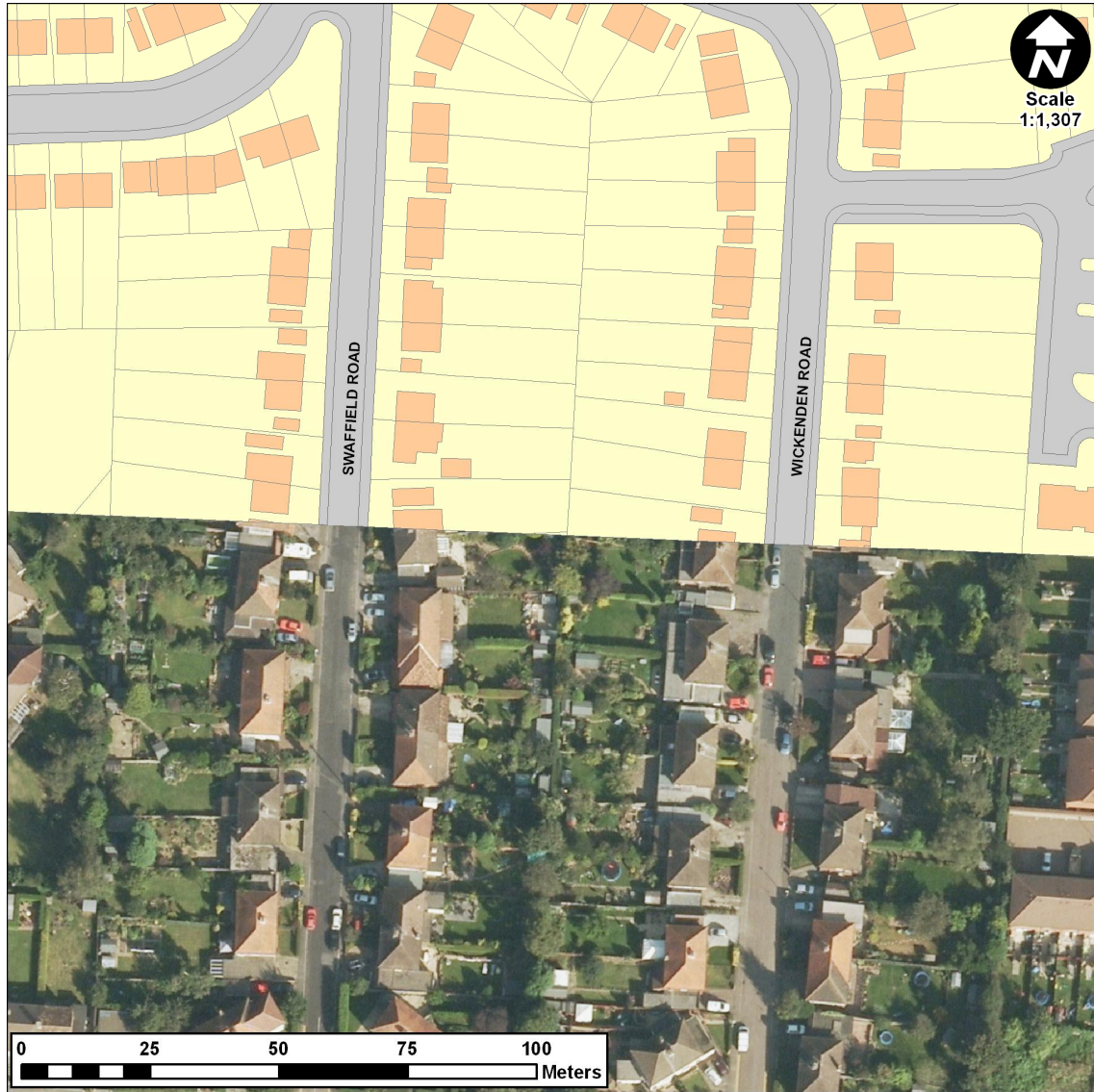
This category includes planned estates, linear developments on new roads and small infill developments. The developments are often laid out in cul-de sacs which may be straight or curved.

The semi-detached, detached and occasionally terraced houses are usually set in similar sized plots and set on a regular building line facing the road behind enclosed front gardens. Sometimes the houses are built diagonally across corners to meet the highways requirements of the time and resulting in an unenclosed, more spacious character. Semi-detached or terraced properties were of symmetrical designs.

These areas may incorporate both bungalows and two storey buildings. Properties from this period have common design features such as hipped or gabled tiled roofs and wide casement windows. Many have curved bays and porches. Although frequently built to a standard design, the individual buildings were enhanced with painted cement render generally in white or cream and embellished with hung tiles and mock half timber. In the 1930s it became common for the doorways to be situated on the outer sides of semi-detached properties.

Properties are usually set back from the road behind enclosed front gardens and often have generous gardens to the rear giving these areas a spacious, verdant character.

The houses may have individual garages or communal parking blocks are provided. In estate developments, there may be a network of footpaths.



Example of Inter-War Planned Development Layout

C01 - LAMBARDE ROAD AREA

Comprising Lambarde Road, Hillcrest, Betenson Avenue, Bradbourne Lakes, Robyns Way, Broomfield Road, Cavendish Avenue, Oakdene Road, Bradbourne Vale Road (A25), Westwood Way.

HISTORICAL CONTEXT

This grid of roads was laid out in the 1930s on the site of Bradbourne Hall and Bradbourne Hall Farm in the triangle of land between branches of the railway line, south of the A25. The 18th century Bradbourne Hall was demolished in 1937 but the lakes created in the grounds still exist.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1930s
Type of buildings	Semi-detached and detached
Main uses	Residential
Building heights	One and two storeys
Prominent building materials	Brown brick, plain brown roof tiles, hung tiles, half timber, pebbledash, painted render and wooden posts and brackets.
Predominant boundary treatments	Brick and stone walls, hedges and wooden fences. Some open plan.
Open space/ vegetation	Dense tree belts on all sides. Bradbourne Lakes open space. Landscaped front gardens. Verges and hedges.

Area Characteristics



The area comprises a grid of straight or slightly curving roads lined with bungalows and two storey houses on the lower ground. The topography rises towards the south and east. The houses are set back behind wide verges, pavements and front gardens enclosed by hedges, brick or stone walls and wooden fences. Those facing the A25 are behind deep grass verges and/or deeper front gardens. The houses are set on a regular building line on similar sized plots, creating an orderly, planned character. The low building height, long straight roads, set back of the houses and limited on-street parking contribute to an open, unenclosed character.



The eastern section of the area is predominantly bungalows, whereas the west has more two storey properties. Considerable alteration has taken place including many loft conversions with the introduction of dormer windows and other alterations to the roofline. However a number of the detached and semi-detached bungalows retain original 1930s features (above left and right) including hipped tiled roofs with forward facing half timbered gabled ends and roofs which extend forward to form a porch supported on timber posts with brackets. Many properties have bow and/or round windows. A number of properties have brick bases with rendered or pebbledash painted sections above.

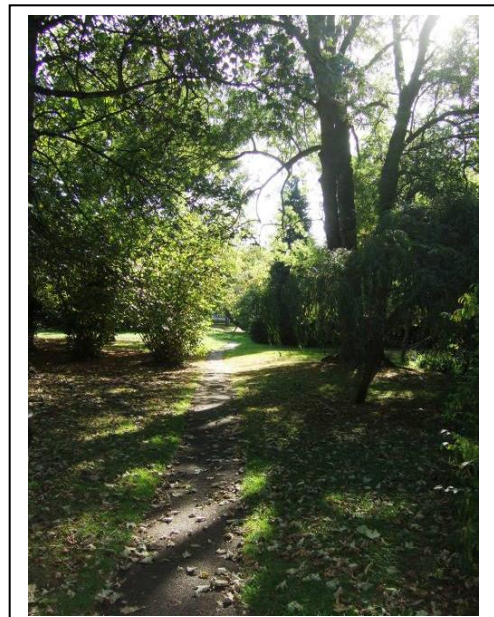


The two storey properties fall into two principal designs. The first (above left) reflects the bungalow design with a wide forward facing half timbered gable, symmetrical roof which sweeps down to first floor level, curved window bay window and brick base with pebbledash above. The second style (above right) has a shallow hipped roof with tile hung 2 storey bay windows. The 1930s character of the area has been retained despite subsequent alterations due to the persistence of the original layout, enclosed front gardens and many design features.

Landscape



The character of the area is enhanced by the verges and the belts of trees visible behind and between the houses on all sides (above centre). The sloping topography and straight roads allow some longer views over rooftops and trees, with occasional views of the North Downs (below left and right). This section of the A25 (above left) is verdant with tall trees, hedges and open countryside on the north side. The green character is enhanced by the landscaped front gardens (above right) and boundary hedges. Clock House Lane is a historic footpath with tall trees either side providing links with the Bradbourne Estate.



Bradbourne Lakes (above and right) is an important landscape feature at the heart of the area comprising treed green open space, streams and lakes. The tall trees are visible from surrounding streets and the area provides a link with the historic Bradbourne Estate.



There is a vista of the listed Bradbourne Farmhouse to the north of the A25 outside the character area.

Listed Buildings

The Clock House, Clock House Lane

Originally a private chapel built by Sir Ralph Bosville of Bradbourne House in 1614, it was converted into a dwelling probably in the 19th century. It comprises a 2 storey stone rubble wing and a tower.

Grade 2



Locally Distinctive Positive Features

Houses set back on regular building line

The low building height, long straight roads, set back of the houses and limited on-street parking contribute to an open, unenclosed character

Retention of original designs and 1930s details including hipped roofs, half timbering, brick and pebble dash, porches supported on wooden posts and brackets and bow, bay and round windows

Tree belts visible above and between the houses form a backdrop to the development and contribute to the green character. Verges, hedges, mature trees and planting enhance the development.

