Supplementary Planning Document:

Sevenoaks Residential Character Area Assessment

Adopted April 2012













Local
Development
Framework





Contents	Page
1 What is the Supplementary Planning Document?	4-5
2 Purpose of the Supplementary Planning Document	6
3 Policy Context	7-8
4 Methodology	9
5 Community Involvement	10
6 Origins and Development	11-13
7 How to use the Document and Key Maps	14-19
8 List of Character Areas	20-26
Residential Character Areas	
A Victorian/ Edwardian	27-104
B Inter War Linear Development	105-138
C Inter War Planned Development	139-192
D Garden City Influenced Planned Development	193-232
E Formal Semi-detached Layout	233-252
F Formal Detached	253-322
G Formal Avenue	323-342
H Informal Lane	343-430
I Open Plan	431-514
J Bungalows	515-536
K Compact Terraced and Apartments	537-604
L Compact Townhouses and Apartments	605-628
M Clustered Cul-de-sac Developments	629-670
N Mixed Character	671-734
O Town Centre Fringe Mixed Use Area	735-742
Appendices	743-746

Cover photographs: Bradbourne Road (top left); Mount Harry Road (top right); Wickenden Road (middle left); The Crescent (middle right); West Heath Lane (bottom centre); Hopgarden Lane (bottom right)

1 What is the Supplementary Planning Document?

Places continue to adapt and evolve. Necessary development to provide new homes and businesses for Sevenoaks will continue to come forward. The District Council is looking to ensure that future development in Sevenoaks is suited to the local character.

The 'character of an area' is often mentioned in the context of considering development proposals. What is often missing is a clear identification of, and agreement about, the locally distinctive features of an area that give it character that should be given careful regard in considering proposals for development. For this purpose, the Residential Character Areas Assessment Supplementary Planning Document (SPD) sets out to define the character of identifiable local residential areas within the urban area of Sevenoaks excluding the Conservation Areas - for which separate guidance has already been prepared - and non-residential areas (see Map 1). For the purposes of the Local Development Framework, the Sevenoaks urban area is defined as Sevenoaks town, Riverhead, Dunton Green, Bessels Green and Chipstead.

Good design is a key element of sustainable development, so the District Council will promote a high standard of design. A high quality, well designed, development can enhance the sense of place and identity of an area and can bring significant benefits to the local environment and economy.

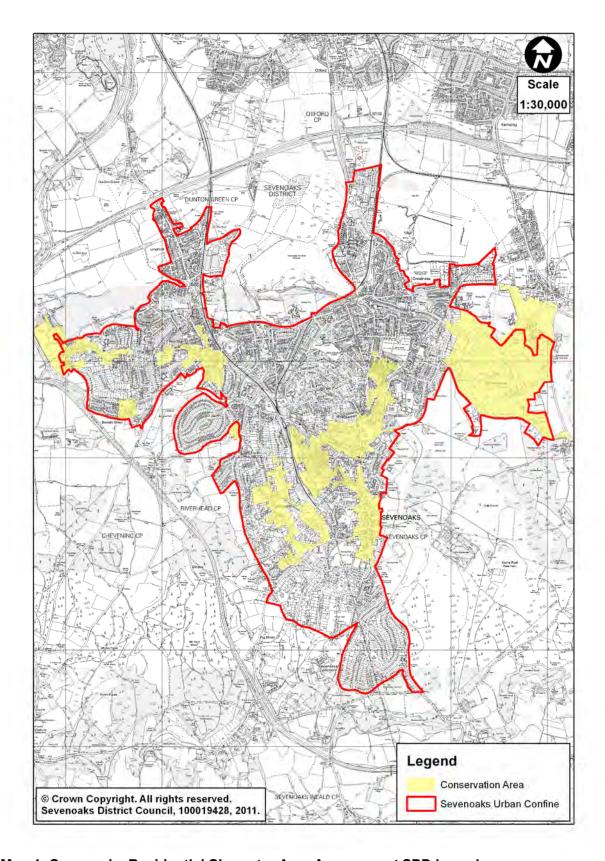
The Adopted Core Strategy states that all new development should be designed to a high quality and should respond to the distinctive local character of the area in which it is situated and that account should be taken of guidance adopted by the Council in the form of local Character Area Assessments. The National Planning Policy Framework (NPPF) states that planning policies and decisions should aim to ensure that developments respond to local character and history, and reflect the identity of local surroundings and materials, while not preventing or discouraging appropriate innovation.

This SPD helps identify the local distinctive character and design guidance to assist the Council in making decisions about the appropriateness of development proposals.

Some minor development is permitted, by Parliament, without the need for a planning application (usually known as "permitted development") and, home owners and developers who are considering such alterations are encouraged to refer to the distinctive characteristics of their area as described in this SPD when considering even minor development. The Council's planning staff will also use the SPD as a basis for giving advice to those who intend to exercise permitted development rights. Although the Council will not be in a position to *require* these good design principles in such cases, it will nevertheless encourage their use where possible.

The SPD will be adopted as part of the LDF. Once adopted, it will be a material consideration in determining planning applications in that part of Sevenoaks to which it applies. Developers and householders should refer to the document in formulating proposals.

The document aims to raise the standard of design of new proposals such that they fit well with the locally distinctive character of an area. Design which is considered to be inappropriate in its context is unlikely to be acceptable and efforts will be made to improve the character and quality of an area through the preparation and consideration of development proposals.



Map 1: Sevenoaks Residential Character Area Assessment SPD boundary

2 Purpose of the Supplementary Planning Document

This SPD aims:

- To supplement adopted design policies for assessing development proposals within an area;
- To identify the locally distinctive features that define the character of those residential areas within Sevenoaks urban area which are not included within the town's Conservation Areas;
- To raise awareness of, and provide guidance on, the appropriateness of the design of development within an area in order to strengthen diversity rather than erode character and local distinctiveness;
- To assist the appraisal of planning and allied applications; and
- To deliver improved designs, in practice, which enhance the character of the area

3 Policy Context

The SPD is consistent with national planning policy and is supplementary to the policies set out in the Development Plan Documents (DPDs) contained in the LDF.

3.1 National Planning Policies

The National Planning Policy Framework (March 2012) states that it is important to plan positively for the achievement of high quality and inclusive design for all development, including individual buildings, public and private spaces and wider area development schemes. The Local Development Framework should develop robust and comprehensive policies that set out the quality of development that will be expected for the area. Such policies should be based on stated objectives for the future of the area and an understanding and evaluation of its present defining characteristics.

Planning policies should aim to ensure that developments respond to local character and reflect the identity of local surroundings, while not preventing or discouraging appropriate innovation, and are visually attractive as a result of good architecture and appropriate landscaping. Planning policies should establish a strong sense of place and address the connections between people and places and the integration of new development into the natural, built and historic environment.

Design policies should avoid unnecessary prescription or detail and should concentrate on guiding the overall scale, density, massing, height, landscape, layout, materials and access of new development in relation to neighbouring buildings and the local area more generally. Policies should not attempt to impose architectural styles or particular tastes and they should not stifle innovation, but it is proper to seek to promote or reinforce local distinctiveness.

3.2 Sevenoaks District Core Strategy – February 2011

One of the prime aims of the Core Strategy is to ensure that new development throughout the District will be of a high quality incorporating designs that respond to the distinctive local character of areas of high environmental quality or make a positive contribution to the environmental enhancement of other areas.

Adopted Core Strategy Policy SP 1states that

All new development should be designed to a high quality and should respond to the distinctive local character of the area in which it is situated. Account should be taken of guidance adopted by the Council in the form of ... local Character Area Assessments...

In areas where the local environment lacks positive features new development should contribute to an improvement in the quality of the environment.

3.3 Saved Local Plan Policy - September 2007, the Secretary of State approved the submitted Saved Policies Schedule

Saved Local Plan policy EN1 sets out a number of criteria which any development proposal should meet in order to make the development compatible with the locality including scale, height, site coverage, materials and landscaping. The layout of the proposed development should respect the topography of the site and retain important features including trees, hedgerows and shrubs. New landscaping and boundary treatment will be required in appropriate cases. The proposed development should not result in the loss of important buildings or related spaces.

3.4 Residential Extensions Supplementary Planning Document – May 2009

This supplementary planning document (SPD) is part of Sevenoaks District Council's Local Development Framework. Extensions are a common form of development in the District and therefore have an important influence on shaping the local environment. The SPD is intended for applicants, agents, planning officers and local residents to assist with improving the quality of development and address the issues of design, amenity and other important considerations. This SPD indicates the general parameters and the criteria by which planning applications for home extensions will be judged, although the principles contained in this guidance promote good practice and should be relevant whether planning permission is required or not. It is intended to create a high-quality, sustainable built environment in line with the Council's aspirations for its present and future residents.

