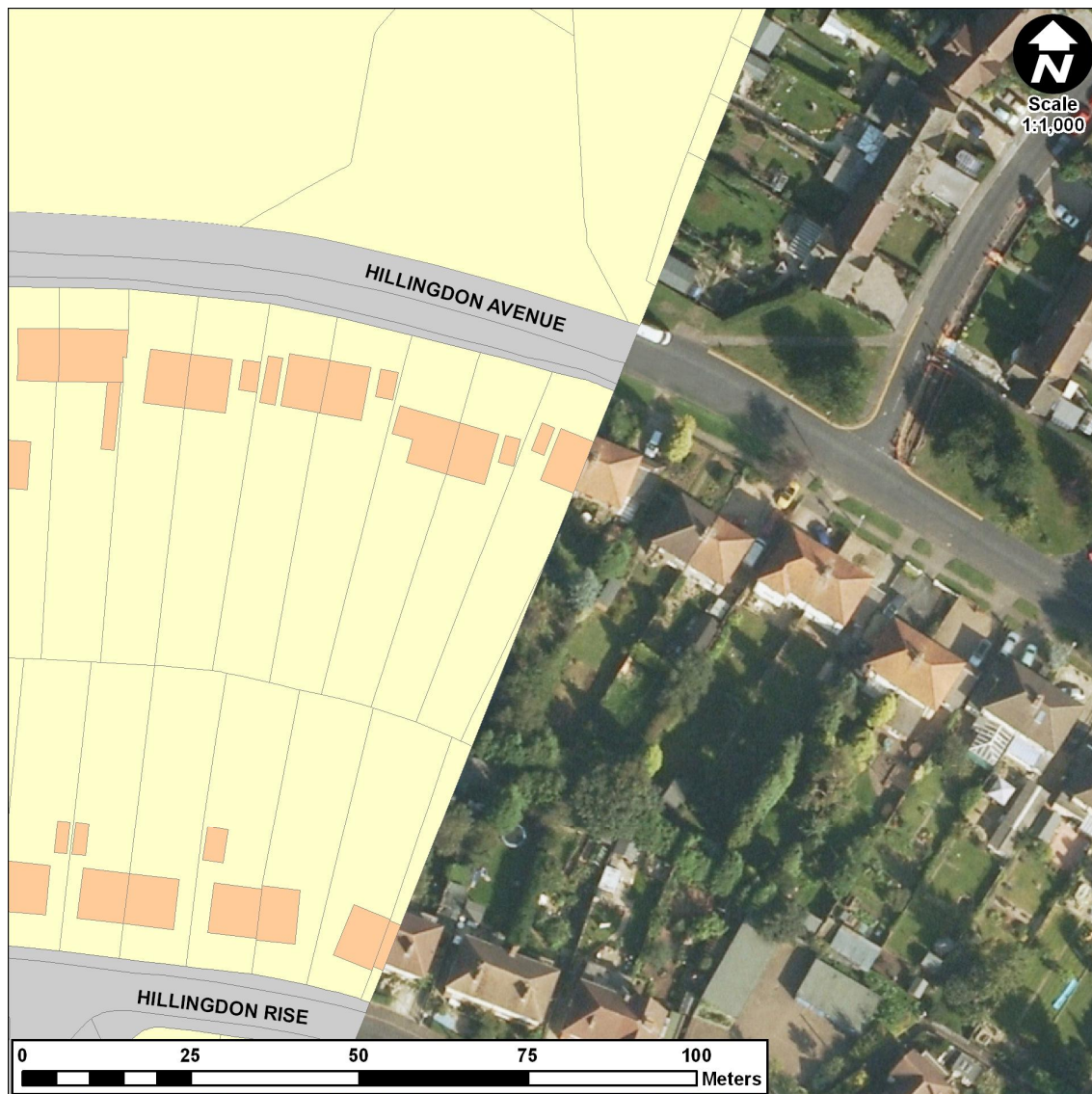


B INTER-WAR LINEAR DEVELOPMENT CHARACTER AREAS



These areas comprise ribbon development, one row deep, which grew up along existing roads in the 1930s. This form of development was common in the inter-war period, with the detached or semi-detached houses set in similar sized plots typically on a regular building line behind enclosed front gardens. The developments were sometimes set back from the main road behind service roads or strips of green open space with trees.

The houses often incorporate design features typical of the period including hipped roofs, chimneys, two storey bay windows and wide low windows and decorative finishes including hung tiles, half timbering, white painted render and contrasting brickwork.



Example of Inter-War Linear Development Layout

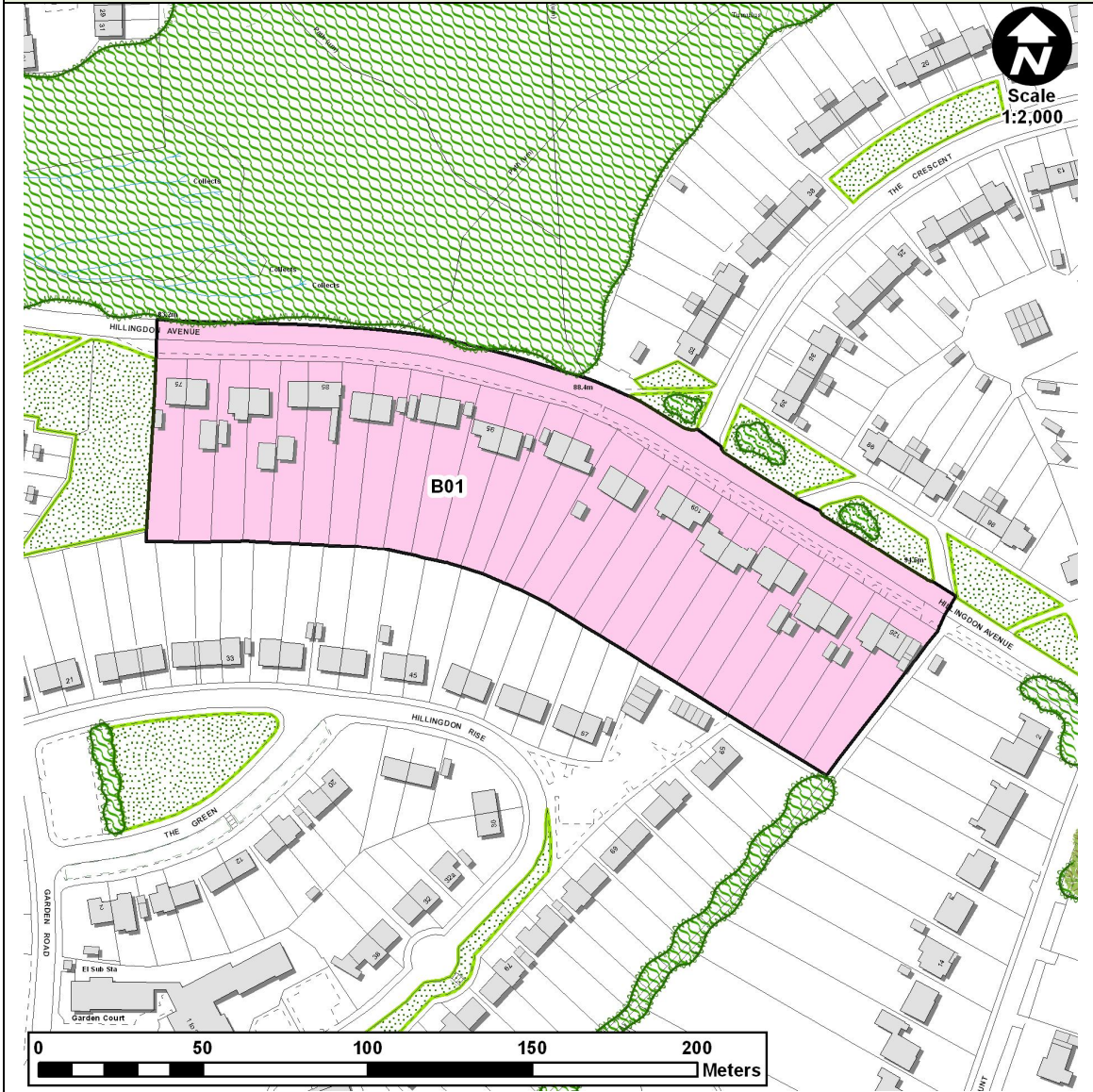
B01 – HILLINGDON AVENUE (EAST)