Long views of trees and occasional views of the North Downs

Bradbourne Lakes open space

The Clock House listed building and Clock House Lane

Residential character with little through traffic

Negative Features

Poor surfacing

Traffic noise from the A25 in the northern section of the area

Intermittent train noise

Some over-dominant dormer additions and other alterations to the roofline.

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings.

In proposing new development within the Lambarde Road Area Character Area:

Regular building lines should be respected

The harmonious palette of white painted render or pebbledash, half timbered gables, hung tiles, brown brick and plain brown roof tiles should be respected

The characteristic roof profile should be respected

Traditional detailing should be retained

Mature trees and hedge boundaries which contribute to the character of the area should be retained

Bradbourne Lakes open space should be protected and enhanced

Views of the North Downs should be protected

The listed building and its setting should be protected

C02 - BOSVILLE DRIVE AREA

Comprising Lambarde Road (part), Lambarde Drive, Bosville Drive and Bosville Road (part).

HISTORICAL CONTEXT

This development was constructed in the 1930s-50s on a triangle of land between two branches of the railway line formerly belonging to the Bradbourne Estate and with Character Area C01 forms part of an extensive area of new roads laid out in this period.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1930s -1950s
Type of buildings	Semi-detached and detached
Main uses	Residential
Building heights	One and two storeys
Prominent building materials	Red/orange brick, hung tiles, painted render or pebbledash, plain brown roof tiles and wooden posts and brackets.
Predominant boundary treatments	Brick and stone walls, hedges and wooden fences. Some open plan.
Open space/ vegetation	Dense tree belts along the railways lines and Clock House Lane. Landscaped front gardens.

Area Characteristics



Lambarde Road (below right) is straight and lined by verges with houses set back from the road which contribute to open character. Lambarde Drive (above left) and Broomville Drive (above right) form loops off Lambarde Road and comprise two storey semi-detached and detached houses of repeated designs with hipped roofs set close together on a regular building line behind front gardens enclosed by brick walls with some fences and hedges. The properties in Lambarde Drive have rendered painted upper storeys below hipped tiled roofs with chimneys. Those in Broomville Drive are brick with hung tiles. The houses are of typical 1930s design but the layout is more tight knit, enclosed and formal than Lambarde Road and Character Area C01 to the north.



The southern spur of Broomville Drive comprises two storey houses and bungalows. The bungalows retain some 1930s features including shallow hipped tiled roofs, bow windows, brick bases with rendered painted upper storeys and recessed doors with arched porches.

The land rises to the south, allowing long views of the North Downs (right). Tree belts along the railway lines and Clock House Lane enclose other views and form a backdrop to the houses.



Locally Distinctive Positive Features
Houses set back on regular building line and similar plot sizes behind landscaped front gardens enclosed by brick and stone walls, hedges and wooden fences
Open character of Lambarde Road
Lambarde Drive and Broomville Drive have a more tight knit, enclosed and formal character
Retention of original designs and 1930s details including hipped roofs, chimneys, rendered upper storeys, recessed porches and bow windows
Tree belts along the railway lines and Clock House Lane
Long view of the North Downs
Residential character with no through traffic

Negative Features
Poor surfacing
Intermittent train noise

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings.

In proposing new development within the Bosville Drive Area Character Area:

Regular building lines should be respected

The harmonious palette of white painted render or pebbledash, hung tiles, red/orange brick and plain brown roof tiles should be respected

The characteristic roof profile should be respected

Traditional detailing should be retained

Mature trees and hedge boundaries which contribute to the character of the area should be retained

Views of the North Downs should be protected

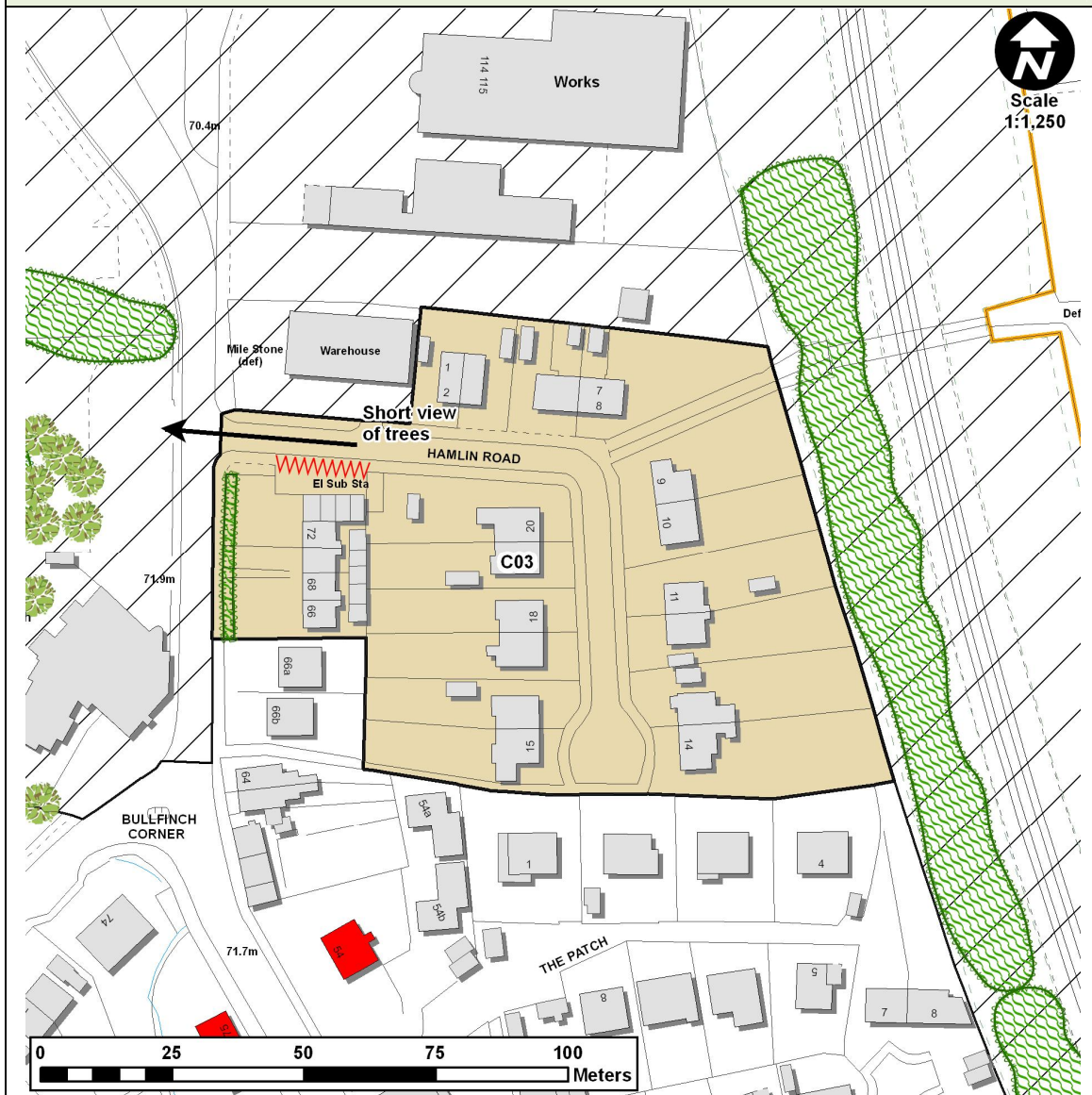
C03 - HAMLIN ROAD

Comprising Hamlin Road and London Road (part)

HISTORICAL CONTEXT

This 1930s infill development was constructed on previously open land between the London Road and the railway line.

TOWNSCAPE MAP

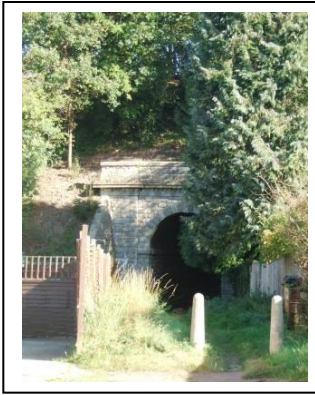


Locally Distinctive Contextual Features	
Age of buildings	1930s
Type of buildings	Semi-detached and terraced
Main uses	Residential
Building heights	One and two storeys
Prominent building materials	Brown brick, white painted render, hung tiles, plain brown roof tiles
Predominant boundary treatments	Open plan with some hedges and dwarf walls
Open space/ vegetation	Tree belt along the railway line. Hedge fronting London Road

Area Characteristics



This short L-shaped Hamlin Road cul-de-sac leads off the London Road with the residential area of Riverhead to the south and a commercial area immediately to the north. A bulky flat roofed commercial warehouse from an adjoining commercial area encloses the north side of the entrance (above left) but is not in keeping with the adjoining residential properties. The semi-detached houses and bungalows are set back from the road on a regular building line and similar sized plots behind open plan or partially enclosed front gardens and driveways. The properties are varied in materials and design with hipped roofs, central chimneys, flat fronts or bays and some with front facing gables. A short terrace with tile hung upper storey faces onto the London Road but is partially screened by a hedge and trees. The area has a 1930s character but lacks cohesion. A belt of trees along the railway line forms a backdrop to the houses and the edge of the character area (right) and a footpath leads under the railway (below left).



A garage and parking area south of the entrance detracts from the character of Hamlin Road.



Locally Distinctive Positive Features

Houses set back on regular building line

Retention of 1930s character and details including hipped roofs, half timber and hung tiles

Tree belt along the railway line and hedge along the London Road

Negative Features

Poor surfacing

Train and road noise

Car parking and garage area

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings.