3.5 Development Management Draft Policies - May 2011

Draft Policy SC2 – Design principles states

To ensure that new development is designed to a high quality and responds to the distinctive local character of the area in which it is situated, proposals will be subject to the following design criteria:

- a) The form of the proposed development should respond to the scale, height, materials and site coverage of the locality
- b) The layout of the proposed development should respect the topography of the site, retain important...trees, hedges and shrubs...

4 Methodology

The National Planning Policy Framework (NPPF) advises local authorities to prepare robust policies on design. These should be based on an understanding and evaluation of the present defining characteristics of an area and that is the purpose and function of this SPD.

The evaluation of the Sevenoaks urban area has involved an assessment of the character of the development of the area through the review of historic maps; comprehensive site surveys using the approach and characteristics advocated in By Design – Urban design in the planning system (DETR, 2000)¹.

An initial appraisal was undertaken of all areas of the town covered by this SPD and it was evident that a number of areas shared similar characteristics. From this assessment it was possible to identify a typology of character areas such as Victorian/ Edwardian areas; Inter War Planned Development; Garden City Influenced Planned Development; Informal Lanes and Open Plan Housing.

Where an area grew up sporadically over time through piecemeal development and redevelopment, this has led to mixed house types and layouts. These areas have been classified as Mixed Character Areas.

Although not necessarily physically adjoining each other, each character area typology generally grew up over the same period (with the exception of Mixed Character Areas) using layouts, designs and materials which were based on the technology, legislation and planning and design philosophies of that time. Thus these character area typologies shared common generic characteristics which were recorded using the following matrices:

- Locally Distinctive Contextual Features
- Locally Distinctive Positive Features
- Negative Features

Street by street surveys were then undertaken of each of the separate areas which made up the broad character area typologies. These surveys identified features which were specific to each area such as landscape and townscape features, landmarks, views and detracting features. Locally Distinctive Positive and Negative Features were recorded for each area as text and on a Townscape Analysis Map.

Identifying the generic and area-specific Locally Distinctive Contextual and Positive Features should assist in interpreting Core Strategy Policy SP1 and Development Management Draft Policy SC2 which seek designs which fit well with the local context and protect and conserve the character and local distinctiveness of an area. By identifying the Locally Distinctive Negative Features, the SPD also indicates features which could, through the application of Policy SP1, be enhanced particularly through development opportunities. Representative groups and elected Members of the District Council assisted at each of these stages – see Community Involvement.

٠

¹ Appendix 1

5 Community Involvement

Community involvement in the preparation of the SPD has followed the District Council's adopted Statement of Community Involvement (SCI). There has been close stakeholder involvement in preparing this SPD in order to develop a shared vision with the local community of the type(s) of residential environments they wish to see and to develop appropriate design guidance.

Prior to the drafting of the SPD, several local stakeholder events were held.

Firstly, a briefing session was held involving District Council officers, local amenity and resident groups², local Ward Councillors, Sevenoaks Town Council, Chipstead Parish Council, Chevening Parish Council, Dunton Green Parish Council, Sevenoaks Conservation Council and Sevenoaks Society followed by a discussion on draft character area typologies and character area boundaries.

Secondly, a series of walkabouts were held involving District Council officers, local amenity and resident associations, local Ward Councillors, Town and Parish Councillors and the Planning Portfolio holder and appropriate groups visited each sub-area to observe and record the key features which made up the character of the area.

Ward Councillors have been kept informed from the inception of the SPD and have participated in the process of assisting with the preparation of the consultation document.

The Planning Consultants preparing the SPD and the District Council would like to thank the individuals and organisations who have contributed to the process to date.

Formal consultation under Regulation 17 on the Sevenoaks Residential Character Areas Assessment SPD took place in January/February 2012. A staffed exhibition explaining the consultation document was held during the consultation period.

```
Á
\( \begin{align*} \text{A} \cdot \text{A} \tex
```

² Appendix 2

6 Origins and Development of Sevenoaks, Riverhead, Dunton Green, Bessels Green and Chipstead

Environments grow in response to local circumstances and it is therefore important to understand the principal influences which created the distinctive character areas of Sevenoaks, Riverhead, Dunton Green, Bessels Green and Chipstead.

It is believed that the original settlement of Sevenoaks was formed when early inhabitants progressively cleared glades in the thickly wooded countryside to make swine pastures which later developed into the Wealden villages. It is not mentioned in the Domesday Book, but formed part of Otford Manor which also included Shoreham, Halstead, Chevening, Woodlands, Sevenoaks Weald and Penshurst with a total recorded population of about 600. Sevenoaks at this time consisted of a small cluster of houses around the sub-manor of Knole. The first church was constructed in Sevenoaks in the 11th century at the site of the present St Nicholas' Church.

Sevenoaks began to grow partly because of the success of the submanors at Kippington, Blackhall, Brittains and Knole, whose names were all first recorded in the medieval period and partly because of the thriving market which was founded in 1207.

Flemish weavers settled in the area in the 14th Century and weaving flourished for around 300 years. Other immigrants followed in Tudor times, engaged in papermaking, market gardening, hop growing and coal extraction. Iron smelting followed in the 17th Century.

By 1687 the structure of the High Street and market place was well established. Around this central area, the land was owned by the estates of Knole, Kippington, Bradbourne, Montreal, Greatness, Wildernesse, Beechmont and Sevenoaks Park. The great scale of Knole reflected its role in the County as the home of the Archbishops of Canterbury from the 15th century until it was bought from Archbishop Cranmer by King Henry VIII. The Bosville family came to Bradbourne in 1555. Thomas Farnaby bought Kippington in 1630. In the late 18th century and early 19th centuries a number of these estates enclosed common land to increase their extent and influence. For example the Polhill family transformed the Chipstead to Riverhead road into a private drive and the Wildernesse estate enclosed Stiddolphs Heath (now Hillingdon Avenue).

Prior to the arrival of the railways, employment in the town was based on running the estates and a variety of local industries including silk weaving, corn milling, papermaking, brickfields and whitening quarries.

The town began to expand northwards in the Victorian period. The first major housing development was a working class area at Hartslands in the 1840s. However with the arrival of the railway and Bat and Ball Station which was opened in 1862 and Tubs Hill Station in 1868, Sevenoaks began to form a base for commuting to London and areas of villas grew up. In 1873, the settlement reached to just south of Oak Lane and northwards along the High Street to Seal Hollow Road and up the London Road to Tubs Hill. The St Johns area was separated from the main built up area by the Vine Court Estate. However by 1898, development extended to the Tub's Hill station and westwards around Granville, Eardley and Argyle Roads. To the east the Vine Court Estate was laid out for housing connecting St John's with the main settlement. Vine Court Road and Avenue Road were laid out in 1885. The lands between these two were filled in between 1890 and 1914. The area around Hitchen Hatch Lane began to be developed as villas set within large plots.

The decimation of population from the Great War meant that many large houses in Sevenoaks were no longer viable. They were sold off for redevelopment in smaller parcels or were demolished, in either case to make way for the increasing commuter population. After the Wildernesse estate was sold in 1924 a series of large homes were erected to the individual designs of H.M. Baillie Scott and other respected Arts and Crafts Architects, creating in effect a leafy suburb on the north eastern edge of Sevenoaks, which is today a Conservation Area.

Chipstead Place was demolished in 1932 and building plots were put up for sale in 1934 along Packhorse Road, Westerham Road and Holmdean Road. Land along Chipstead Lane, formerly comprising quarries, sandpits and the kitchen gardens of Chipstead Place were developed as loops and cul-de-sacs of detached housing in the 1960s and 1970s. As a result of these developments, Sevenoaks expanded westwards to form a continuous built up area with the villages of Bessels Green and Chipstead.

The Montreal Estate, which had expanded to include the Kippington Estate in 1863 was sold off in the 1920s and in 1936 was split up. Development was halted by the Second World War, so building began in the 1950s creating the extensive Montreal Park and surrounding areas.

The Bradbourne Estate was situated between the two branches of the railway line south of the A25. The 18th century Bradbourne Hall was demolished in 1937 and a grid of roads was laid out which combined with ribbon development along the A25 created a continuous built up area between Riverhead and Bat and Ball.

Some areas were developed as planned estates as in Montreal Park. However in other areas, such as Kippington, Packhorse and Oakhill Roads, individual plots were sold for development often with covenants specifying the minimum value of the house and set back from the road. The White Hart estates for example required low walls and hedges. Such covenants contributed to the spacious character of the interwar and early post-war expansion of the town. Some later developments in the 1960s and 1970s required an unenclosed layout, creating areas with a distinctive open plan identity which include Beaconsfield•, Brittains Lane and Chesterfield Drive.

During the 1930s Sevenoaks also expanded northwards with ribbon development and planned estates extending up the London Road connecting Riverhead and Dunton Green and up the Otford Road. To the east of the Otford Road, the Greatness Estate was donated to the Town Council in the 1920s and was subsequently developed, mainly for public housing, forming a northward extension of the town. Other areas of public housing were developed in the 1930s in the Hillingdon area and in the 1950s and 1960s in the Kippington, Bradbourne and Solefields areas. The early public developments were often laid out with reference to the Garden City movement with semi-detached properties set in individual gardens facing onto green open spaces and footpaths. Later developments were more compact.