Comprising Hillingdon Avenue (east)

HISTORICAL CONTEXT

Hillingdon Avenue follows the line of the old driveway through the Wildernesse Estate which passed through Millpond Wood. This linear development was constructed in the 1930s on woodland and agricultural land on the south side of the drive.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1930s
Type of buildings	Semi-detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Grey and brown pebbledash some painted, tiled roofs.
Predominant boundary treatments	Hedges, low brick walls and panel fences
Open space/ vegetation	Wide grass verge with occasional trees, facing onto Millpond Wood or grassed open space with trees around The Crescent.

Area Characteristics



The two storey semi detached houses are set back on an irregular building line behind a deep verge with occasional trees, footpath and landscaped front gardens enclosed by hedges, low brick walls and panel fences. The houses are of concrete pebbledash with hipped tiled roofs and chimneys on the ridge. Many properties have been altered particularly with a variety of porch additions. The road curves and rises to the east, the verges and the trees creating a green setting for the houses. Some properties are painted in pastel shades which brighten the streetscape. Back garden trees are visible through the gaps between houses. Although the houses are of standard design the variety of boundary treatment and ad hoc alterations contribute to an informal character.

Locally Distinctive Positive Features
Houses set back from the road behind deep verges and landscaped front gardens
Similar designs with hipped roofs
Trees to the north, west and rear of the houses contribute to the green character

Negative Features
No significant detractors

<p>Design Guidance</p> <p>The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.</p> <p>There may be pressure for extensions to existing buildings.</p> <p>In proposing new development within the Hillingdon Avenue (east) Character Area:</p> <p>Loft extensions should not detract from the characteristic hipped profile of the street</p> <p>A front or side extension should be acceptable within the street scene with the roof form and materials respecting the existing building</p> <p>Mature trees and boundary hedges which contribute to the character of the road should be retained.</p>
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B02 – BRADBOURNE ROAD

Comprising Bradbourne Road (part)

HISTORICAL CONTEXT

Bradbourne Road is an historic road leading from the St Johns Area to Riverhead and the Bradbourne Estate. This 1930's development was built on the site of Lyle Court, a 19th century mansion which is now demolished.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1930s
Type of buildings	Semi-detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Brown brick, white/cream painted render, half timbering, plain tile roofs.
Predominant boundary treatments	Open plan, brick wall
Open space/ vegetation	Some trees to rear and by roadside.

Area Characteristics



This section of Bradbourne Road lies opposite the more enclosed Victorian/ Edwardian St John's Area on the north east side. This development is set back and down from the road on a regular building line behind a ragstone wall and is in contrast to the more enclosed development. The ragstone wall links the area historically to the Bradbourne Estate.



The Arts and Crafts inspired two storey semi detached houses are of two designs, one with prominent wide front gable which sweeps down to ground floor level, the other with two storey half timbered bays. Although extensions have taken place, the original hipped rooflines have been retained as have many original decorative features including the embellished chimney stacks, patterns on the gables, horizontal windows with leaded light glazing, brick details, half timbering, corner windows, recessed porches and pillars. The repeated designs and consistent materials and colours create a cohesive and distinctive character enhanced by the quality surfacing and soft landscaping. Trees are visible in the gaps between the houses.

Locally Distinctive Positive Features

Houses set back and below the road on a regular building line
Repeated designs and consistent materials and colours create a distinctive and cohesive character
Retention of the roof line and original details preserves the 1930s character
Ragstone boundary wall
Good quality surfacing, soft landscaping and trees enhance the character of the area
Gaps between the houses allow glimpses of trees to the rear

Negative Features

No significant detractors

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings.

In proposing new development within the Bradbourne Road Character Area:

The regular building line and characteristic roof profile of the houses should be respected

The harmonious palette of brown brick, white/cream painted render and plain tile roofs should be respected

Traditional detailing should be retained

The ragstone boundary wall and mature trees which contribute to the character of the road should be retained