In proposing new development within the Hamlin Road Character Area:

Regular building lines should be respected

The characteristic roof profile should be respected

Traditional detailing should be retained

Mature trees and hedge boundaries which contribute to the character of the area should be retained

C04 - HILLSIDE ROAD AREA

Comprising Hillside Road, Serpentine Road (part), Seal Hollow Road (part) and Quarry Hill (part)

HISTORICAL CONTEXT

This area comprises 5 rows of houses constructed parallel to Seal Hollow Road on previously open land in the inter-war period. A quarry was located just south of Quarry Hill but has now been developed for housing.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1920 -1940
Type of buildings	Semi-detached and detached
Main uses	Residential
Building heights	Two storeys with a bungalow
Prominent building materials	Brown brick, hung tiles, half timber, pebbledash, painted render, plain brown roof tiles and wooden posts and brackets
Predominant boundary treatments	Brick and stone walls, hedges and wooden fences. Some open plan
Open space/ vegetation	Hedge, scrub and trees east of Seal Hollow Road. Quarry Hill abuts open countryside

Area Characteristics



The semi-detached mainly two storey houses are constructed on a relatively regular building line set above and below the road behind landscaped front gardens enclosed by hedges, walls and fences (see above left and right). The houses are constructed of red/brown brick some with tile hung upper storeys. They have hipped roofs and chimneys, some very tall and narrow. Many properties have two storey bays with gable ends decorated with hung tiles or half timbering and some have tall staircase windows typical of the period (below right). The streets, other than Seal Hollow Road, have a quiet residential character with little through traffic. The houses are of various designs including more recent infill development, but the area retains a cohesive inter-war character enhanced by the retention of original designs and 1930s details, consistent scale and building line and a limited palette of harmonious materials.



The view southwards along Hillside Road and westwards along Serpentine Road is closed by trees. The western arm of Serpentine Road occupies a more elevated position and there is a long view over trees to the north east (above left). Trees can be glimpsed through gaps between the houses. The character of the area is enhanced by hedges in Serpentine Road and shrubs and trees in front gardens.



Quarry Hill, on the east side of Seal Hollow Road is an informal private road with detached individually designed houses evenly spaced on a regular building line facing over open countryside. The hedges, wooden fences, trees and verge contribute to the informal, semi-rural character of the road. As do the lack of street lamps and pavements. The consistent roof height, materials and design themes contribute to the 1930s character. The long views eastwards over open countryside are a particular feature.



This section of Seal Hollow Road is verdant in character, enclosed by tall trees and hedges on the east side and by garden hedges on the west. The interwar houses are constructed on regular plots behind deep front gardens.

Locally Distinctive Positive Features

Houses set back on a relatively regular building line behind landscaped front gardens enclosed by brick walls, hedges and wooden fences

Retention of original designs and 1930s details including hipped roofs, chimneys, half timbering, bay windows, tall staircase windows and front facing gables

Limited range of harmonious materials including red/brown brick, some with tile hung upper storeys, gable ends decorated with hung tiles or half timbering and plain brown roof tiles

Trees visible between the houses and closing views. Landscaped front gardens enhance the development

Long view over trees to the north east from Serpentine Road and over countryside from Quarry Hill.

Negative Features

Bungalow infill out of keeping in uniformly two-storey area.

Some over-dominant dormer extensions.

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings.

In proposing new development within the Hillside Road Area Character Area:

Regular building lines should be respected

The harmonious palette of red/brown brick, some with tile hung upper storeys, gable ends decorated with hung tiles or half timbering and plain brown roof tiles should be respected

The characteristic roof profile should be respected

Traditional detailing should be retained

Mature trees and hedge boundaries which contribute to the character of the area should be retained

Views of countryside to the north east from Serpentine Road should be protected

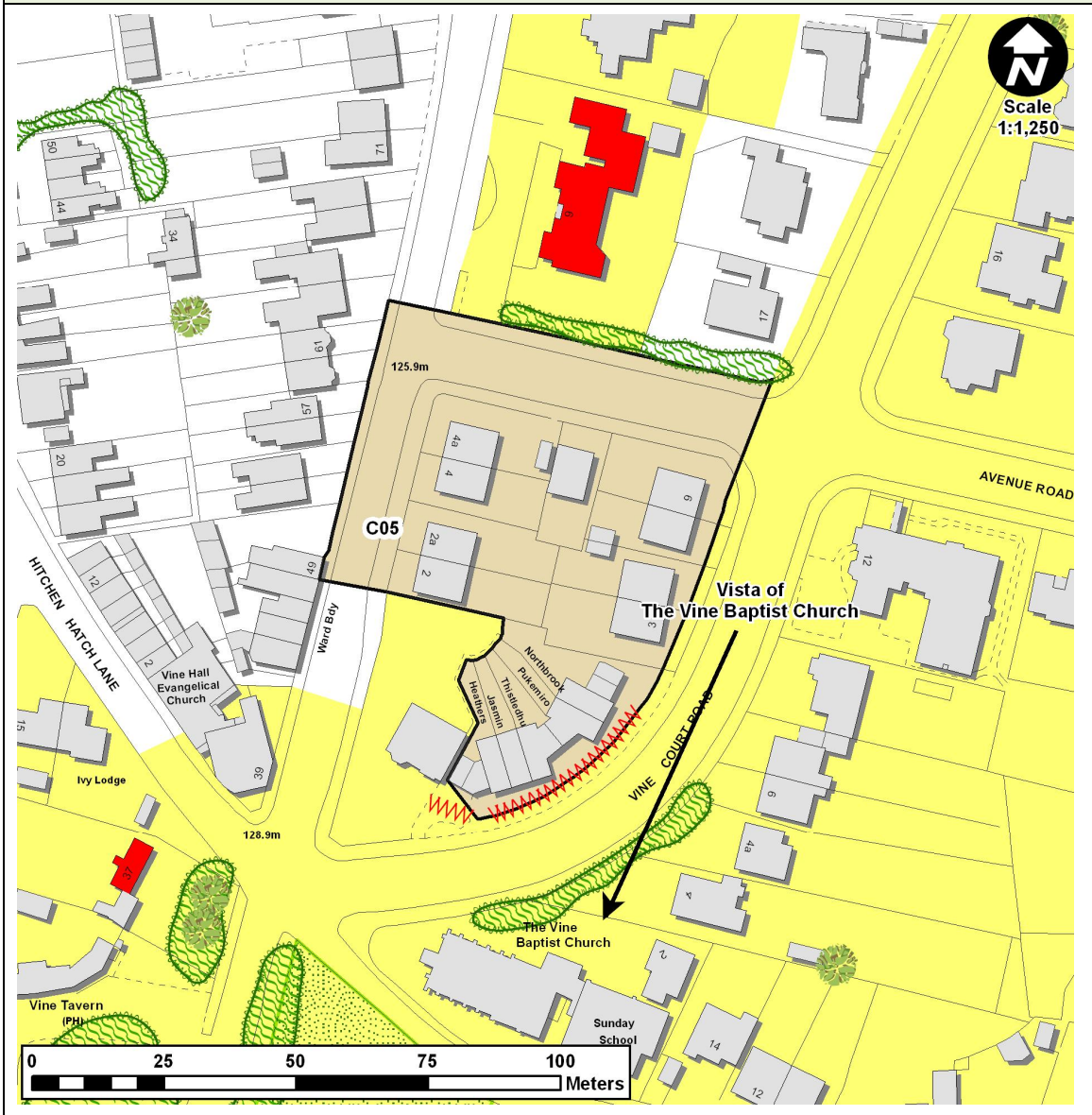
C05 VINE COURT ROAD AREA

Comprising Dartford Road (part), Avenue Road (part) and Vine Court Road (part)

HISTORICAL CONTEXT

Vine Court Road and Avenue Road were laid out with large detached houses in 1885 on land previously belonging to the Vine Court Estate. The inter-war development was constructed on land occupied by two large late Victorian houses, one of which remains. The area also includes some redevelopment dating from the 1970s/80s.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1930-1980s
Type of buildings	Semi-detached, detached and terraced
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Red/brown brick, white/cream render, half timbering and plain roof tiles.
Predominant boundary treatments	Stone walls, some open plan.
Open space/ vegetation	Views of the Vine Cricket Ground to the south. Garden trees.

Area Characteristics



This area abuts the Vine Court Conservation Area on three sides which is characterised by late Victorian houses set back within wide enclosed plots. Vine Court Road and Avenue Road (above right) are spacious wide roads enhanced by garden trees and shrubs. The interwar semi-detached development is more compact and the houses are set on a regular building line closer to the road, but the landscaped front gardens enclosed by stone walls enhance the historic character of the area, maintaining its green character.



The houses have two storey bays with front facing gables decorated with half timbering. The properties are constructed of red brown brick with rendered sections painted white or cream. The hipped roofs have plain brown tiles and central chimneys. The buildings have been adapted with single storey side extensions and one prominent dormer affecting the symmetry of the roofline. The buildings are distinctive and the northern part of the area retains a cohesive inter-war character.



At the southern end of the area, 1970s houses sit awkwardly both with the interwar development and surrounding Conservation Area. The shallow gabled roofs, materials and open plan frontages appear incongruous. There is a jarring juxtaposition between this housing and the ornate late Victorian stone property to the west (right). The streetscene is softened by the trees adjoining the cricket ground and the landscaped gardens. There is a view of the Vine Baptist Church assisting legibility in the area (above left).

Locally Distinctive Positive Features

Inter-war houses set back on regular building line and similar sized plots behind landscaped front gardens enclosed by stone walls

Retention of original designs and 1930s details in the northern section including hipped roofs, chimneys, bay windows and front facing gables

Harmonious range of limited materials including red/brown brick, white/ cream rendering, gable ends decorated with half timbering and plain brown roof tiles

Trees adjoining the Vine Cricket Ground and within gardens in the Conservation Area soften the townscape

View of the Vine Baptist Church in Vine Court Road

Negative Features

1970s redevelopment out of character with the inter-war development and adjoining Conservation Area in terms of roofline, materials and open frontages

Jarring juxtaposition of 1970s housing and ornate late Victorian building to the west.