Since 1960, the rapid expansion of the town ceased with the introduction of the Green Belt and the Area of Outstanding Natural Beauty. Most development since that time has been within the urban boundary on infill plots or through the redevelopment of earlier properties at higher densities. Sevenoaks has few of the extensive 1960s and 1970s housing developments found on the edges of many Kent towns.

Sevenoaks today has retained the character of a country market town. The growth and evolution of the town has been complicated and piecemeal resulting in a

complex pattern of development reflected in the large number of character areas identified in this document. Within the wider built up area, the village centres have maintained their identity with each of the centres of Riverhead, Dunton Green, Bessels Green and Chipstead having an historic core.

7 How to use the Document and Key Map

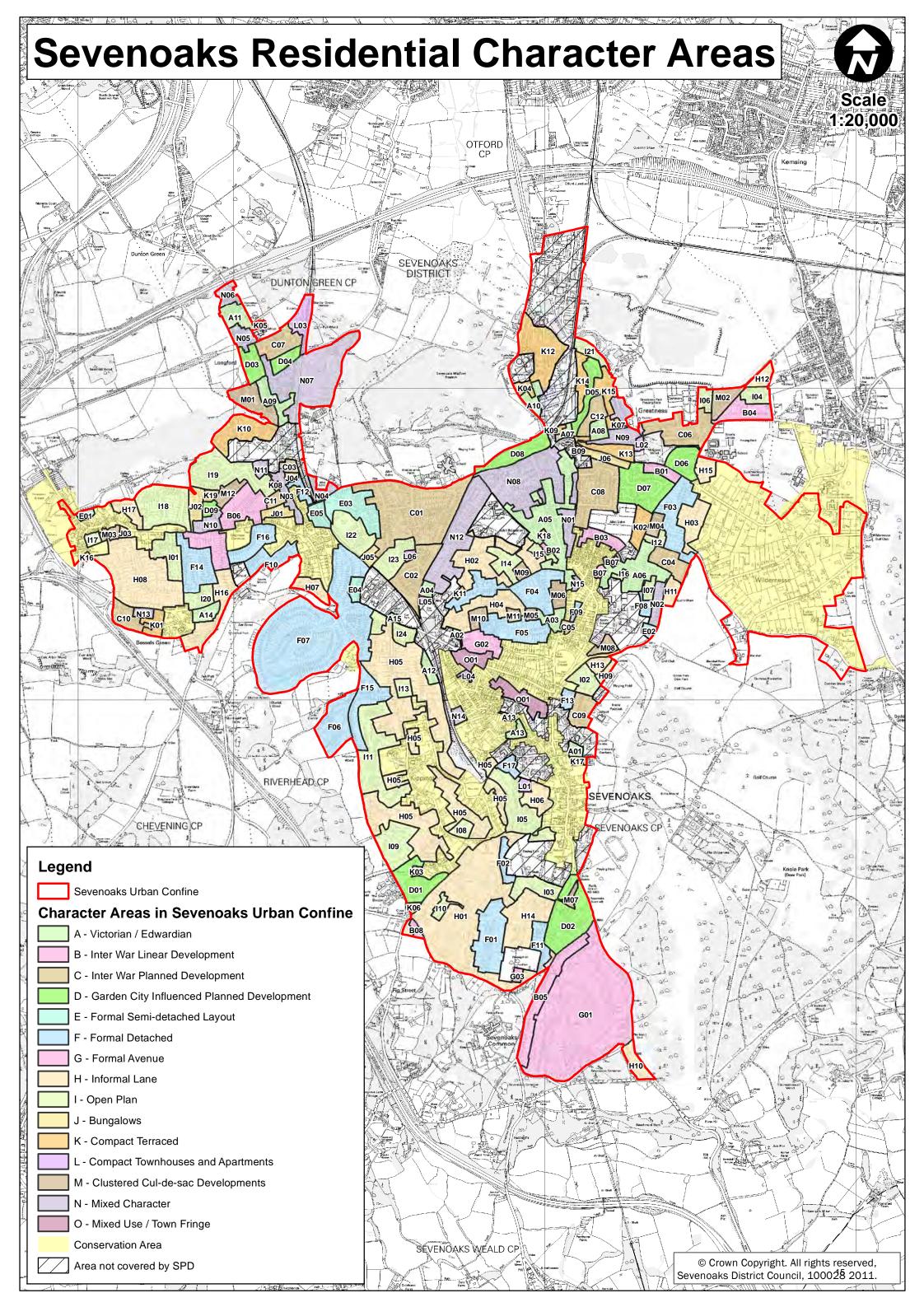
The next sections of the SPD divide the Sevenoaks urban area into separate residential character areas based on the methodology and community involvement set out above.

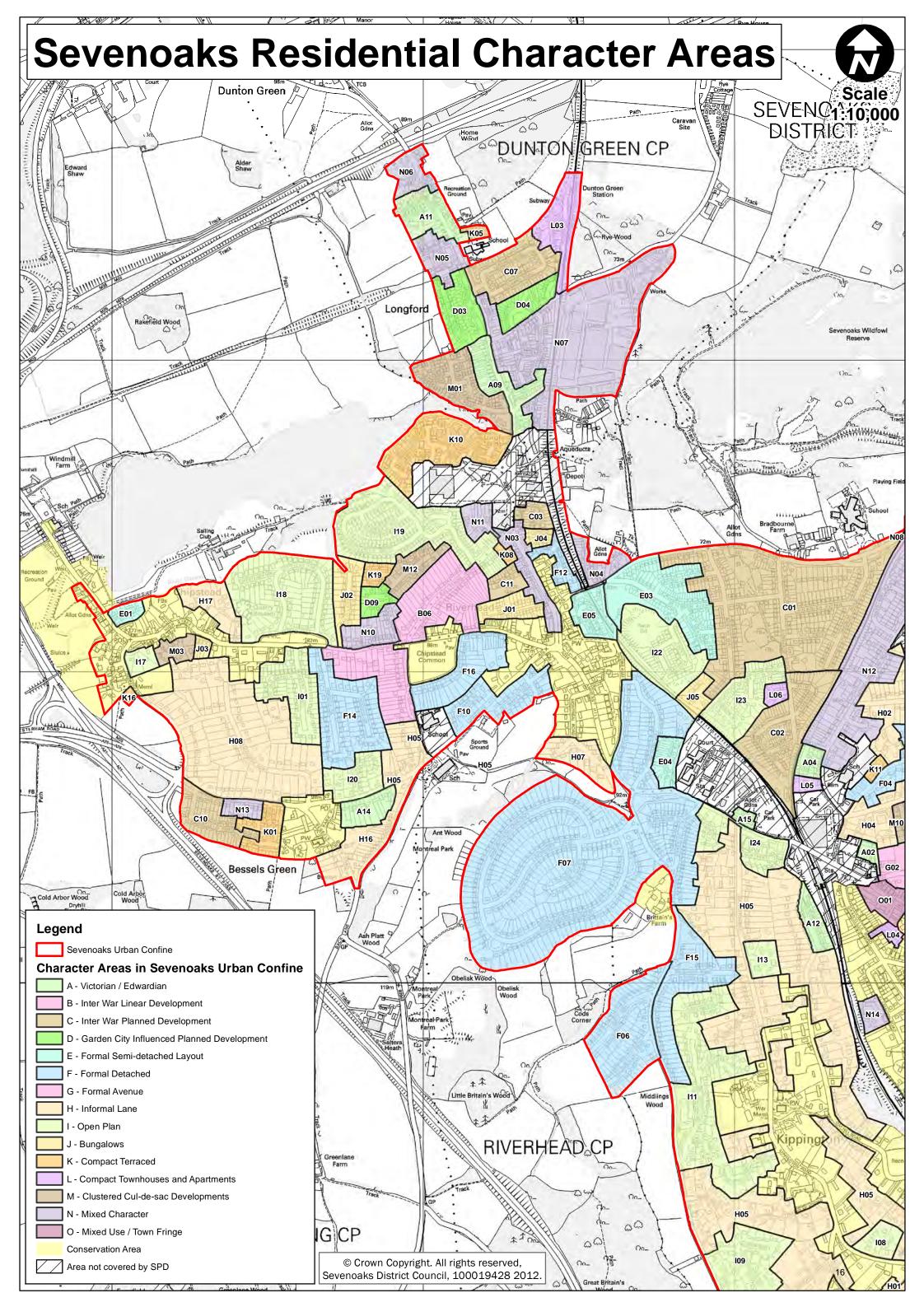
Each separate character area is named and numbered on Map 2 below. If you are interested in a particular area, locate it on Map 2 and turn to the section on that character area. The relevant page can be found by reference to the Contents page.