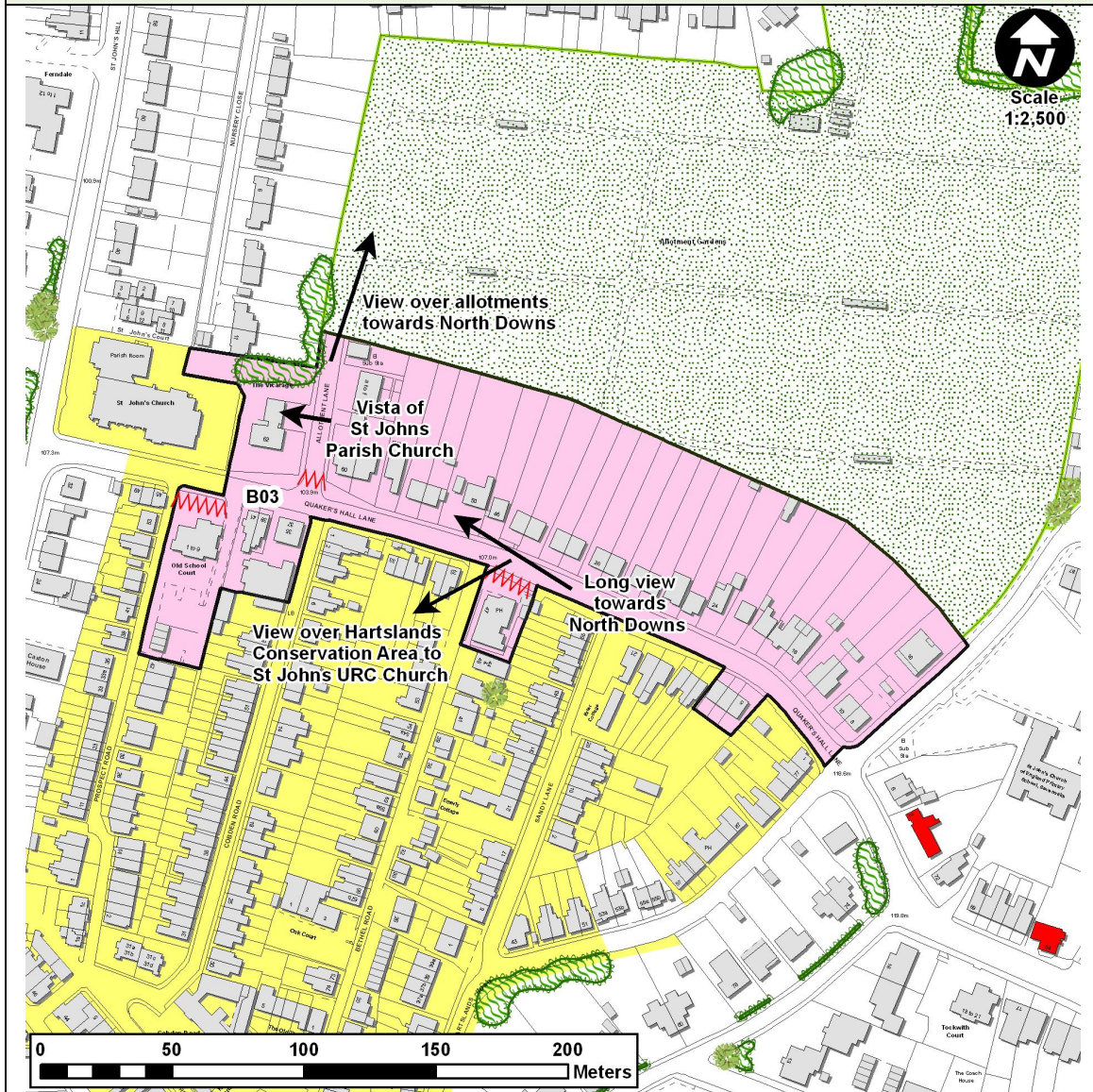
B03 – QUAKER’S HALL LANE

Comprising Quaker’s Hall Lane (part)

HISTORICAL CONTEXT

Quaker’s Hall Lane is a historic route, running along the north side of the Victorian Hartslands area, leading from St John’s Hill to Quaker’s Hall. This northern side of the road remained undeveloped until the 1930s. Allotment Lane is more recent and the area includes some infill development on the south side of Quaker’s Hall Lane.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1930s+
Type of buildings	Semi-detached, some detached and terraced
Main uses	Residential
Building heights	One and two storeys
Prominent building materials	White/pastel painted render, brown brick and half timbering, red or orange plain tile roofs.
Predominant boundary treatments	Open plan, brick wall
Open space/ vegetation	Allotments to rear

Area Characteristics



The road climbs to the east and the semi-detached and detached properties are set on a slightly irregular building line above the road behind railings, pavement, retaining walls and landscaped gardens. The mainly two storey properties have hipped roofs, single storey bay windows and porches or porch canopies but are painted a variety of pastel shades and many have been altered resulting in a varied roofline. The hedges and sloping landscaped front gardens are a particular feature of the area.



At the eastern end of the road there are two pairs of semi detached red brick properties with two storey bay windows and gabled porches supported on white pillars. Decorative details include contrast brick banding, pebbledash, half timbering and hung tiles.

Views



The elevated position results in long views towards the North Downs to the west over St John's Parish Church in the Hartslands Conservation Area (above left) and southwest towards St John's URC Church (above right) assisting legibility in the area. There are glimpses of the North Downs above the stepped roofs.

Allotment Lane has views across the allotments to the North Downs.



Detractors



There has been some infill and redevelopment on the south side of Quaker's Hall Lane which is not sympathetic to the character of the adjoining Hartslands Conservation Area by reason of height, mansard roofline and materials (left).



Some loft conversions on the inter-war houses are over-dominant and give the properties a top heavy appearance (left).

Locally Distinctive Positive Features

One and two storey houses set back and above the road

Harmonious range of limited materials

Retention of some interwar details included hipped roofs, bay windows, porches and brick details

Long views to the west and southwest towards the North Downs and over the Hartslands Conservation Area

Views of St John's Parish Church and St John's URC Church

Negative Features

Poor surfacing and parked cars in Allotment Lane

Insensitive infill and redevelopment on south side of Quaker's Hall Road which affects the setting of the Hartslands Conservation Area

Some over-dominant loft extensions

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings.

In proposing new development within the Quaker's Hall Lane Character Area:

The characteristic hipped roof profile of the houses on the north side of Quaker's Hall Lane should be respected

The harmonious palette of white/pastel painted render, brown brick and half timbering and red or orange plain tile roofs should be respected

Traditional detailing should be retained

The setting of the adjoining Hartslands Conservation Area should be protected or enhanced

Views of the North Downs and St John's Parish Church and St John's URC Church should be protected