Over-dominant dormer extension

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings.

In proposing new development within the Vine Court Road Area Character Area:

Regular building lines should be respected

The harmonious palette of red/brown brick, white/ cream render, gable ends decorated with half timbering and plain brown roof tiles should be respected

The characteristic roof profile should be respected

Traditional detailing should be retained

Mature trees and hedge boundaries which contribute to the character of the area should be retained

View of the Vine Baptist Church should be protected

The setting of the Vine Court Conservation Area should be protected or enhanced

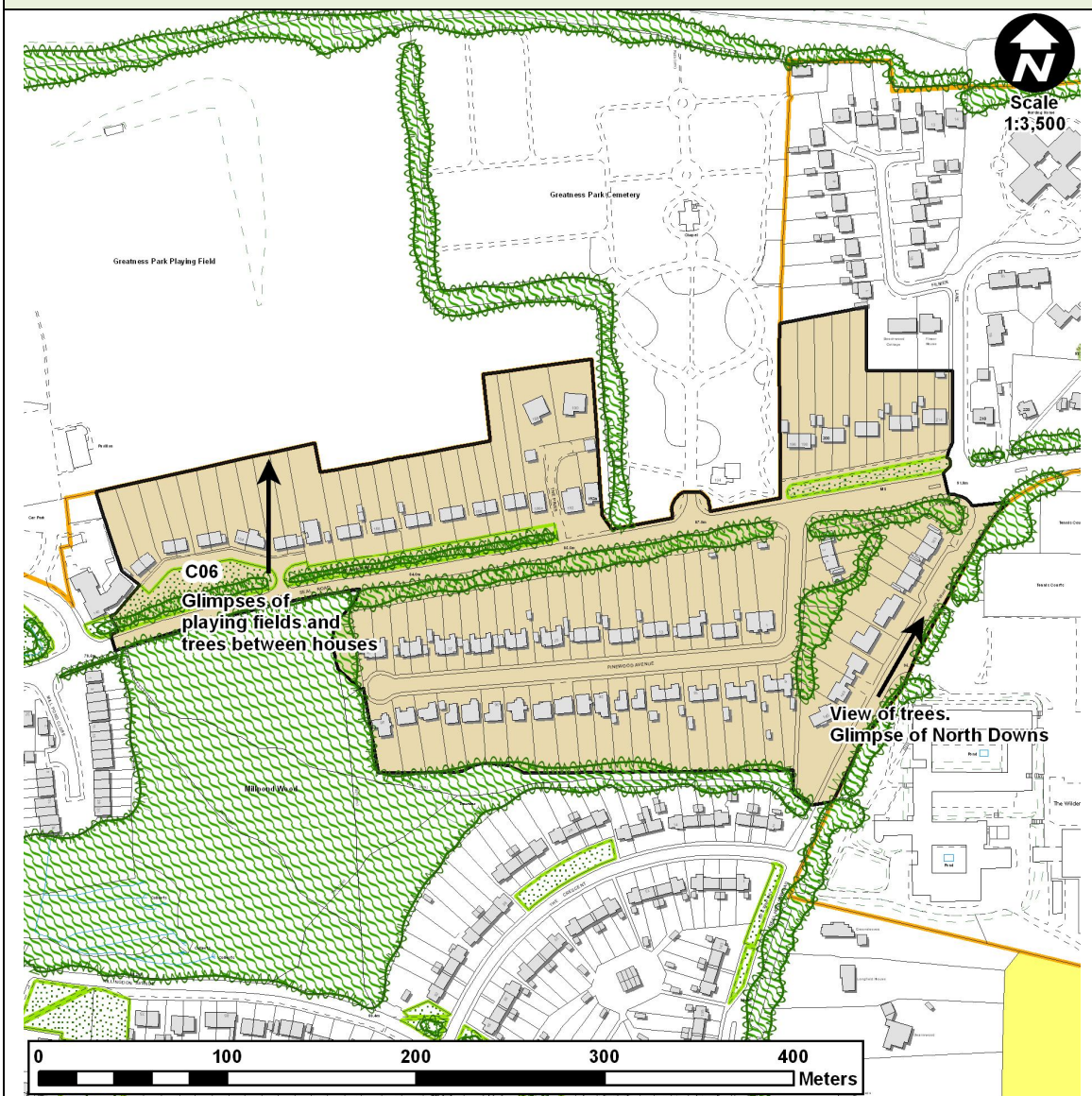
C06 – PINWOOD AVENUE AREA

Comprising Pinewood Avenue, Seal Road (part), The Pines, Seal Hollow Road (part)

HISTORICAL CONTEXT

This area comprises linear development along the north side of Seal Road, previously part of the Greatness Estate, and west side of Seal Hollow Road together with the cul-de-sac development of Pinewood Avenue which was begun in the 1930s on former woodland and completed after the Second World War. The area also includes a more recent small clustered development, The Pines.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1930s +
Type of buildings	Semi-detached and detached
Main uses	Residential
Building heights	One and two storeys
Prominent building materials	Red/brown and brown brick, roof tiles, hung tiles, half timber, pebbledash
Predominant boundary treatments	Brick walls, railings, wooden fences, hedges and some open plan
Open space/ vegetation	Deep verges, street trees, hedges and landscaped gardens. The cemetery is a green open space with many mature trees

Area Characteristics



Seal Road (A25) is a busy route which in this section is straight and tree-lined. The houses west of the cemetery are interwar semi detached regularly spaced two storey houses set back from the road on a regular building line behind broad grassed verges with trees and enclosed front gardens. Those at the western end are set above the A25 along a curved service road. The houses are of repeated design with shallow hipped tiled roofs with central chimneys above brown brick elevations with hung tiles on the upper storey and some painted render. The houses have flat porch canopies or more recent porch extensions. The regular layout, repeated designs and even roofline give the area a distinctive and cohesive character. The front gardens are enclosed by brick walls, railings or wooden panel fences.



In the gaps between the houses there are views of the playing fields to the rear and occasionally longer views towards the North Downs (above left). The broad grass verges and trees contribute to the verdant character of this section of the A25 (above right).



The Pines is a small clustered development in Seal Road adjoining the cemetery. The two storey detached houses are set back from the road, maintaining the building line and are of brown brick elevations with orange brick details, half hipped tiled roofs and forward facing tile hung gables. Two properties to the rear share a shrub lined access. Tall trees in the cemetery form a green backdrop. The landscaped frontage maintains the verdant character of Seal Road.



East of the cemetery a row of white rendered semi-detached houses are arranged at a slight angle to the road. The uniform design and colour, symmetrical roofs and regular chimneys placed centrally on the rear pitch create a cohesive and distinctive character. The houses are set slightly below the road behind a service road and broad grass verge and enclosed front gardens. The properties have single storey bay windows and some have single storey front extensions but the rooflines have remained unaltered. The layout and landscaping preserves the verdant character of Seal Road.



Seal Hollow Road has a green character enhanced by trees and hedges along the school boundary on the east side (above) and the treed open space at the entrance to the road. There are views northwards of trees and glimpses of the North Downs.

Seal Hollow Road has a more eclectic character with interwar houses interspersed with more recent infill development (right). The relatively even building line and front gardens enclosed by walls and high hedges are unifying features.



The houses, some of which were constructed after the Second World War are of a variety of repeated styles which include two storey bays with gables, front facing gables which sweep down to ground floor level, oriel windows, and arched recessed porches. Finishes include painted render, hung tiles, half timber and some pebbledash. The buildings are of even height but the various gables create a varied roofline. Some loft conversions have resulted in over-dominant dormers.

Locally Distinctive Positive Features

Houses set back on a regular building line and similar plot sizes behind landscaped front gardens enclosed by brick walls, railings, hedges and wooden fences

Retention of original designs and 1930s details including hipped roofs, chimneys, bay and oriel windows

Harmonious range of limited materials including red/brown brick, half timbering white/ cream rendering, pebble dash and plain red/brown roof tiles

Repeated designs in Seal Road

Tree belts visible above and between the houses

Verges, hedges and street trees contribute to the verdant character of this section of Seal Road and Seal Hollow Road

Vistas of trees and occasional long views towards the North Downs

Negative Features

Some poor surfacing

Traffic noise from the A25 Seal Road

Some over-dominant dormer additions and loft extensions give the houses a top heavy appearance and disturb the symmetry of the roofline

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings.