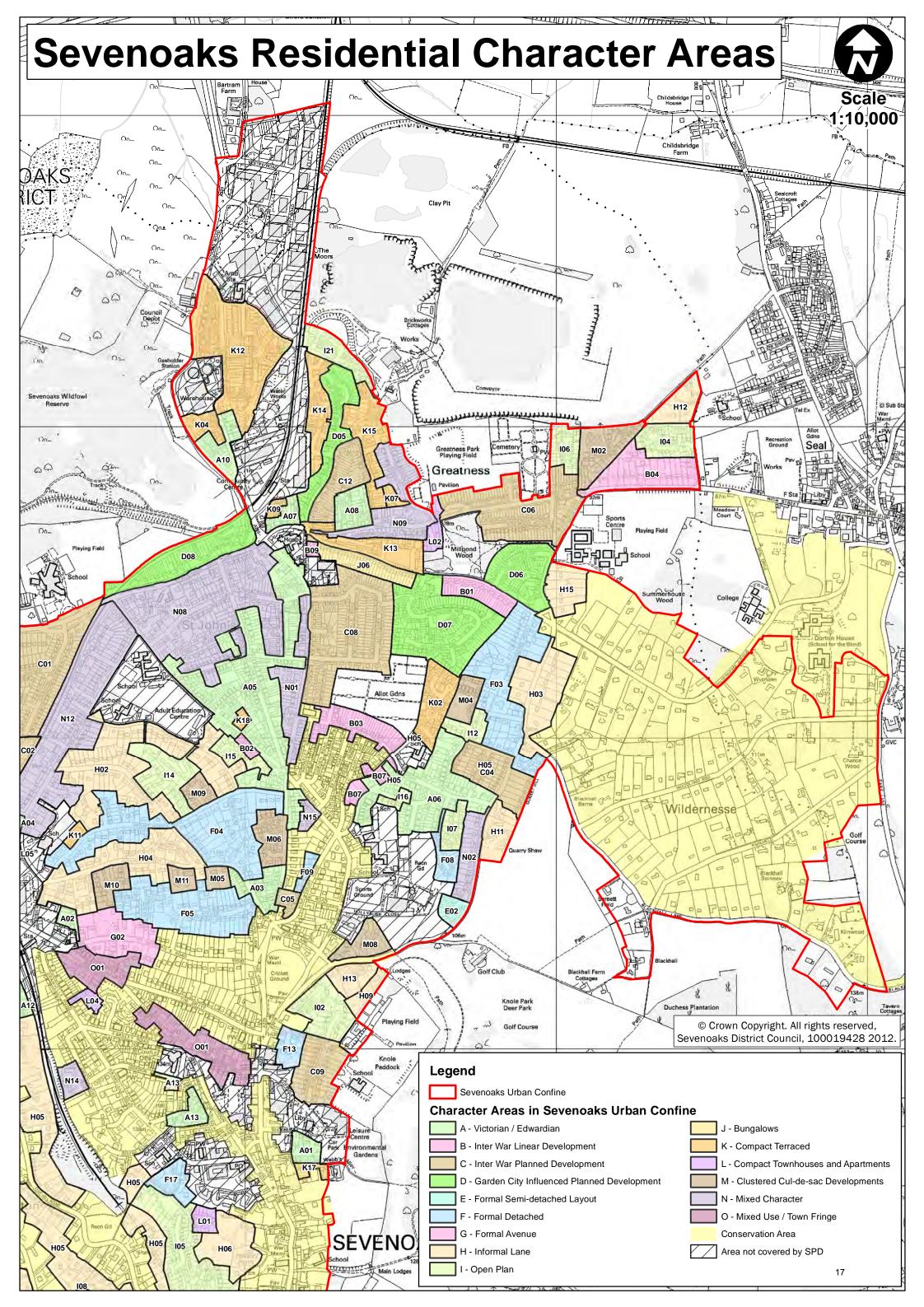
For each of the individual areas there is an assessment of the locally distinctive contextual features such as age, height and types of buildings; main uses; prominent building materials and boundary treatments and open spaces. Locally distinctive positive features and negative features are also recorded. Key characteristics of each Character Area are illustrated on a Townscape Map and the key is set out below. Annotated photographs are also included to depict part of the character of the area.

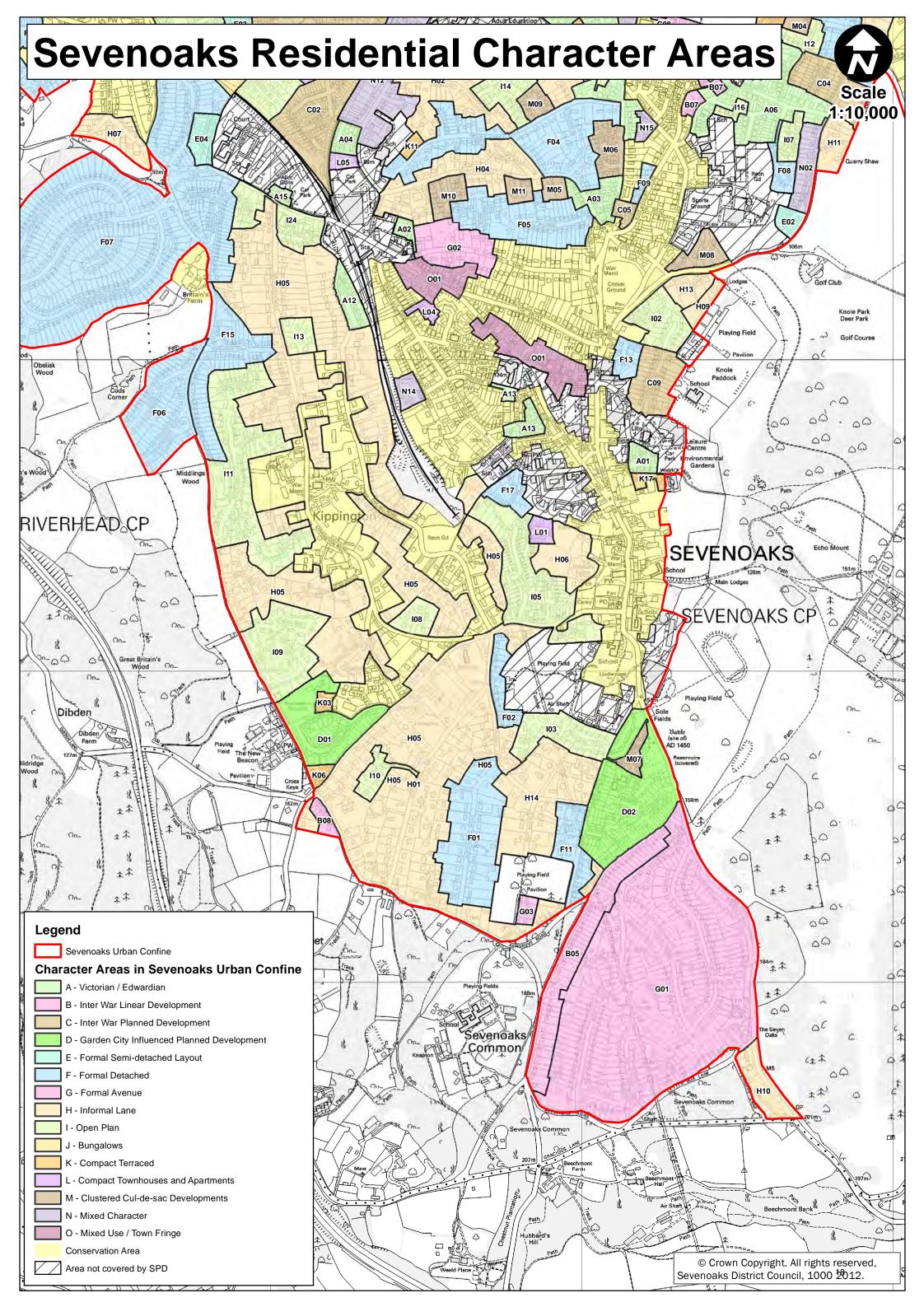
In setting out the important features and overall character of identifiable residential areas of Sevenoaks, a local context is provided for the preparation and consideration of development proposals. This forms a canvas within which proposals for development should be conceived and determined. Design Guidance based on the identified locally distinctive features is included for each Character Area. This along with other relevant planning policy documents and guidance will form the basis for decision making on development proposals.

Whilst the principal characteristics for all areas have been summarised, it has not been possible to illustrate each individual feature and consequently the absence of a feature from this document does not necessarily mean that it is unimportant to the character of the local area.