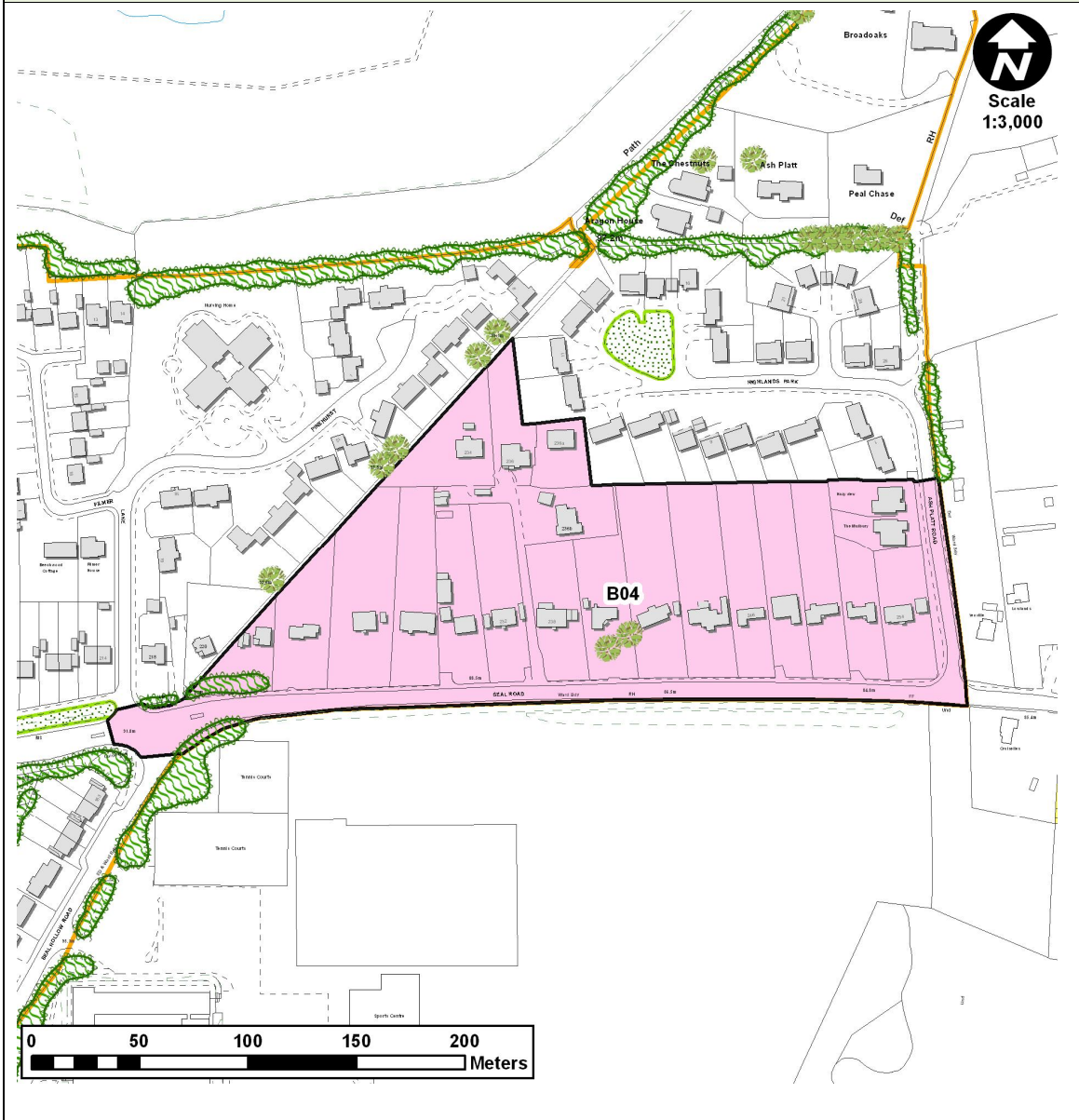
B04 SEAL ROAD

Comprising Seal Road (part)

HISTORICAL CONTEXT

Development was laid out along the Seal Road mainly in the 1930's.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1930s to present day
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Various
Predominant boundary treatments	High fences with hedges and some trees
Open space/ vegetation	Hedges and trees to front gardens

Area Characteristics



A row of detached houses are set back from the road on a regular building line behind hedged, treed and fenced front boundaries. The verdant character of this part of Seal Road is enhanced by the hedged and tree boundary to the school to the south. A group of mature trees at the road junction (top left) is important in framing the road whilst other boundary hedges and trees help soften the townscape.





The detached houses constructed in the 1930s have been extended and personalised over the years but retain a number of original features from the period such as the symmetrical form, hipped roofs with chimneys and horizontal windows.

Detractors



Whilst acting as sound barriers against the traffic noise, the verdant character of the hedged and treed boundaries can become urbanised by fencing or walls.



Where visible, the introduction of garage buildings to the front of the regular building line at the front of the curtilage can change the character of the area which is characterised by screened buildings set well back from the road on a regular building line behind hedged and treed front gardens and generally having a minimal impact on the street scene.

Locally Distinctive Positive Features

1930s houses with some original features: hipped roofs with chimneys and horizontal windows set back on a regular building line

A group of trees at the junction is important in framing the road.

The townscape is softened by hedged and tree boundaries

Negative Features

High fencing and brick walls to the front boundary can urbanise the character of the road

Where visible, the introduction garage buildings to the front of the building line at the front of the building curtilage can adversely affect the character of the area

Traffic noise from A25

Design Guidance

Some long back gardens have been developed with discrete backland development and further such development may prove acceptable but any such development should meet the guidance included in this SPD.

There has been pressure to introduce garages to the front of the building line, in a prominent location within the street scene.

In proposing new development within the Seal Road Character Area:

Buildings should be well screened and well set back from Seal Road to avoid a significant impact on the character of the road

Garages should be of a scale, form, materials and location that fit unobtrusively with the house, surrounding garden and the street scene

Backland development should be served by narrow access drives and be well screened from the road to avoid a significant impact on the character of the area

Mature trees and hedged boundaries which contribute to the character of the road should be retained