In proposing new development within the Pinewood Avenue Area Character Area:

Regular building lines should be respected

The harmonious palette of red/brown brick, white/ cream render, half timbering and plain red/brown roof tiles should be respected

The characteristic roof profile should be respected

Traditional detailing should be retained

Mature trees and hedge boundaries which contribute to the character of the area should be retained

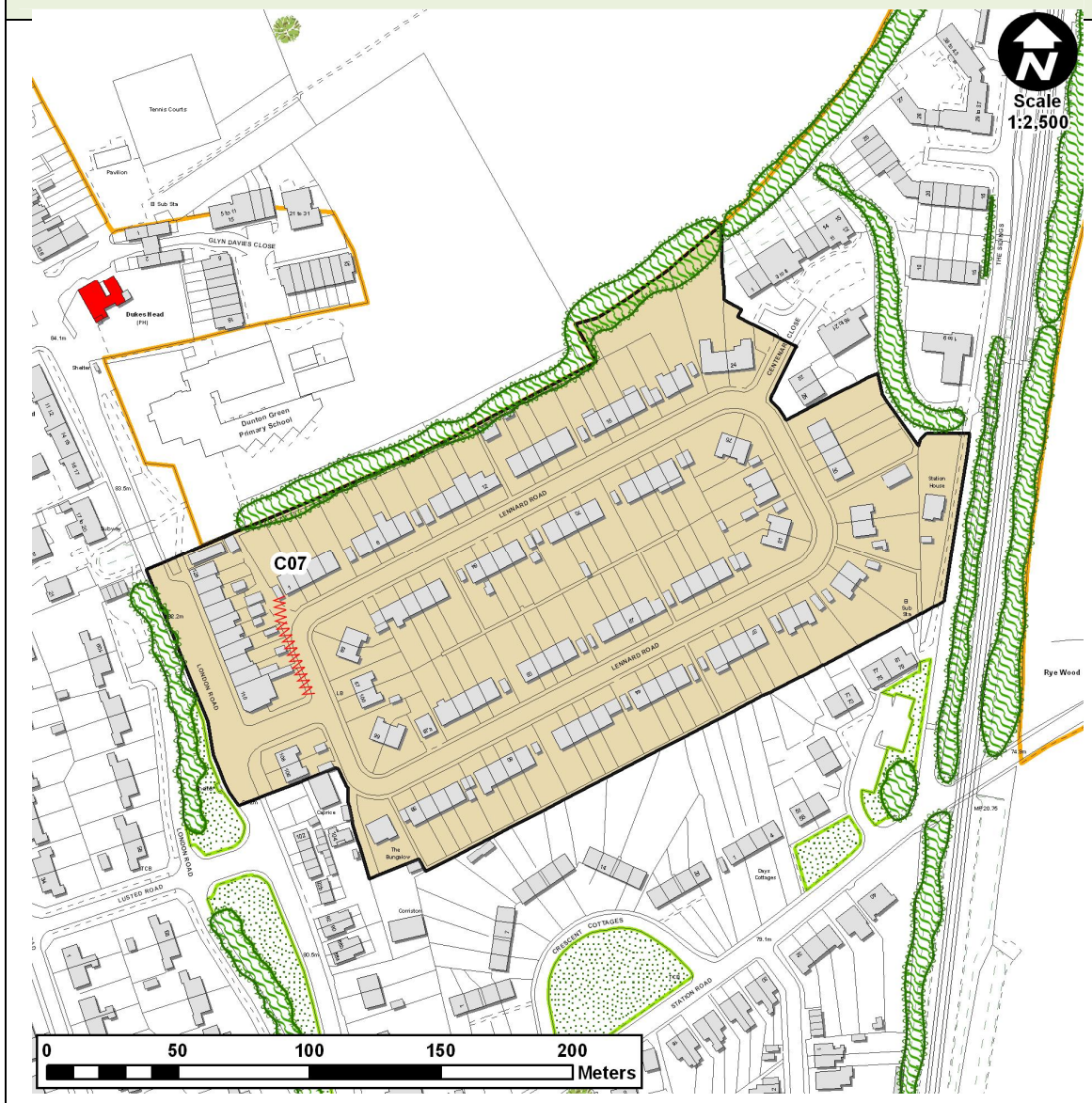
C07 - LENNARD ROAD

Comprising Lennard Road.

HISTORICAL CONTEXT

In the early 20th Century Longford and Dunton Green were physically separate with an area of open land between. However, during the inter war period land to the east of London Road, bounded by the London Road, Station Road and the two branches of the railway line, was developed. Lennard Road forms part of this eastward expansion of the village.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1930s
Type of buildings	Terraced, semi-detached and detached
Main uses	Residential
Building heights	One and two storeys
Prominent building materials	Brown brick, pebble dash, red roof tiles
Predominant boundary treatments	Brick and stone walls, railings, hedges and fences
Open space/ vegetation	Tree belts to north and east.

Area Characteristics



The semi-detached and terraced two storey houses are constructed on a loop off the London Road. The houses are set back on a regular building line behind front gardens enclosed by brick and stone walls, hedges and panel fences. However, in many cases the front boundaries have been removed to provide off-street parking. A network of footpaths provides access across the estate and to surrounding areas. The original 1930s layout and buildings have been retained with the addition of a compact development, Centenary Close at the north east corner. The area has retained a cohesive, inward-looking residential character due to the uniform house designs, regular chimneys and roofline, even building line, planned layout and absence of through traffic.



The terraced houses arranged along the straight sides of the loop (above left) are flat fronted with a variety of porch additions. The elevations are pebbledash painted in cream and white and the shallow hipped roofs have red tiles and chimneys on the ridge. Some original porch canopies supported on white wooden brackets remain. The semi-detached properties are arranged around the curves and have square two storey bays, some tile hung, with flat roofs (above right). The elevations are brick or painted and the hipped roofs have central chimneys. Many of the properties have been extended and personalised, some with garage additions. Some properties are in poor repair. There is a bungalow at the south west corner.



Trees are visible behind the houses, particularly to the north and east, but the paving of front gardens has reduced the soft landscaping. Poor surfacing and the poor condition of some of the houses also harm the character of the area.

Detractor



Terraced and semi-detached properties dating from the 1930s-1950s front onto London Road. To the rear parking, garages and service areas face onto Lennard Road harming the character of the residential area.

Locally Distinctive Positive Features

Houses set back on a regular building line behind front gardens enclosed by brick and stone walls, hedges and wooden fences

Original layout and buildings retained

Retention of original designs and 1930s details including hipped roofs, chimneys and bay windows

Harmonious range of limited materials including brown brick, pebbledash painted white/ cream, hung tiles and plain red/brown roof tiles

Trees visible between the houses particularly to the north and east

Network of footpaths

Residential inward looking character with no through traffic

Negative Features

Loss of front boundaries and paving of front gardens to provide off-street parking has reduced the soft landscaping

Poor surfacing and poor condition of some houses

Car parking, garages and service areas west of Lennard Road

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings.

In proposing new development within the Lennard Road Character Area:

Regular building lines should be respected

The harmonious palette of brown brick, white/ cream pebbledash, hung tiles and plain red/brown roof tiles should be respected

The characteristic roof profile should be respected

Traditional detailing should be retained

Mature trees and hedge boundaries which contribute to the character of the area should be retained

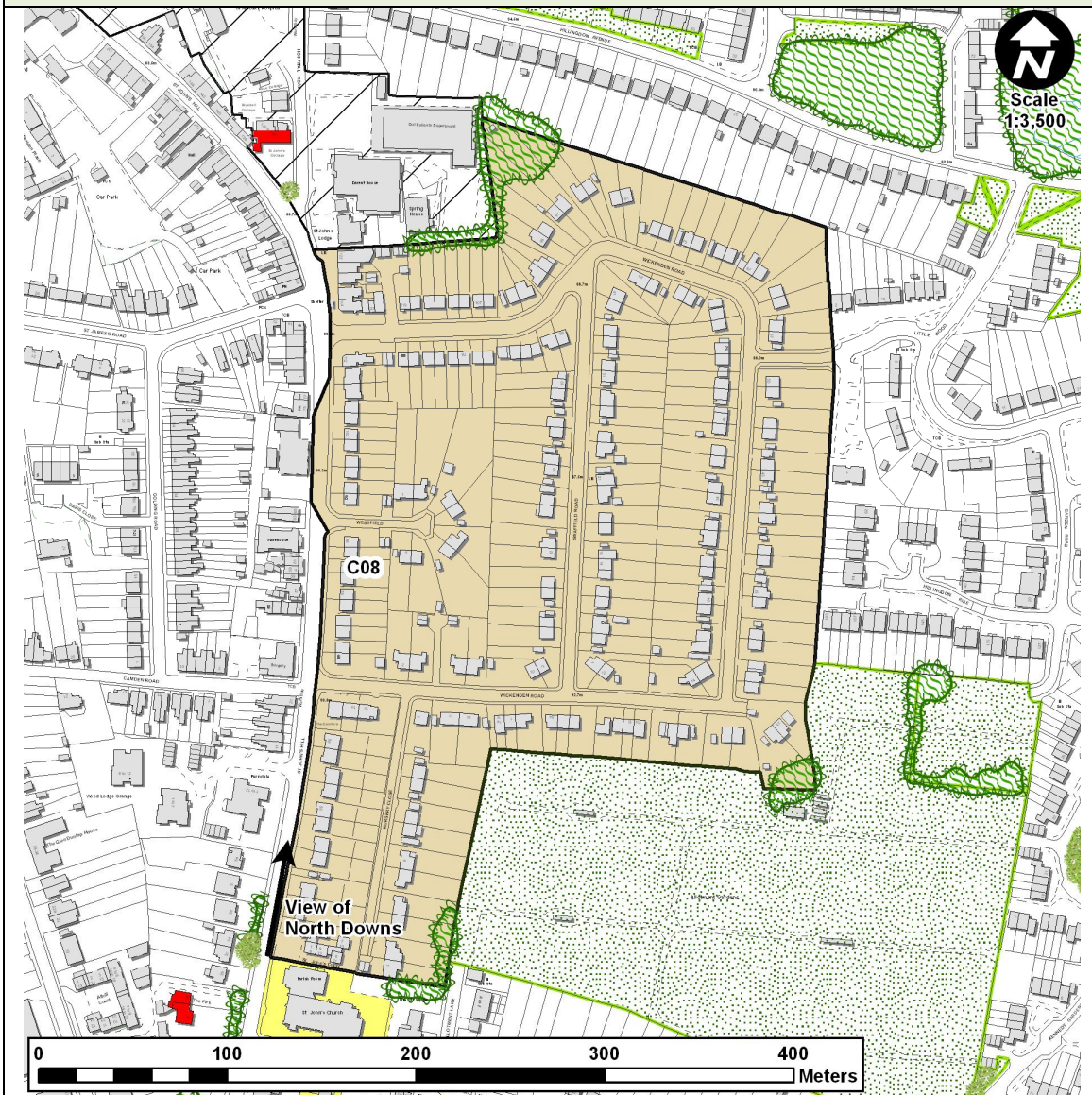
C08 - WICKENDEN ROAD AREA

Comprising Wickenden Road, Swaffield Road, Westfield, Nursery Close and St John's Hill (part)

HISTORICAL CONTEXT

In the early 20th Century this area east of St John's Hill comprised Wickenden's Wood, a nursery and allotment gardens. During the 1930s construction began on Wickenden Road and Swaffield Road which formed a bisected loop off St John's Hill and the east side of St John's Hill was developed. Westfield and Nursery Close were constructed on former nursery land after the Second World War.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1930 – 1950s
Type of buildings	Semi-detached with some terraced and apartments
Main uses	Residential and commercial
Building heights	Two storeys
Prominent building materials	Red/brown, brown and some buff brick, cream/white painted render, brown or red roof tiles, some hung tiles
Predominant boundary treatments	Brick walls, hedges, fences and some open plan
Open space/ vegetation	Garden trees and planting. Tree belt to the north of Wickenden Road

Area Characteristics



The area is laid out in straight streets lined with semi-detached two storey houses regularly spaced on a regular building line behind landscaped front gardens enclosed by hedges, wooden fences and brick walls, with a few garage blocks to the rear. The even roof height and planned layout contribute to a cohesive and distinctive residential character. Views are enclosed by the topography and trees except in St Johns Hill.