8 List of Character Areas

A Victorian/ Edwardian

A01 Buckhurst Avenue p.29

A02 St. Botolph's Avenue p.33

A03 Dartford Road/ Hitchen Hatch Lane p.37

A04 Bosville Road p.43

A05 St John's Road Area p.46

A06 Bayham Road Area p.58

A07 Seal Road/ Chatham Hill Road p.66

A08 Seal Road/ Greatness Road/Grove Road p.70

A09 London Road/Milton Road Area p.75

A10 Otford Road/ Cramptons Road p.79

A11 London Road/ Donnington Road p.83

A12 Holyoake Terrace p.88

A13 Victoria Road Area p91

A14 Westerham Road (east) p.95

A15 Quarry Cottages p.101

B Inter War Linear Development

B01 Hillingdon Avenue (east) p.107

B02 Bradbourne Road p.110

B03 Quaker's Hall Lane p.113

B04 Seal Road p.117

B05 Weald Road p.121

B06 Bullfinch Lane p.125

B07 Bayham Road p.130

B08 Ashgrove Road p.133

B09 Hospital Road p.136

C Inter War Planned Development

C01 Lambarde Road p.141

C02 Bosville Drive p.147

C03 Hamlin Road p.151

C04 Hillside Road p.155

C05 Vine Court Road p.159

C06 Pinewood Avenue p.163

C07 Lennard Road p.168

C08 Wickenden Road p.172

C09 Knole Way p.177

C10 Larkfield Road p.181

C11 Orchard Road p.185

C12 Greatness Lane p.189

D Garden City Influence Planned Development

D01 Grange Road p.195

D02 Solefields Road ACE^æ p.199

D03 Lusted Road p.204

D04 Crescent Cottages p.208

D05 Orchard Close p.212

D06 The Crescent p.215

D07 Hillingdon Rise p.219

D08 Bradbourne Vale Road p.225

D09 Bullfinch Close West p.229

E Formal Semi-detached Layout

E01 Darent Close p.235

E02 The Paddocks p.238

E03 Betenson Avenue p.241

E04 Uplands Close p.245

E05 Church Fields p.248

F Formal Detached

F01 Burntwood Road p.255

F02 Grassy Lane (east side) p.259

F03 Wildernesse Mount Area p.262

F04 Mount Harry Road Area p.267

F05 Vine Avenue/Ashley Road Area p.273

F06 Downsview Road p.278

F07 Montreal Park p.282

F08 Knole Road p.288

F09 Vine Court Road p.291

F10 St Mary's Drive p.294

F11 Solefield p.298

F12 Scotts Way p.302

F13 Warren Court p.305

F14 Woodfields p.308

F15 Redlands Road/Brittains Lane p.311

F16 Barnfield Road p.316

F17 Crownfields p.320

G Formal Avenue

G01 White Hart Area p.325

G02 St Botolph's Road p.335

G03 West Heath Lane p.339

H Informal Lane

H01 Hopgarden Lane p.345

H02 Linden Chase/Woodside Road p.353

H03 Seal Hollow Road/Blackhall Lane Area p.360

H04 Hitchen Hatch Lane p.364

H05 Kippington Road Area p.370

H06 Rectory Lane p.382

H07 Montreal Road p.386

H08 Packhorse Road p.390

H09 Knole Estate Road p.397

H10 Tonbridge Road p.400

H11 Seal Hollow Road (near Bayham Road) p.403

H12 Ash Platt Road p.406

H13 Seal Hollow Road (near Park Lane) p.409

H14 Oak Avenue Area p.412

H15 Seal Hollow Road (near Wildernesse Avenue) p.419

H16 Cold Arbour Road p.422

H17 Off Chipstead Lane p.427

I Open Plan

I01 Nursery Place p.433

102 Plymouth Park p.436

103 Soleoak Drive p.440

104 Highlands p.444

105 The Dene p.447

106 Filmer Lane p.452

107 Quaker Close p.455

108 Garvock Drive p.458

109 Beaconfields p.461

I10 Whitefriars p.464

111 The Middlings p.467

I12 Serpentine Court p.471

I13 Rosefield p.474

I14 Pineneedle Lane p.477

I15 Lyle Park p.481

I16 Serpentine Road p.484

I17 Rookdean p.487

I18 Chipstead Park p.490

I19 Chesterfield Drive p.493

I20 Springshaw Close p.497

I21 Watercress Drive p.500

I22 Pontoise Close p.503

I23 Lake View Road p.507

I24 Courtwood Drive Area p.511

J Bungalows

J01 Homefield Road p.517

J02 Sandilands p.520

J03 Off Chipstead High Street p.524

J04 The Patch p.527

J05 Mount Close p.530

J06 Hillingdon Avenue (west) p.533

K Compact Terraced and Apartments

K01 Bessels Way p.539

K02 Kennedy Gardens p.543

K03 Julians Close p.547

K04 Berwick Y æ p.550

K05 Glyn Davies Close p.553

K06 Cross Keys Close p.556

K07 Silk Mills Close p.559

K08 Elmstead Close p.562

K09 Chatham Hill Road p.565

K10 Longmeadow p.568

K11 Kirk Court p.572

K12 Crampton • Road p.575

K13 Hillingdon Avenue p.580

K14 Queens Drive p.584

K15 Farm Road p.587

K16 Denes Field Court p.591

K17 Akehurst Lane p.594

K18 Morel Court p.598

K19 Bullfinch Close p.601

L Compact Townhouses and Apartments

L01 Valley Drive p.607

L02 Mill Pond Close p.610

L03 The Sidings p.614

L04 Knotts Place p.618

L05 The Acorns p.622

L06 Meadow Close p.625

M Clustered Cul-de-sac Developments

M01 Mill Road p.631

M02 Pinehurst p.635

M03 Martin's Shaw p.638

M04 Lansdowne Road p.641

M05 Hitchen Hatch Place p.644

M06 The Thicketts p.647

M07 Fiennes Way p.651

M08 Hollybush Close p.654

M09 Birch Close p.657

M10 Winchester Grove and Oakwood Drive p.660

M11 White Lodge Close p.663

M12 Bullfinch Dene p.666

N Mixed Character

N01 St John's Hill p.673

N02 Seal Hollow Road (near Bayham Road) p.678

N03 London Road p.681

N04 Bradbourne Vale Road/Heathfield Road p.686

N05 London Road Barretts Road Area p.690

N06 London Road /Vicarage Lane p.693

N07 London Road /Kingswood Road Area p.696

N08 St James's Road St Georges Area p.701

N09 Mill Lane/ Seal Road p.709

N10 Bullfinch Close Area p.713

N11 Baden Powell Road p.716

N12 Bradbourne Park Road p.719

N13 Westerham Road (west) p.725

N14 Clarendon Road p.728

N15 Hollybush Lane p.732

O Town Centre Fringe Mixed Use Area

O01 Tubbs Hill/ London Road/ Pembroke Road p.737

A VICTORIAN/ EDWARDIAN CHARACTER AREAS







It was the arrival of the railway in the mid nineteenth century that stimulated the Victorian and Edwardian house building. Many small pockets of terraced houses were built close to the town centre, railway line or places of work such as the gas works. Larger houses were built as suburbs for new rail commuters.

The terraced or semi detached two storey houses are set in narrow plots fronting directly onto the road or set behind shallow front gardens and low brick walls. Often the properties in a particular street, or part of a street, are of a uniform design giving each street an individual character. Semi-detached properties were designed as symmetrical pairs. Larger detached properties are set further back from the road within larger plots with landscaped front gardens and boundaries.

The terraced and small semi detached houses are generally located in narrow streets with regular building lines which gives a tight knit character with few public open spaces. Since these streets are narrow and the properties are set close to the road and each other, there is little off street parking space. As a result the historic character is frequently affected by on-street parking. The larger semi detached and detached properties also tend to be built on a regular building line but are located on wider streets.

The buildings are constructed in a limited harmonious range of materials including yellow and red brick and (originally) slate or tile roofs with flat fronts or bay windows. Ragstone is also a prominent material for the larger semi detached properties in Sevenoaks. Arched brickwork or stone lintels span vertical style sash window and door openings. Some properties have simple decorative features including name and date plates, string courses of contrasting brick and ridge tiles. In semi detached properties the doors are usually placed in pairs centrally or in the side elevations. In terraced houses the front doors and rear extensions are paired together. The unified, simple pitched roof lines fronting the street generally slope down towards the road. Plain chimneys are centrally placed on the roof ridge.

Although the original sash windows, panelled front doors and roof tiles or slates have been replaced on many properties, intrusive extensions and dormer windows visible from the public realm have generally been kept to a minimum. Few Victorian properties have been demolished in the 20th century and the original character and scale of these streets has been retained.