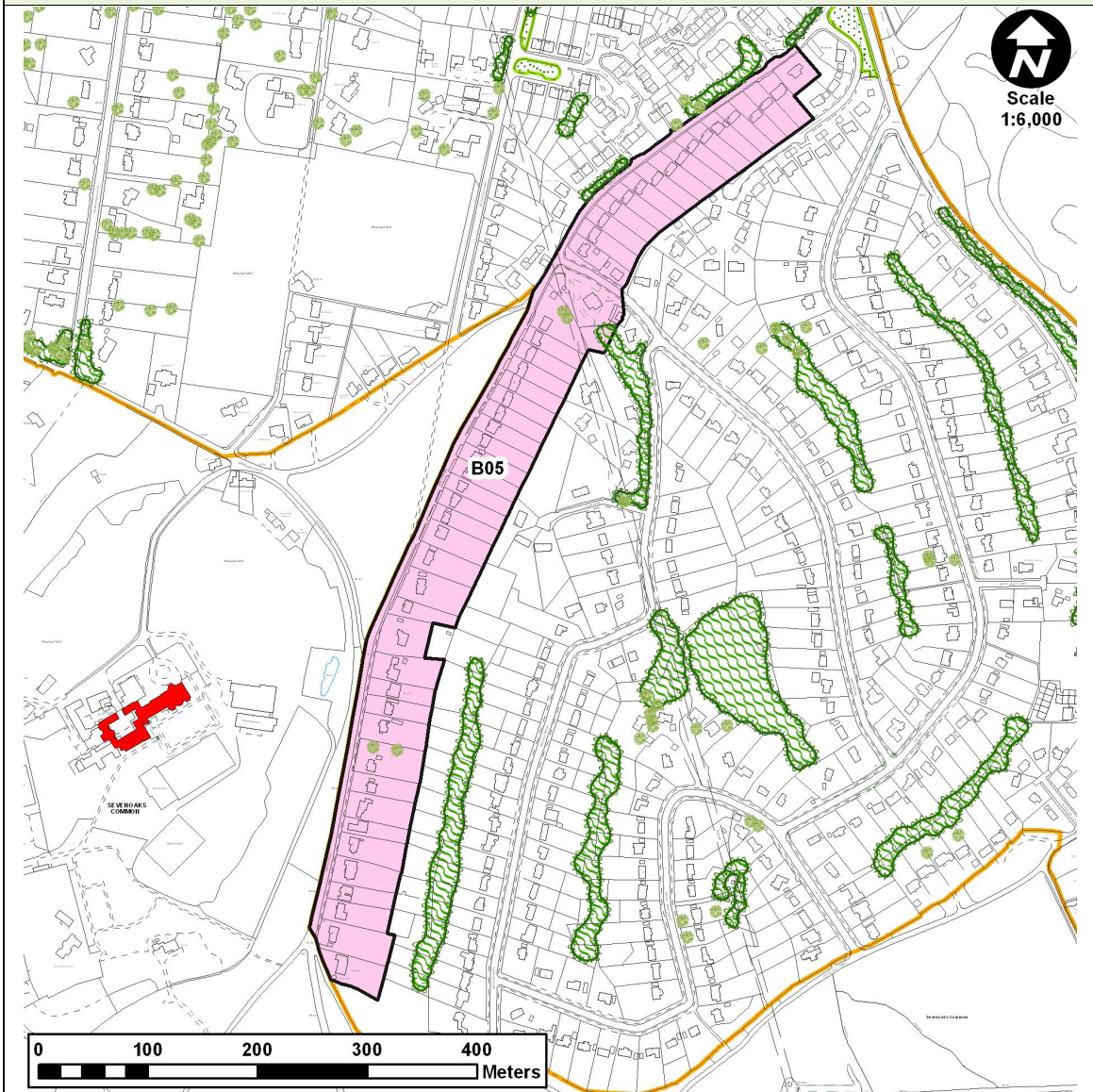
B05 WEALD ROAD

Comprising Weald Road

HISTORICAL CONTEXT

Historically the area formed the edge of Whitehart Woods and was part of the Sackville Estate. The area is bounded by the historic route Weald Road and retains some elements of the former landscape. It was laid out in the 1930s.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1930s to present day
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Half timbered and render
Predominant boundary treatments	Hedges and some trees
Open space/ vegetation	Opposite Sevenoaks Common with woodland trees. Front boundary garden hedges and trees.

Area Characteristics



This section of Weald Road was developed in the 1930s as a row of two storey detached houses set back from the road on a relatively regular building line. The land slopes down to the east, so some properties are set slightly down from the road. Groups of buildings are visible above hedged and treed front boundaries. Along the southern section of this length of Weald Road, the western side of the road is formed by hedges and trees which enclose the space and contrast with the built form opposite. Some of the houses have common design themes including gables fronting the road, half timbered features with white painted render, tiled roofs, wide horizontal windows and chimneys.



The typical 1930's half timbered gables front the road unifying a group of properties through common design features.

Boundary Treatment



A common front boundary feature for the area is hedging, enclosing the road space, defining the boundary between public and private space and reinforcing the verdant character of the road which adjoins the woodland of Sevenoaks Common and the countryside. The edge of the area is characterised by thick ancient woodland significantly limiting the views to the open countryside beyond and framing the road space.

Detractors



Some of the houses have been significantly extended resulting in a significant erosion of the space between the detached properties.

Locally Distinctive Positive Features

Individually designed mostly 2 storey detached houses are set back on a fairly regular building line from the road

Verdant narrow road enclosed by hedges and trees

Common design themes to some properties including gables fronting the road and half timbered features

Negative Features

Extensions whose scale, mass and siting cause them to appear cramped on the site and/ or within the context of the street scene

Design Guidance

There is limited potential for further infill development but any such development should meet the guidance included in this SPD.

Many properties have been extended in the area and whilst the adaptation of existing buildings is likely to continue, there is a need to ensure that development does not appear cramped on the site or within the street scene by virtue of its scale, mass and location

In addition, the pressure for large areas for car parking may impact on the character of front boundaries and gardens.

In proposing new development within the Weald Road Character Area:

Development should be set back from the road

Traditional detailing should be retained

A side extension should not completely infill the space between properties, dominate the original building or result in a building which appears cramped on the site

Mature trees and hedge boundaries which contribute to the character of the area should be retained