The houses are of various repeated designs with each street having a distinct character. The elevations are red/brown brick often with cream painted render. The hipped roofs with central chimneys are tiled with red or brown tiles. Some properties have forward facing gables (above right) or curved two storey bay windows (above left). A number of flat fronted properties have quoins and window lintels picked out in red brick and curved recessed porches (above centre). Many of the properties have been altered or extended but original details have generally been retained.



In the southern section of Wickenden Road, some properties have been extended which blend into the streetscene but close up the gaps between houses.



Nursery Close is a narrower road with housing on the east side only. A hedge encloses the west side contributing to a more informal, green, enclosed character. There is a vista of St John's Church in the Hartslands Conservation Area to the south.



The flat roof and open parking area of St John's Court, at the southern end of St John's Hill, is out of keeping with surrounding development.



Westfield is a cul-de-sac development of two storey semi-detached houses of uniform design. It has an inward looking residential character, being separated from St John's Hill by a narrow access enclosed by a hedge and fence. The character is enhanced by views of trees through the gaps between the houses.



Facing onto St John's Hill, interwar properties either side of the northern entrance to Wickenden Road are in commercial use, forming part of a neighbourhood centre.

Views



There are long views of the North Downs from the southern end of St John's Hill

Locally Distinctive Positive Features

Groups of houses of repeated designs, set back on regular building line behind front gardens enclosed by brick walls, hedges and wooden fences

Original layout and buildings retained

Retention of original designs and 1930s details including hipped roofs, chimneys, porch canopies, recessed porches, bay and bow windows

Harmonious range of limited materials including red/brown brick, hung tiles, painted render, red brick quoins, lintels and door arches and plain red/brown roof tiles

Garden trees visible between the houses

Vista of St John's Church from Nursery Close

Views of the North Downs

Negative Features

Some poor surfacing

Modern infill development

Loss of front boundaries to provide off-street parking

Traffic noise from St John's Hill

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings.

In proposing new development within the Wickenden Road Area Character Area:

Regular building lines should be respected

The harmonious palette of red/brown brick, white/cream render, hung tiles, red brick quoins, lintels and door arches and plain red/brown roof tiles should be respected

The characteristic roof profile should be respected

Traditional detailing should be retained

Mature trees and hedge boundaries which contribute to the character of the area should be retained

Views of the North Downs should be protected

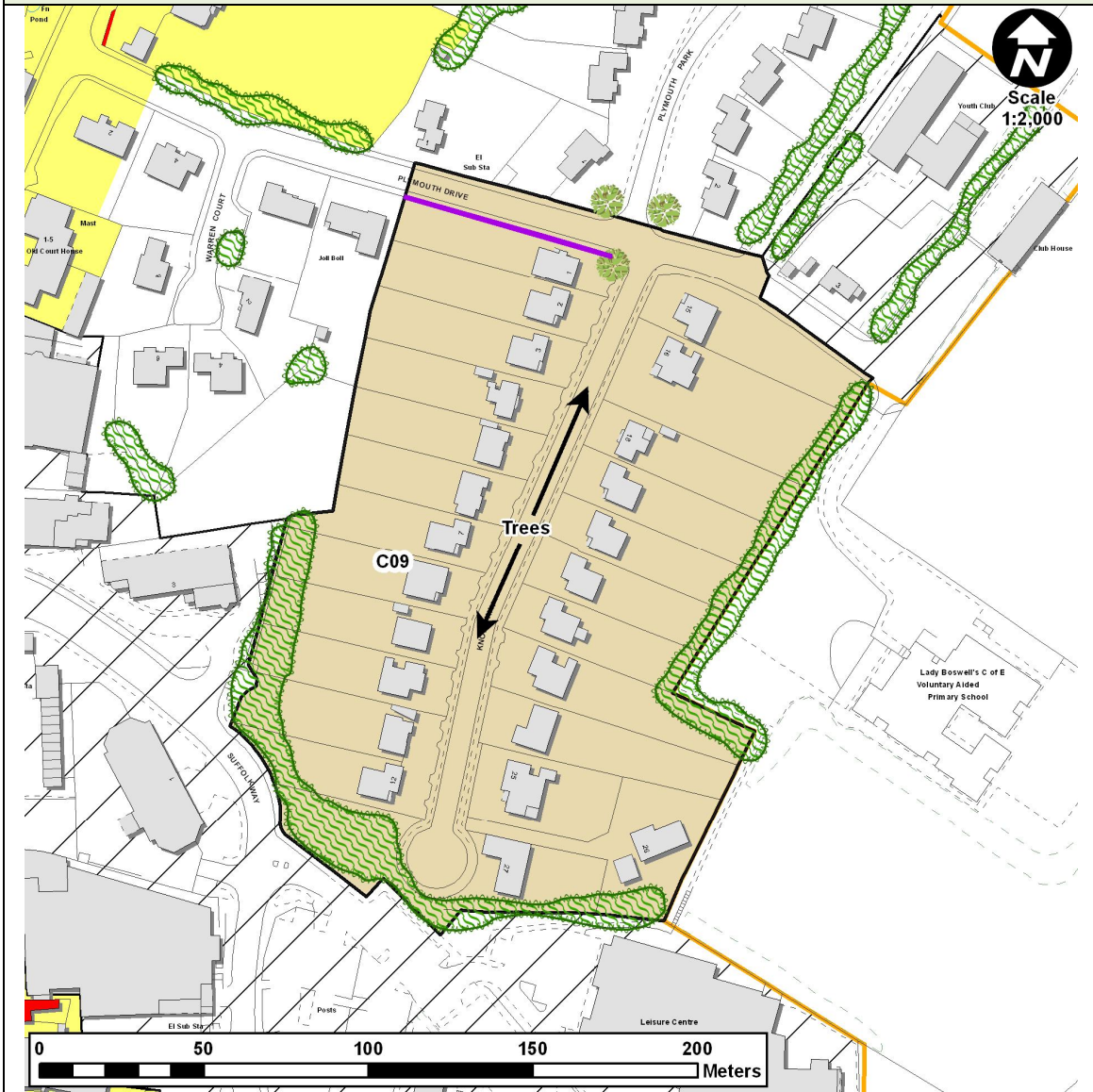
C09 - KNOLE WAY

Comprising Knole Way and Plymouth Drive (part)

HISTORICAL CONTEXT

Knole Way was constructed in the 1930s on land to the east of the High Street off an historic lane leading to Knole Park.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1930s
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Brown brick elevations, plain brown roof tiles with half timber, hung tiles and wooden brackets.
Predominant boundary treatments	Dwarf stone walls many with hedges above.
Open space/ vegetation	Landscaped front gardens. Trees to the rear of the houses and adjoining the turning circle.

Area Characteristics



The detached two-storey houses are constructed in a number of repeated designs. The properties have uniformly brown plain tiled roofs in a variety of styles including hipped, half hipped and mansard with chimneys on the ridge or pitch. Some properties have prominent forward facing gables over two storey bay windows. The brown brick elevations have a variety of finishes which include mock half timber, hung tiles and cream or white painted cement render. White or black wooden brackets or posts support projecting sections. The retention of many original features contributes to the historical character of the road.



The houses are built on a regular building line set back from the road behind verges, pavements and landscaped front gardens, enclosed or partially enclosed by dwarf stone walls, with hedges or shrubs above. The consistent boundary treatments, building line and scale of the buildings and the uniform spacing contribute to the cohesive character. The absence of on-street parking also enhances the character.



Trees are visible through the gaps between the houses and close the view at either end of the street. A tall bank and group of trees effectively screen the street from the commercial and community facilities adjoining to the south, enhancing the quiet residential character. The hedges, landscaped gardens and surrounding trees create a leafy setting for the houses.



In Plymouth Drive the stone wall on the south side is a particular feature. Trees in adjoining gardens and within the conservation area contribute to the character. There is some poor surfacing.

Locally Distinctive Positive Features

Evenly spaced two storey detached properties set back from the road on a regular building line behind pavement, verges and landscaped front gardens

The repeated building designs and consistent boundary treatments, building line, spacing and scale of the buildings contribute to the cohesive character

Retention of original designs and 1930s details including hipped roofs, bay windows, chimneys, porches and wooden brackets

Harmonious range of limited materials including red/brown brick, hung tiles, half timbering, white painted render and plain red/brown roof tiles

Residential character with little through traffic or on-street parking

Trees, hedges and landscaped gardens

Negative Features

Some poor surfacing

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings.