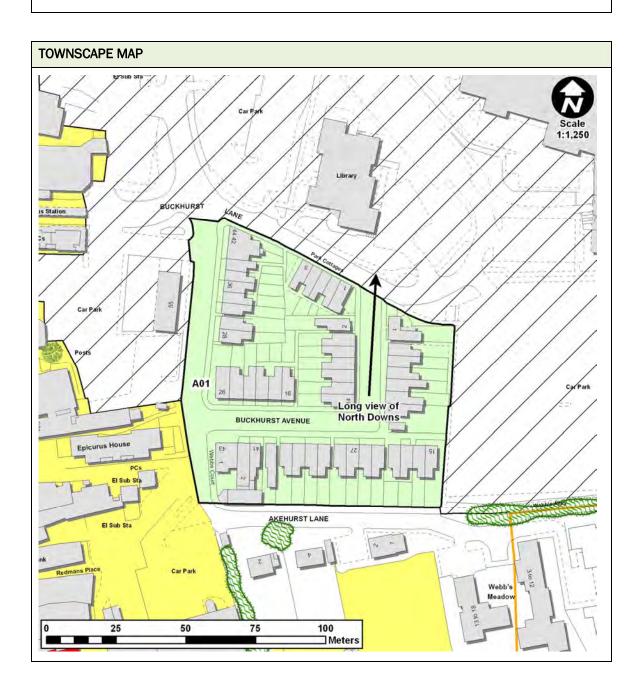
Example of Victorian / Edwardian Character Layout

A01 - BUCKHURST AVENUE

Comprising Buckhurst Avenue, Buckhurst Lane

HISTORICAL CONTEXT

The Buckhurst Lane area was built in the late Victorian period close to the centre of town to house local workers.



Locally Distinctive Contextual Features		
Age of buildings	1890s to early 1900s	
Type of buildings	Terraced	
Main uses	Residential with some business uses	
Building heights	Two storeys	
Prominent building materials	Yellow or red brick, render. Original slate (or replacement concrete) roofs.	
Predominant boundary treatments	Houses to back edge of pavement with some low red brick walls	
Open space/ vegetation	None	

Area Characteristics





The narrow streets lined with two storey terraced houses sited on a regular building line to the back edge of pavement or behind shallow front gardens give a strong sense of enclosure. Buckhurst Avenue rises to the south east corner creating a stepped roof line. A mix of bricks and render and different groups of designs give variety to the street scene. Many original windows, doors and roof materials have been replaced.

Parked cars line the streets and affect the character of the area. Views of the North Downs are visible to the north (above left).





Commercial premises are part of the mixed use character of buildings within the Victorian area



This well designed extension fits well within the character of the street. The scale, building line, materials, fenestration and detailing all respect the adjoining properties and the street scene.

Detractor



The building terminating the vista along Buckhurst Lane does not enclose the street.

Overhead wires detract from the character of the area

Locally Distinctive Positive Features

Terraced houses set on a regular building line close to the narrow road to the back edge of pavement or behind shallow front gardens give a sense of enclosure

Repeated designs in small cohesive groups within streets

Designs varied by use of bays, gables and use of materials

Harmonious range of limited materials

Vertical style sash windows on Victorian properties

View of the North Downs

Negative Features

Some replacement windows, doors and roof slates

Overhead wires

On street parking

Design Guidance

The Victorian grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for repairs to historic buildings, replacement windows, doors and roofing or extensions to existing buildings.

In proposing new development within the Buckhurst Avenue Character Area:

The harmonious palette of yellow and red brick or white render and original slate roofs should be respected

Regular building lines to the street should be respected

Traditional windows and doors and detailing should be retained or reinstated

The view of the North Downs should be protected.

A02 ST BOTOLPH'S AVENUE

Comprising St Botolph's Avenue

HISTORICAL CONTEXT

St Botolph's Avenue was built for working class tenants in 1905/6 by the Sevenoaks Cooperative Society.



Locally Distinctive Contextual Features			
Age of buildings	1905 - 1906		
Type of buildings	Terraced		
Main uses	Residential		
Building heights	Two storeys		
Prominent building materials	Red brick, render with tiled roofs.		
Predominant boundary treatments	None		
Open space/ vegetation	Little space for vegetation but trees to the north help frame the space		

Area Characteristics



St Botolphs Avenue houses are approached along a long private drive passing parking areas to the south with a dog leg to the north accommodating most of the development.

Mature trees help frame the space and provide a contrast to the build form,





The first three houses to be built were built as a short terrace (above left) whilst a second short terrace of three closes the vista from St Botolph's Road. The remainder of the road comprises two long terraces on opposite sides of the road giving a strong sense of enclosure (above right). The 2 storey houses with red brick walls and window dressings rendered to the first floor have a tiled canopy over canted bays and doors. The long terraces have constant pitched roof lines to the street whist the short terraces have small gable features. Chimneys are also part of the street scene. The scale, building and roof lines and limited harmonious range of materials give a unity of character. Shallow front gardens are not generally enclosed.

Townscape Features



The traditional street lamp adds to the historic character of the area but the overhead wires detract from the streetscape



The granite kerbs and sets and pink surfacing provide an historic and distinctive setting for this estate.

Detailing

Many original doors within recesses have been retained and add to the historic distinctiveness of the area.



Detractors

The tall office blocks on Tubbs Hill have a dominant impact on the setting of this Edwardian enclave of two storey houses.



Locally Distinctive Positive Features

Houses sited on a regular building line set behind shallow front gardens give a sense of enclosure

Simple roof lines of the long terraces

Designs varied by use of bays, small gables and use of materials

Harmonious range of limited materials

Traditional brickwork detailing, many original doors and vertical style sash windows

Granite setts edge the road

Traditional street lamp

Negative Features

Tall office blocks on Tubbs Hill have a dominant impact on the setting of the area

Design Guidance

The Victorian grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for repairs to historic buildings, replacement windows, doors and roofing or extensions to existing buildings.

In proposing new development within the St Botolphs Character Area:

Regular building lines and unified simple roof lines presented to the street should be respected

The harmonious palette of red brick or render and original tile roofs should be respected

Traditional windows and doors and detailing should be retained or reinstated

Mature trees and hedged boundaries which contribute to the character of the road should be retained or reinstated

The character of the traditional lamp standard townscape feature and granite kerbs and sets should be retained.

A03 - DARTFORD ROAD/ HITCHEN HATCH LANE

Comprising Hitchen Hatch Lane, Dartford Road (part)

HISTORICAL CONTEXT

The Hitchen Hatch Lane area was formerly part of the original Bradbourne House Estate, and included nurseries, orchards, a planned informal landscape. The area was developed in the Victorian times.



Locally Distinctive Contextual Features	
Age of buildings	1850s to early 1900s
Type of buildings	Terraced, semi-detached with some detached
Main uses	Residential with some community and business uses
Building heights	Two storeys with some 3 and 4 storeys
Prominent building materials	Yellow or red brick, render with some half-timbering. Original slate or red tile (or replacement concrete) roofs.
Predominant boundary treatments	Yellow brick walls (topped by railings or hedges), picket fences
Open space/ vegetation	Trees and planting to front gardens

Area Characteristics



The southern entrance to Hitchen Hatch Lane is enclosed by buildings set to the back edge of the pavement and a wall topped with high hedge.





Away from the narrow entrance to Hitchen Hatch Lane, two storey houses on the east side have greater variety through the stepped building line and the introduction of single storey bays and some gables facing the streets. The scale and limited harmonious range of materials give a unity of character.

Shallow front gardens are enclosed by low yellow brick walls and piers with white copings and topped with decorative railings or hedges. Original details are important to the character of this area and contrasting red brick string courses, arches above windows and doors and decorative chimneys and railings all add a richness to the street scene.



A small enclosed enclave of Victorian cottages is set behind the other houses on the east side of Hitchen Hatch Lane around a green space surrounded by mature landscaping giving additional historical and townscape interest to the street scene.



Symmetrically designed pairs of Edwardian semi-detached properties on the western side of the street follow a regular building line around a curved street. The gabled, bayfronted properties with steep roof pitches are set up above the lane behind brick/ stone walls and shallow front gardens. These properties with the mature landscaping from the adjoining Character Area provide a strong sense of enclosure. Red brick and render predominate with some half timbered features. A bungalow does not match the scale of the street





The width of Dartford Road and the mass and form of Victorian buildings fronting it on the west side indicates the importance of this road. Strong unity of character is achieved through the predominance of yellow stock bricks, with contrasting red brick details, and slate roofs. The properties are set on a stepped building line behind deeper front gardens (many used for off street parking).



A row of shops are set close to the road with repeated gable ends facing the street and traditional shop front openings

Views

Hitchen Hatch Lane drops steeply and views of the North Downs are visible above the roofs.



Townscape Feature



The three storey building at the junction of Hitchen Hatch Lane and Dartford Road is a dominant feature located within the adjoining Vine Conservation Area

Boundary Treatment



Boundary Treatment Yellow brick walls topped by decorative railings or hedges are features of this area and add significantly to its character

Detailing





Traditional detailing such as decorative ridge tiles and chimneys, contrasting brick arches or white painted lintels above doors and windows, string courses, corbelled brickwork and brick or stucco quoins are features of this area and add significantly to its character.