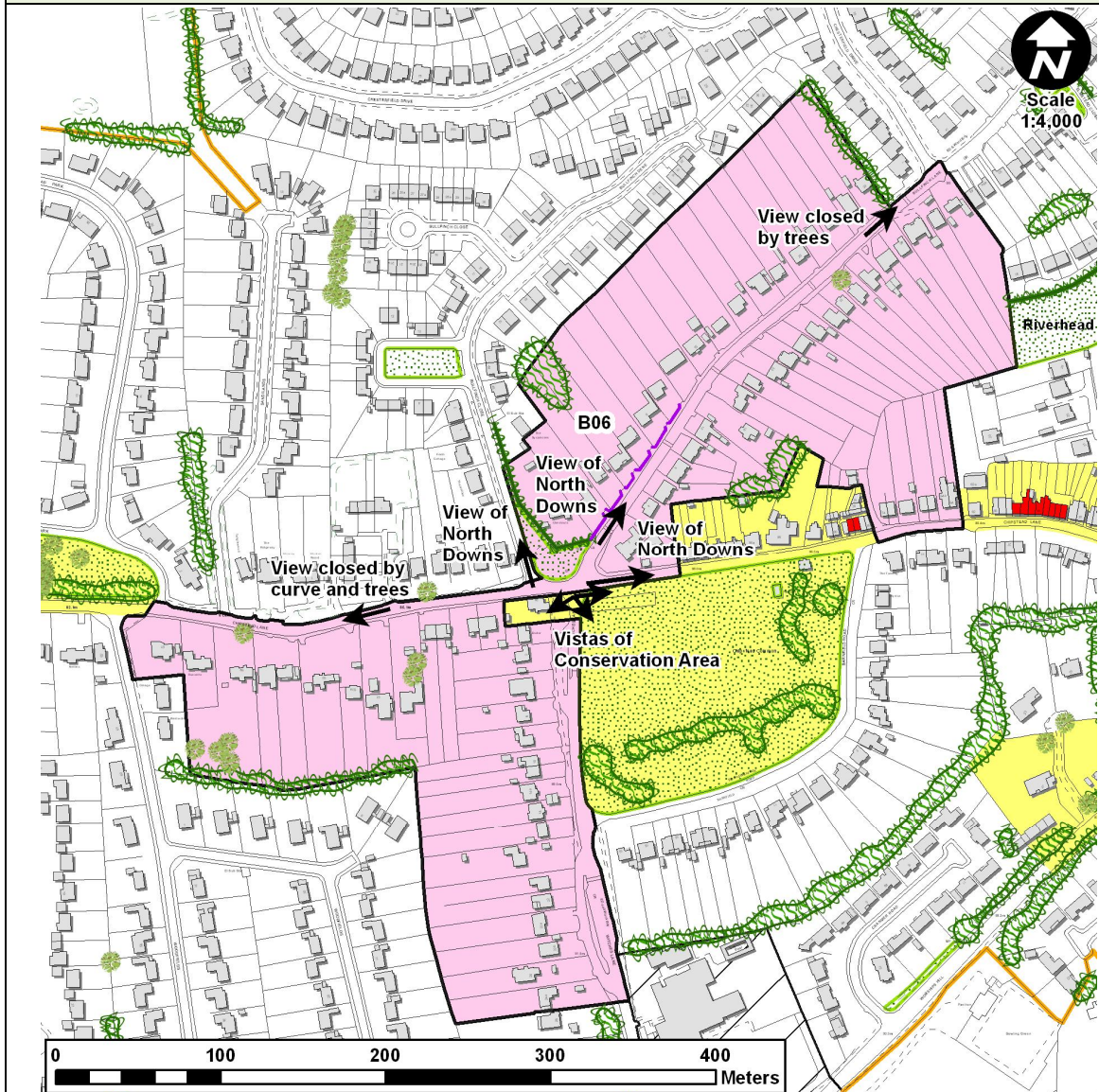
B06 – BULLFINCH LANE AREA

Comprising Bullfinch Lane (part), Witches Lane (part) and Chipstead Lane (part)

HISTORICAL CONTEXT

In the 19th Century this section of Chipstead Lane was a private driveway through the Chipstead estate. The lodge, still standing at the junction with Witches Lane, marked the entrance to the estate. Bullfinch Lane was then known as Sandy Lane. All three lanes were developed during the 1920s and 1930s.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1920 - 1930s
Type of buildings	Detached with some semi-detached
Main uses	Residential
Building heights	One and two storeys
Prominent building materials	Variety of bricks, white painted render, half timbering, hung tiles, brown roof tiles
Predominant boundary treatments	Hedges, stone and brick walls, wooden fences and railings
Open space/ vegetation	Area of grass and trees at entrance to Bullfinch Lane. Views over Chipstead Common.

Area Characteristics



Chipstead Lane and Bullfinch Lane are two gently curving historic lanes which meet at a junction by the Old Lodge (above left). The townscape at this point is open and elevated with long views to the north and east towards the North Downs and shorter views to the south and east across Chipstead Common (above right). From this point, Chipstead Lane (below left) and Bullfinch Lane (below right) dip away and are more enclosed in character with a variety of garden boundaries, trees and hedges enclosing the roads. The houses in Witches Lane are set on the west side of the road only, behind a deep verge and/or service road, facing over Chipstead Common. The set back of the buildings and low scale enhance the open character around the common.



The row of one and two storey properties on Witches Lane are set back on a fairly regular building line behind hedged and treed front boundaries which complement the adjoining Chipstead Common open space.



Detached and a few semi-detached houses are set back from the street on a slightly uneven building line within deep plots enclosed by a variety of walls, hedges, wooden fences and railings. Many are partially obscured by high hedges. The houses are individually designed with a few repeats and retain many original features from the 1920s and 1930s including hipped roofs, front facing gables, curved and square bays, round windows, chimneys, porches including curved recessed porches, and a variety of decorative finishes including brick, painted render, half timbering, hung tiles, and contrast brickwork.

The interwar layout, architecture and design details have been particularly well retained in Bullfinch Lane giving a distinctive and cohesive character. There has been more alteration and infill development in Chipstead Lane and Witches Lane.





A row of white painted 1920s bungalows of uniform design with crested, castellated front porches and tall narrow chimneys, form a distinctive group in Bullfinch Lane.

The old wall enclosing the west side of Bullfinch Lane is an important townscape feature.

Landscape



A grassed open space at the southern end of Bullfinch Lane is an important landscape feature enhancing the setting of the Old Lodge and the Chipstead Common Conservation Area.

Locally Distinctive Positive Features

Detached, and a few semi-detached, houses set back from the road

Enclosed character of Bullfinch Lane and Chipstead Lane due to garden boundaries of walls, hedges (some high), fences and railings

Open, elevated character of Witches Lane enhanced by set back of single row of buildings behind gardens, verges and service road, looking over Chipstead Common

Variety of inter-war designs incorporating a range of features typical of the period including hipped roofs, gable ends, porches, chimneys, bay, round and leaded light windows. Retention of decorative finishes including a variety of brick, painted render, half timber, hung tiles and contrast brickwork

Distinctive group of bungalows in Bullfinch Lane

Long views towards the North Downs to the north and east

Shorter views and vistas across Chipstead Common, of tree belts and the adjoining Chipstead Conservation Area. Vista of the Old Lodge which provides a link with the history of the area

Open space at the southern end of Bullfinch Lane

Wall at southern end of Bullfinch Lane.

Negative Features

Some dilution of character in Chipstead Lane and Witches Lane through alteration and infill development

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings.