In proposing new development within the Knole Way Character Area:

Regular building lines should be respected

The harmonious palette of red/brown brick, hung tiles, half timbering, white painted render and plain red/brown roof tiles should be respected

The characteristic roof profile should be respected

Traditional detailing should be retained

Mature trees and hedge boundaries which contribute to the character of the area should be retained

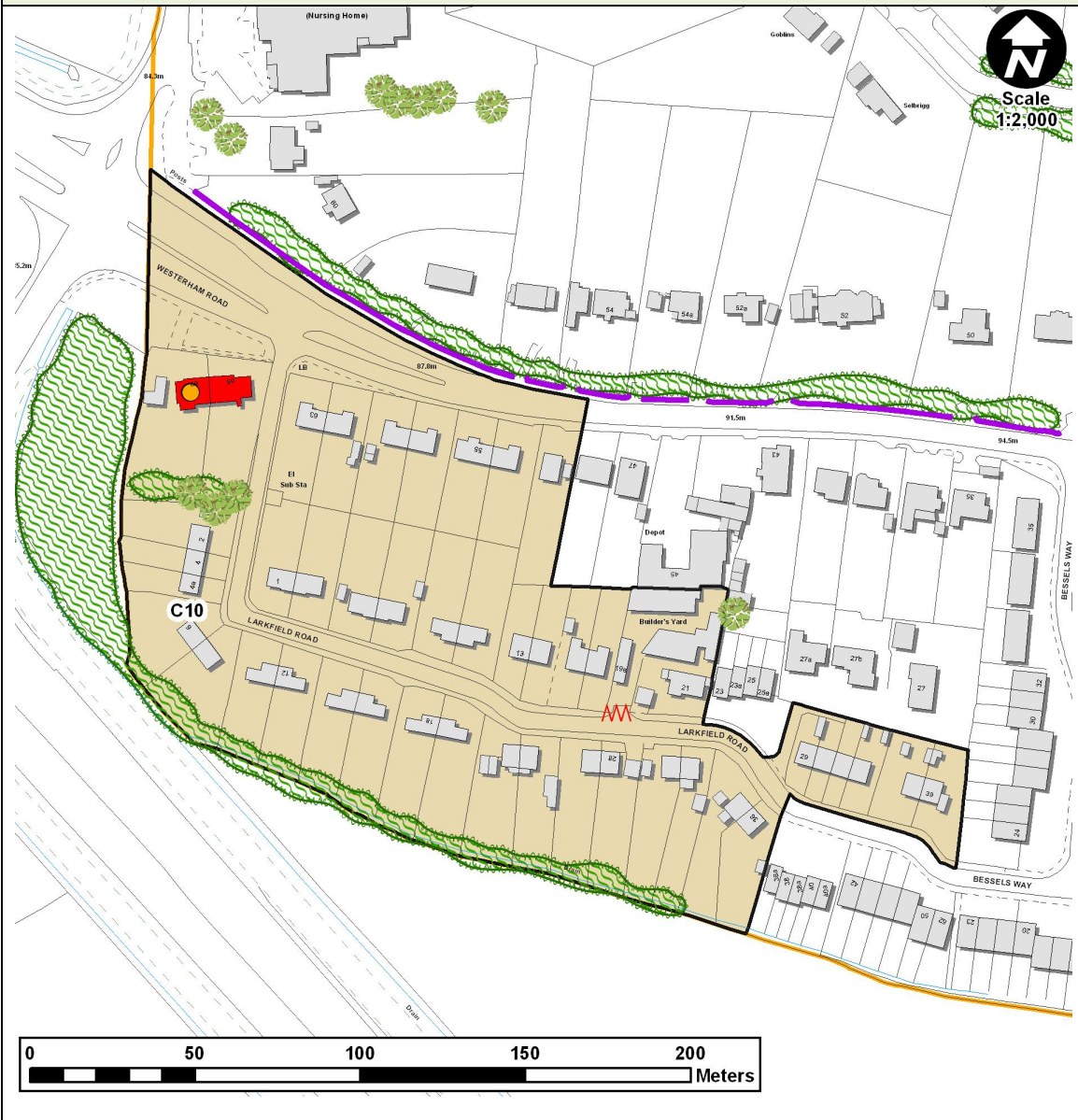
C10 - LARKFIELD ROAD

Larkfield Road, Westerham Road (part)

HISTORICAL CONTEXT

This area comprises inter-war housing built on previously undeveloped land on the outer edge of the settlement.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	Mainly 1920s/1930s with some more recent and one 19th century property
Type of buildings	Semi-detached, terraced and detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Red/brown brick, render painted pastel shades, pebbledash. Brown or red/brown tiles or more recent slate roofs
Predominant boundary treatments	Variety of picket fences, walls, hedges or wire fences
Open space/ vegetation	Trees and shrubs in gardens

Area Characteristics



The semi-detached and terraced houses show typical features of early public housing and the influence of the Garden City Movement being constructed in a cottage set back from the road in garden plots.

Original features are important to the 1930s character of the area and include short chimneys on the ridge, wooden brackets, porch canopies, terracotta diamond motifs, wooden casement windows. The uniform height and scale of buildings, the hipped roofs and layout of the houses are typical of the period. Alterations and personalisation have taken place.



The access from Westerham Road is enclosed by panel fences and conifer hedge and sets the development back from the main road enhancing the residential character. Belts of trees to the south and west screen the area from the A21 and the trees to the north of Westerham Road enclose the views enhancing the character of the area. The listed cottages, although partially obscured by a high hedge, are a townscape feature.



At the eastern end of the area, the houses are of different design with shallower hipped roofs, brick lower and rendered upper stories. A vacant builder's yard detracts from the character of the area.

Listed Buildings

Parkview and Prospect Cottage, Westerham Road

Pair of painted, weather boarded cottages, each 2 storeys and attic, 2 windows. Tiled roof with end brick stacks. 2 flat, leaded dormers with lattice casements. C18 leaded casements, those on first floor in wood, mullioned frames, those on ground floor with moulded hoods and wooden shutters. Parkview has glazed door, in moulded frame, under cornice hood; and 1 storey, 1 window left extension. Prospect Cottage has projecting glazed porch.



Grade 2

Locally Distinctive Positive Features

Houses set back on a regular building line and similar sized plots behind landscaped front gardens enclosed by picket or wire fences, hedges and wooden fences

The layout of the houses repeated building styles, building line and scale of the buildings contribute to the cohesive character

Retention of original designs and 1930s details including hipped roofs, bay windows, chimneys, wooden brackets, porch canopies, diamond motifs, wooden casement windows

Harmonious range of limited materials including red/brown brick, half timbering, white/ pastel painted render and plain red/brown roof tiles

Tree belts

Listed buildings

Residential character with little through traffic

Negative Features

Vacant former builder's yard

Some loss of front boundaries to create off-street parking

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings.

In proposing new development within the Larkfield Road Character Area:

Regular building lines should be respected

The harmonious palette of brown brick, white/ pastel render and plain red/brown roof tiles should be respected

The characteristic roof profile should be respected

Traditional detailing should be retained

Mature trees and hedge boundaries which contribute to the character of the area should be retained