Locally Distinctive Positive Features

Houses set close to the road behind shallow front gardens and landscape features give a sense of enclosure to Hitchen Hatch Lane

The width of Dartford Road and the mass and form of Victorian buildings fronting it on the west side

Terraced or closely spaced semi-detached houses set in narrow plots

Repeated and often symmetrical designs in small cohesive groups within streets

Designs varied by use of bays, gables and use of materials

Harmonious range of limited materials

Traditional detailing on the brickwork, roofs and front boundaries

Vertical style sash windows on Victorian properties

Front gardens with boundary walls

View of the North Downs from Hitchen Hatch Lane

Negative Features

Some infill development which does not respect the character of the area

Some replacement windows, doors and roof slates

Some loss of front boundaries and gardens to accommodate off street parking

Design Guidance

The Victorian grain of the area with substantially built up frontages leaves little scope for new development. There is some opportunity for the replacement of some modern buildings of indifferent quality which do not respect the character of the area but the area is likely to remain largely unchanged over time.

There may be pressure for repairs to historic buildings, replacement windows, doors and roofing or extensions to existing buildings. In addition, the pressure for off street parking may impact on the character of front boundaries and gardens.

In proposing new development within the Hitchen Hatch Lane/ Dartford Road Character Area:

The set back of existing buildings and sense of enclosure should be respected

The harmonious palette of yellow and red brick or white render and original slate roofs should be respected

Traditional windows and doors and detailing should be retained or reinstated

Traditional brick walls, black metal railings and hedged boundaries, together with mature specimen trees which contribute to the character of a street, should be retained or reinstated

Where off street parking is proposed within front curtilages, boundaries with neighbouring properties should be retained and enhanced and the maximum length of front boundary retained to help enclose the road space, define the boundary between public and private space and help reinforce the character of an area. Wherever possible permeable surfaces should be used which are in keeping with the character of the property and its curtilage

The views of the North Downs should be protected

The setting of the adjoining Vine and Vine Court Conservation Areas should be protected or enhanced.

A04 - BOSVILLE ROAD AREA

Comprising Bradbourne Park Road (part), Bosville Road (part), Bosville Avenue

HISTORICAL CONTEXT

The area was formerly part of the original Bradbourne House Estate, and was developed in the early 1900's close to the railway.



Locally Distinctive Contextual Features	
Age of buildings	Early 1900s
Type of buildings	Terraced, semi-detached and detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Red/ orange brick, red tile roofs
Predominant boundary treatments	Red brick wall and hedge
Open space/ vegetation	Hedged front gardens and enclosing Bosville Road, railway embankment trees and trees within the adjoining Character Area





The terraces of houses with shallow front gardens in Bosville Road enclose the street on regular building lines. Groups of houses of repeated designs, fenestration, chimneys, materials and detailing add to the unity of character. End of terrace hipped roofs add to a regular roof line.

The railway bridge encloses the vista in Bosville Road from the east. The hedge and embankment trees form the edge of the character area, enclose the space and provide a contrast to the built up terraces.



The railway bridge frames the vista of Bosville Road from the west. The hedge and trees from the adjoining Character Area form the edge of the character area enclose the space and provide a contrast to the built up terraces.





Bosville Avenue is a private road enclosed to the west by railway embankment trees and comprising a mix of 1930s and 1960's semi detached and detached houses of mixed designs and materials.

Locally Distinctive Positive Features

Terraces houses set on regular building lines close to the road behind shallow front gardens give a sense of enclosure to St Botolph's Avenue

Repeated designs in small cohesive groups within streets except in Bosville Avenue

Designs varied by use of bays, hipped roofs and use of materials

Harmonious range of limited materials except in Bosville Avenue

Trees enclose the street scene, mark the edge of the character area and provide a contrast to the built up terraces

Railway bridge encloses and frames the vistas

Negative Features

No unified character to Bosville Avenue

Design Guidance

The Edwardian grain of the area with substantially built up frontages leaves little scope for new development. There is some opportunity for the replacement of some modern buildings of indifferent quality which do not respect the character of the area but the area is likely to remain largely unchanged over time.

There may be pressure for repairs to historic buildings, replacement windows, doors and roofing or extensions to existing buildings.

In proposing new development within the Bosville Road Character Area:

Regular building lines to the street should be respected

The harmonious palette of red/ orange brick should be respected

Traditional windows and doors should be retained or reinstated

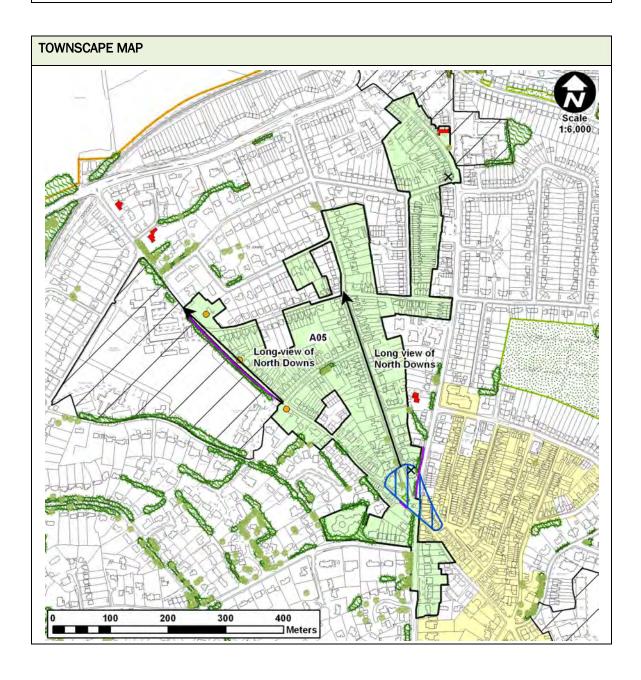
Traditional brick walls and hedged boundaries, together with mature specimen trees which contribute to the character of the area, should be retained or reinstated

A05 ST JOHN'S ROAD AREA

Comprising St John's Road, St John's Hill (part), Dartford Road (part), Bradbourne Road (part), Camden Road, Amherst Road, St George's Road (part), St James's Road (part), Mount Harry Road part), Golding Road (east side)

HISTORICAL CONTEXT

St Johns was the beginning of the development of Sevenoaks as a commuter town and comprises a Victorian dormitory suburb. There are some fine examples of early speculative housing constructed to take advantage of the proximity to the Bat and Ball railway station serving the London, Chatham and Dover railway line.



Locally Distinctive Contextual Features	
Age of buildings	1850s to present day
Type of buildings	Terraced, semi-detached with some detached
Main uses	Residential with some community and business uses
Building heights	Two storeys with some 3 and 4 storeys
Prominent building materials	Yellow or red bricks, render with original slate (or replacement concrete) roofs. Some ragstone
Predominant boundary treatments	Yellow or red brick and ragstone walls (topped by railings or hedges), picket fences
Open space/ vegetation	Formal Rheinbach Garden Trees and planting to front gardens

Area Characteristics







Larger scale development of greater height and mass is situated along Dartford Road (left), St John's Road (right) and in the form of two pairs of semi-detached villas in St George's Road (centre). The larger buildings are set further back from the road behind deeper front gardens with the opportunity for tree planting. Gables which face the street and basements raise the front elevation and give the appearance of a greater scale. Mature trees complement the scale of the buildings and provides a contrast to the built form. The Dartford Road properties are important to the setting of the Hartslands and Vine Court Road Conservation Areas.



In Mount Harry Road, gables which face the street produce a rhythm of repeated features and raise the front elevation - giving the appearance of a greater scale. Mature trees complement the scale of the buildings, enclose the street and provide a contrast to the built form. The row of similar villas is unified by the building line, repeated gables, bays and fenestration and a limited harmonious range of materials



In Camden Road, gables which face the street produce a rhythm of repeated features and raise the front elevation giving the appearance of a greater scale. The row of similar villas is unified by the building line, repeated gables, bays and fenestration, detailing and a limited harmonious range of materials.





Smaller scale development such as Bradbourne Road is more typical of the area. Typically 2 stories in height with yellow brick or white painted render with constant pitched roof lines and chimneys. The scale, building and roof lines and limited harmonious range of materials give a unity of character. Shallow front gardens are enclosed by low yellow brick walls and piers with white painted coping stones or picket fencing. Original details are important to the character of this area and contrasting red brick string courses and window surrounds, brick quoins, arches above windows and doors and decorative chimneys all add a richness to the street scene.





Smaller scale development in Amherst Road (left) Camden Road (right) has greater variety through the introduction of single and two storey bays, some with gables facing the streets. The scale, building and roof lines and limited harmonious range of materials give a unity of character. Shallow front gardens are enclosed by low red brick walls and piers with black copings and topped with decorative railings or hedges. Original details are important to the character of this area and contrasting yellow brick string courses, arches above windows and doors, date plates and decorative chimneys and railings all add a richness to the street scene





Golding Road (east side) has strong unity of character with rows of similar cottages unified by the building line, repeated fenestration and chimneys. Although gently stepped, the simple roof line adds unity to the groups of houses. The regular window and door patterns and repeated chimneys set up a rhyth



The group of houses in St James Road are important in terminating the vista from Golding Road. Variety is introduced through single storey bays and variations of yellow brick and render. The scale and building lines, simple stepped roof line and limited harmonious range of materials give a unity of character. Original details are important to the character of this area and contrasting red brick string courses, arches above windows and doors and decorative chimneys all add to the distinctive character of this area. Some loss of front boundaries and gardens is evident to provide parking.