In proposing new development within the Bullfinch Lane Area Character Area:

Development should be set back from the road

Traditional detailing should be retained

Open space at the southern end of Bullfinch Lane should be protected

The character of the wall at southern end of Bullfinch Lane should be retained

The setting of the adjoining Chipstead Conservation Area should be protected or enhanced

Views of the North Downs and Chipstead Common should be protected

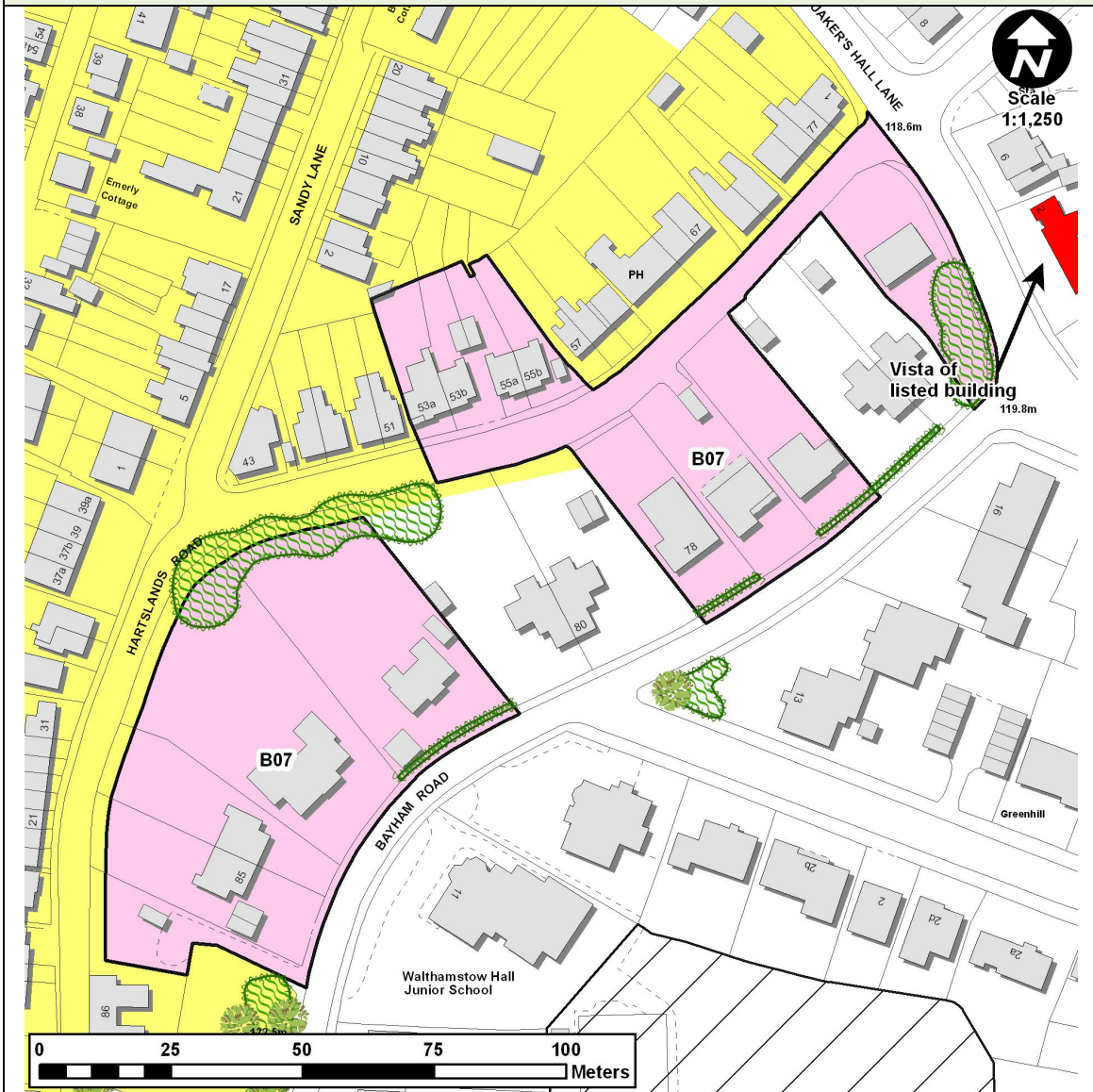
B07 – BAYHAM ROAD

Comprising Bayham Road (part) and Hartslands Road (part)

HISTORICAL CONTEXT

This is primarily inter-war linear development with some later infill.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1930s +
Type of buildings	Detached and semi-detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	White painted render, half timbering, hung tiles and contrast brickwork
Predominant boundary treatments	Hedges, wooden fences and walls.
Open space/ vegetation	Landscaped front gardens and hedges.

Area Characteristics



The two storey inter-war houses in Bayham Road are set back on a regular building line behind landscaped front gardens enclosed by walls, hedges and fences (above left and right and below left). The houses incorporate design features typical of the period including hipped roofs, chimneys, two storey bay windows and wide low windows and decorative finishes including hung tiles, white painted render, half timbering and contrast brickwork. The area also includes two more recent properties, one facing onto Hartslands Road (below right) which in terms of roofline, scale, building line of the principal building and decorative finishes blends well with the surrounding architecture. There is a vista of a listed building north east of Bayham Road.





The semi-detached 1930s houses in Hartsland Road are of plainer design with square two storey bays and hipped roofs with central chimney stacks. The houses appear out of character with the surrounding Victorian development in terms of siting, materials and roofline and do not enhance the character of the Hartsland Conservation Area.

Locally Distinctive Positive Features

Houses set back on a regular building line behind landscaped front gardens enclosed by hedges, walls and fences

Harmonious range of limited materials and colours create a distinctive and cohesive character

Retention of the roof line and original details and decorative finishes preserves the 1930s character of Bayham Road

Gaps between the houses allow glimpses of trees to the rear

Vista of listed building to north east

Negative Features

1930s semi-detached houses in Hartslands Road do not enhance the character of the Hartslands Conservation Area due to the roofline, siting and materials.

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings.

In proposing new development within the Bayham Road Character Area:

Development should be set back from the road

The harmonious palette of white painted render, half timbering, hung tiles and contrasting brickwork should be respected in Bayham Road