The listed buildings and their setting should be protected

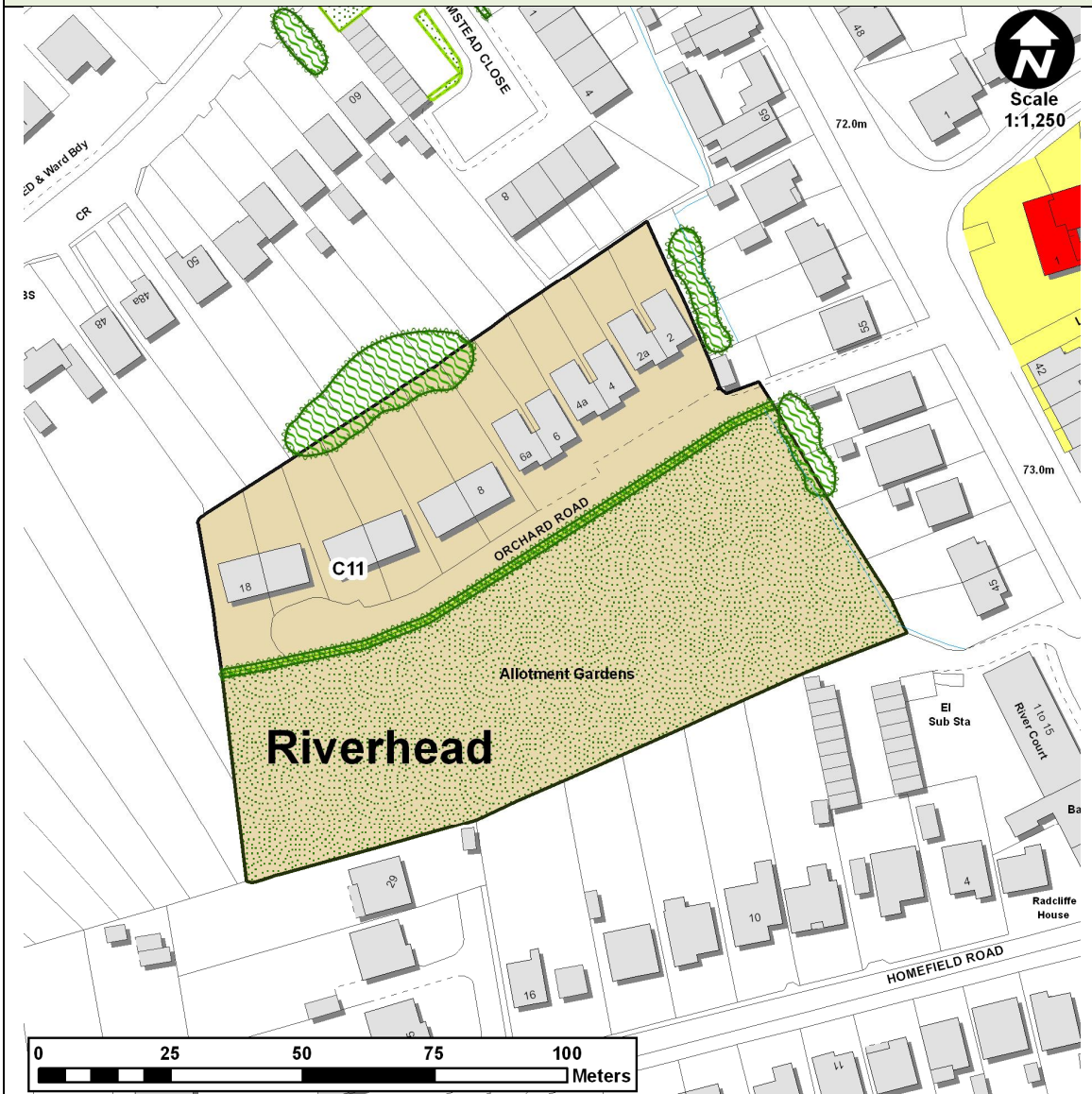
C11 - ORCHARD ROAD

Comprising Orchard Road

HISTORICAL CONTEXT

Ribbon development took place along the west side of this section of the London Road in the inter-war period. At the same time this short cul-de-sac was built overlooking the allotments on the site of a former tannery.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1930s and 2000+
Type of buildings	Semi-detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Red/orange brick, hung tiles, cream painted render, half timbering, plain brown roof tiles
Predominant boundary treatments	Hedges, walls, wooden fences and open plan
Open space/ vegetation	Hedge along boundary of the allotments.

Area Characteristics



Orchard Road is a straight cul-de-sac with houses on the north side only facing south over the allotments (above left). The three pairs of semi-detached properties at the western end date from the interwar period and are of uniform design with hipped plain tiled roofs, central chimneys and roofs which sweep down low on the sides. The houses are constructed on a slightly curved building line and regular plots behind landscaped front gardens enclosed by walls and fences (above right). The three pairs of semi-detached properties at the east end are a more recent redevelopment but are built with traditional styling with hipped roofs or forward facing gables with finishes popular in the inter-war period including plain brown roof tiles, hung tiles, cream painted render and half timbering (below). The buildings are set on a straight building line on narrower plots with landscaped parking areas to the front. The height and layout blends well with the earlier development with the paintwork brightening the streetscape.

The old surfacing, hedges and trees give the area an informal residential character. .



Locally Distinctive Positive Features

The interwar houses are set back on a relatively regular building line and similar sized plots behind landscaped front gardens enclosed by walls and wooden fences.

The newer housing blends well with the interwar character due to the height, even spacing and traditional designs and finishes

The redeveloped housing is set back slightly further on narrower, even plots with landscaped parking areas in front

The area has an informal green character enhanced by the hedges and trees.

The houses are on the north side only permitting views to the south over the allotments

Residential character with no through traffic

Negative Features

Some traffic noise from the London Road and M26

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings.

In proposing new development within the Orchard Road Character Area:

Regular building lines should be respected

The harmonious palette of red/orange brick, hung tiles, cream painted render, half timbering and plain brown roof tiles should be respected

The characteristic roof profile should be respected

Traditional detailing should be retained

Mature trees and hedge boundaries which contribute to the character of the area should be retained

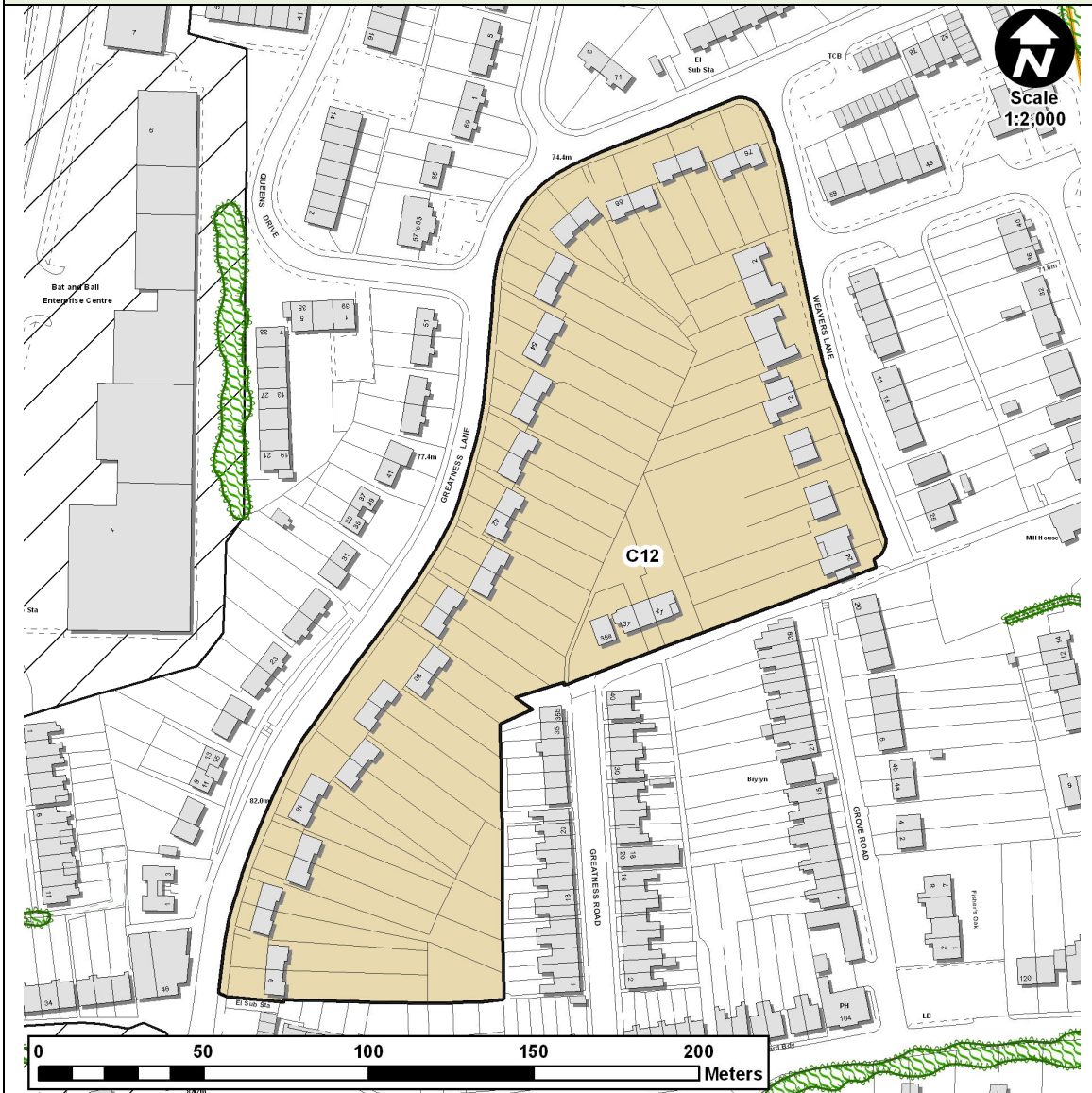
C12 - GREATNESS LANE AREA

Comprising Greatness Lane (part) and Weavers Lane (part)

HISTORICAL CONTEXT

Greatness Lane is a historic route which led to Greatness House. The Greatness area was developed, primarily for public housing, after estate land was donated to the town council in the 1920s. Weavers Lane refers to the silk mill owned by Peter Nouvaille, a French Huguenot, which stood at the junction of Greatness Lane and Mill Lane in the second half of the 18th and early 19th century.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1930s
Type of buildings	Semi-detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Red brown brick, red hanging tiles, red/brown plain tile roofs
Predominant boundary treatments	Low walls, hedges, open plan
Open space/ vegetation	Landscaped front gardens

Area Characteristics



The 1930s development followed the east side of the curving Greatness Lane, with the semi-detached properties regularly spaced on a staggered building line. Weavers Lane was developed as a short straight cul-de-sac on land to the rear.

The semi-detached flat fronted brick properties in Greatness Lane have hipped plain tiled roofs and chimney stacks. The properties are tile hung and symmetrical in design with distinctive dormer windows. They are set back from and above the road behind landscaped front gardens. The east side of the street has a cohesive, distinctive character created by the regular planned layout and even roofline, repeated designs and uniform materials. The grassed banks soften the townscape.

The houses in Weavers Lane are flat fronted hipped roofed white painted rendered properties with later porch additions. The street has a cohesive character at the southern end, but gabled infill properties dilute the character at the northern end.

Views



Views are a particular feature of the area. The land slopes down towards the north and there are long views over the roofs towards the North Downs. The sloping topography and curving street layout creates changing views and vistas.



The view to the south of the hospital roofline detracts from the character of the area. The character is also harmed by parked cars.

Locally Distinctive Positive Features

The east side of Greatness Lane comprises inter-war houses set back on a staggered building line and regular plots behind grass banks

In Weavers Lane the uniform houses are set back behind enclosed front gardens

The front gardens provide a green setting for the houses and soften the townscape

Retention of original designs and 1930s details including hipped roofs, chimneys and gables

Harmonious range of limited materials including red/brown brick, hung tiles and plain red/brown roof tiles

Long views towards the North Downs

Negative Features

The inter-war character of Weavers Lane is diluted by more recent infill

View of the hospital roofline to the south

Parked cars in Greatness Lane

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings.

In proposing new development within the Greatness Lane Character Area:

The harmonious palette of red/brown brick, hung tiles and plain red/brown roof tiles should be respected

The characteristic roof profile should be respected

Traditional detailing should be retained

Mature trees and hedge boundaries which contribute to the character of the area should be retained

Views of the North Downs should be protected