The characteristic roof profile should be respected in Bayham Road

Traditional detailing should be retained in Bayham Road

The setting of Hartslands Conservation Area should be protected or enhanced

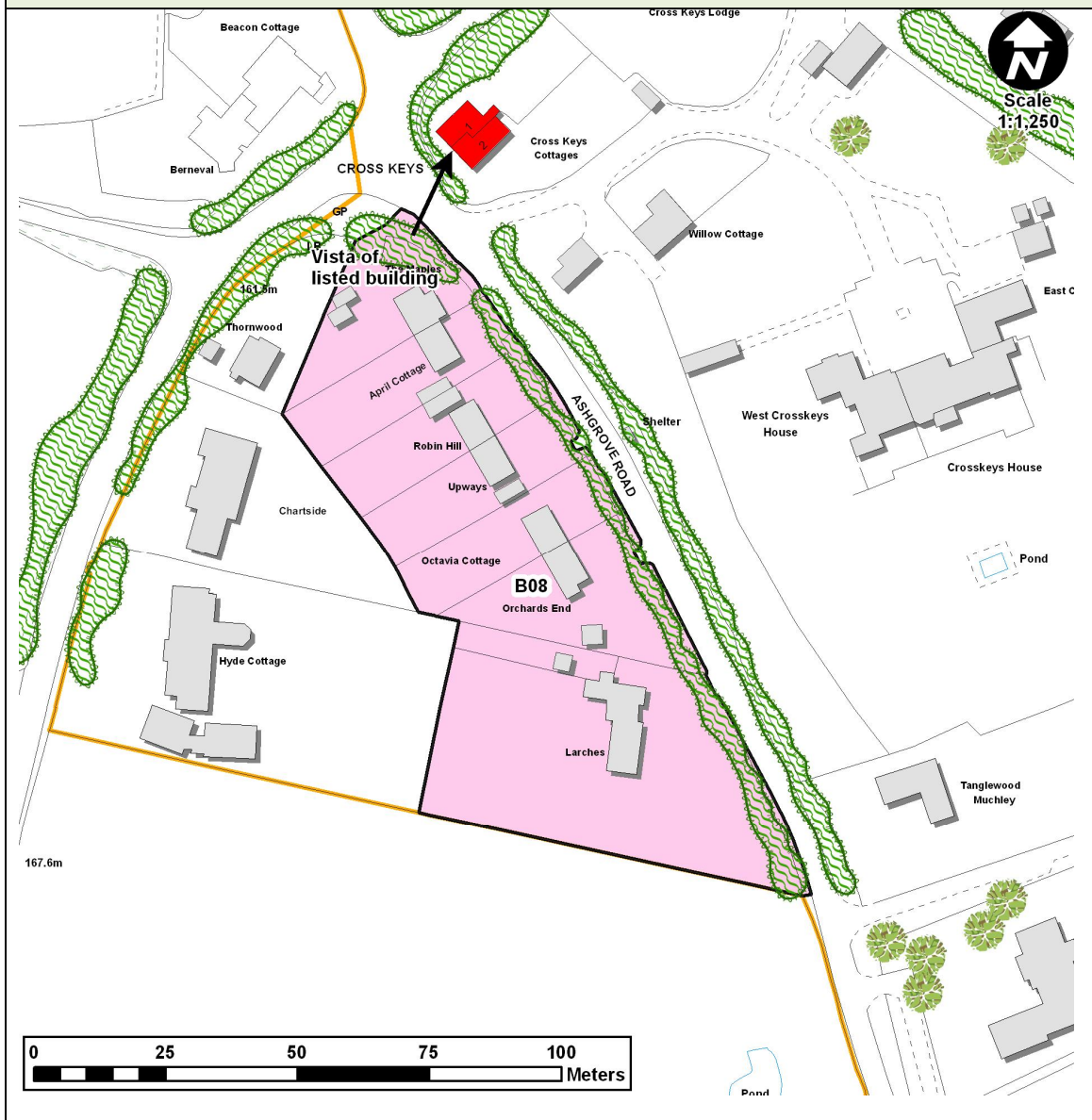
B08 – ASHGROVE ROAD

Comprising Ashgrove Road (part)

HISTORICAL CONTEXT

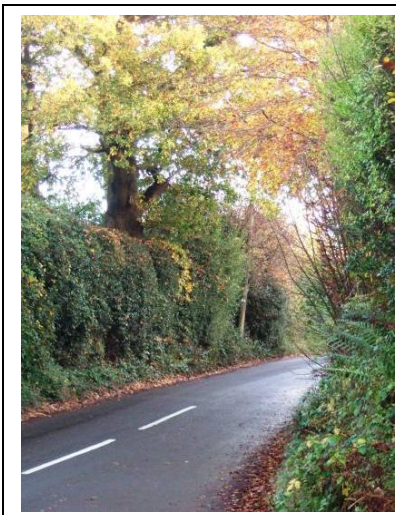
This development comprises interwar linear development at the junction of two historic lanes, Ashgrove Road and Oak Lane, and two 1950s properties.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1930s to 1950s
Type of buildings	Detached and semi-detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Red/brown brick, white painted render, brown pantiles
Predominant boundary treatments	Hedges and some trees
Open space/ vegetation	Lanes strongly enclosed by high hedges and trees

Area Characteristics



Ashgrove Road (above left) and Oak Lane have the character of rural lanes and are narrow and curving with no pavements. They are strongly enclosed by high hedges and trees. The three pairs of semi-detached flat fronted rendered properties of uniform design form a cohesive group (above right). They are set above the road behind stone retaining walls, hedges and planting that maintain the rural character of the lane (below). The painted rendered flat elevations, pantiled hipped roofs with chimneys, distinctive brick porches and sills contribute to a cottage character, which is enhanced by the informal front gardens and ragstone retaining walls. Long views are prevented by the curving lanes and vegetation but there is a vista of the listed building at the junction.





The detached properties are individually designed and have been significantly extended and altered.

Locally Distinctive Positive Features

Rural lane character of Oak Lane and Ashgrove Road, enclosed by hedges and trees

Cottage style semi-detached interwar properties form a cohesive group due to even roofline, repeated designs, colours and materials

Informal boundaries including ragstone retaining walls and hedges. Landscaped front gardens

Individually designed detached properties

Vista of listed building at junction

Negative Features

No significant detractors

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings.

In proposing new development within the Ashgrove Road Character Area:

The characteristic roof profile of the semi-detached interwar houses should be respected

The harmonious palette of red/brown brick, white painted render and brown pantiled roofs should be respected

Traditional detailing should be retained

The ragstone boundary wall, hedges and mature trees which contribute to the character of the road should be retained

B09 - HOSPITAL ROAD

Comprising Hospital Road

HISTORICAL CONTEXT

There has been a hospital to the west of this road since around 1900, but it now extends both sides of the road. There is a short section of inter-war housing on the east side.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1930s +
Type of buildings	Semi-detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Brown brick, painted pebbledash, hung tiles on infill, plain roof tiles
Predominant boundary treatments	Stone and brick walls and panel fence
Open space/ vegetation	Planted front gardens

Area Characteristics



The two pairs of inter-war semi-detached houses have hipped roofs and are set back from the road behind front gardens partially enclosed by stone and brick walls and panel fences (above). There is also a more recent infill property with a shallow pitch gabled roof and hung tiles (right). The character of the street is dominated by the adjoining hospitals and parked cars (below left). There is a long view towards the North Downs, but the cluttered junction with the A25 detracts from this view (below right). Pavement surfacing is poor.





Locally Distinctive Positive Features

Houses set back on a regular building line

View of North Downs

Negative Features

Poor surfacing.

View of A25 junction to the north.

Parked cars in the street and adjoining hospital car parks dominate the street scene.

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Hospital Road Character Area

Development should be set back from the road

The characteristic roof profile of the two pairs of inter-war semi-detached houses should be respected

The view of the North Downs should be protected.