Landscape



Rheinbach Garden provides the only public open space in this area. adjoining a cluster of community buildings and shops/ cafes. The low level planting and road junction add a sense of openness to an otherwise compactly developed area. Mature trees help frame the space and the entrance to St John's Road and provide an important contrast to the build form. The ragstone church boundary wall repeats the church materials and helps enclose the street. The planted trough forms an interesting feature. The traffic signs and road surface detract from the character of this area.

Views







The St John's Road area is situated on a slope which drops down to the north. As a result, the streets which run north out of the town - St John's Road (left), St John's Hill (centre) and Bradbourne Road (right) - have long views of the North Downs which help to visually enclose the streets and provide a contrasting green backdrop to the built form of the town. Bradbourne Road (right) is also enclosed to the western side of street by mature landscaping and a ragstone wall.

Landmarks

Sevenoaks United Reform Church provides a landmark feature by virtue of the height of the tall tower and mature landscaping, its elevated situation, its location at a junction from which a number of streets radiate, the use of ragstone for the building and surrounding walls (which due to its elevated position encloses the eastern side of St. John's Hill). The building is an historic and visual reference point and assists the legibility of the area. The vegetation to the east of the church encloses the street, frames the view of the North Downs and provides a contrast to the built form.

The junction, with its open space and surrounding community and commercial uses forms a node of activity for this area. The eastern side of this space is formed by

The state of the s

The scale, use and location of the three storey public house which turns the corner between St John's Hill and St James Road create a landmark feature.



Townscape Features



The bell tower and the former Bradbourne Estate buildings form an historic townscape feature set close to Bradbourne Road

The tower feature in Bradbourne Road is an unusual castellated feature which helps punctuate the regular row of houses and gable ends within the street scene.



The Victorian Bradbourne estate house can be glimpsed at the junction of Bradbourne Road and Camden Road. The modest white painted, slate roofed two storey detached house has a projecting porch with sloping roof and gable detail above the door.



Although poorly maintained, the wrought iron shafts which appear in the area form historic townscape features



Boundaries





The traditional railings enclosing the front gardens in the area add to the character of the area.



The ragstone wall extending along the western edge of Bradbourne Road is an historic boundary to the Bradbourne Estate and encloses the road for much of its length

Detailing







Traditional detailing such as decorative barge boards and ridge tiles, contrasting brick or stucco arches, string courses, corbelled brickwork, brick or stucco quoins, and date and name plates are features of this area and add significantly to its character.

Mixed Uses







The traditional Victorian character of the St John's Road area is reinforced by a number of community and commercial buildings (often at junctions) which add to the character of the area







The St. John's Hill mixed use area north of St James Road is on a slope which drops down to the north and comprises residential, retail, community and other uses. The generally two storey development (some with gables facing the street) is situated to the back edge of pavement along a narrow curved street which with mature trees creates a strong sense of enclosure. Some shop fronts are restrained and well designed within the proportions of the facade (below left). Others are boarded up and detract from the parade





Detractors





The height, bulk, roofline/pitch. Fenestration and materials of the three story building in St John's Road (left) and the roof pitch, fenestration and materials of the property in Bradbourne Road (right) do not respond closely to the character of the area.





Infill development Mount. Harry Road (left) reflects the scale and materials from the character area and retains the strong tree line which enchase the street and helps acreen the development. The building line is compromised by the large forecourt periong. The building roofline, large square windows and lack of detailing do not help the building (right) to assimilate successfully into the character of the area.





The roof pitch, fenestration, materials and building line of the properties in Bradbourne Road do not respond closely to the character of the area





The loss of front boundaries and front gardens for off street parking changes the character of the street.

Listed Buildings

128 - 134 St John's Hill

Early 19th Century Cottages, two storeys, stucco and weather boarded with mostly sash windows with glazing bars.

Grade 2



Locally Distinctive Positive Features

Houses sited on a regular building line set behind shallow front gardens give a sense of enclosure

Terraced or closely spaced semi-detached houses set in narrow plots

Simple roof lines in many streets

Repeated and often symmetrical designs in small cohesive groups within streets

Designs varied by use of bays, gables and use of materials

Harmonious range of limited materials

The gable ends, fenestration and chimneys facing some streets produce a rhythm of repeated features

Traditional detailing on the brickwork, roofs and front boundaries

Restrained shop fronts and advertising to some commercial premises

Vertical style sash windows

Front gardens with boundary walls, hedging and fencing – some mature trees contributing significantly to local character

Landmark buildings Sevenoaks United Reform Church and The Castle Public House

Listed building

Bell tower on the former Bradbourne Estate buildings and tower feature in Bradbourne Road; Bradbourne estate house and wrought iron shafts townscape features

Rheinbach Garden amenity open space at the centre of a node of different uses

Community and commercial buildings interspersed with the residential development often at iunctions

Views of the North Downs

Negative Features

Some infill development which does not respect the character of the area

Some replacement windows, doors and roof slates

Some loss of front boundaries and gardens to accommodate off street parking

High boundary fencing is not the traditional boundary for this area

Some poor road surfacing

Street sign clutter at the Rheinbach Gardens junction

Design Guidance

The Victorian grain of the area with substantially built up frontages leaves little scope for new development. There is some opportunity for the replacement of some modern buildings of indifferent quality which do not respect the character of the area but the area is likely to remain largely unchanged over time.

There may be pressure for repairs to historic buildings, replacement windows, doors and roofing or extensions to existing buildings. In addition, the pressure for off street parking may impact on the character of front boundaries and gardens.

In proposing new development within the St John's Character Area:

Regular building lines and unified simple roof lines presented to the street should be respected

The harmonious palette of yellow and red brick or white render and original slate roofs should be respected

The rhythm of repeated gable ends, window and door openings and chimneys prevalent in some streets should be retained

Traditional windows and doors and detailing should be retained or reinstated

Traditional brick walls, black metal railings and hedged boundaries, together with mature specimen trees which contribute to the character of a street, should be retained or reinstated

Where off street parking is proposed within front curtilages, boundaries with neighbouring properties should be retained and enhanced and the maximum length of front boundary retained to help enclose the road space, define the boundary between public and private space and help reinforce the character of an area. Wherever possible permeable surfaces should be used which are in keeping with the character of the property and its curtilage

The character of the Sevenoaks United Reform Church and the Castle Public House landmark buildings should be retained

The character of the bell tower on the former Bradbourne Estate buildings and tower feature in Bradbourne Road; Bradbourne estate house and wrought iron shaft townscape features should be retained

The Rheinbach Garden amenity open space should be protected and enhanced

The mixed use character of the area should be retained

The views of the North Downs should be protected

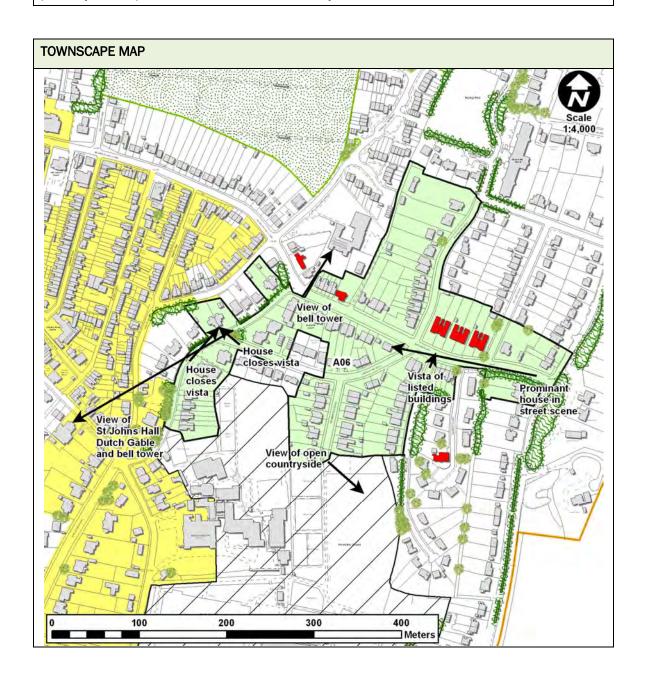
The setting of the adjoining Hartslands Conservation Areas should be protected or enhanced.

A06 BAYHAM ROAD AREA

Comprising Bayham Road, Serpentine Road, Knole Road, Holmesdale Road, Seal Hollow Road (part)

HISTORICAL CONTEXT

Laid out in the late 19th Century, this area of former farmland comprised a Quakers Hall and farmhouses which was carved up to provide land for speculative building. The area reflects the developing popularity of Sevenoaks as a Victorian dormitory satellite town for London and a town in its own right. The houses were originally built for rent, to similar but not identical designs probably from a pattern book rather than drawn by an architect.



Locally Distinctive Contextual Features	
Age of buildings	1850s to mid 1900s
Type of buildings	Semi-detached with some detached and terraced
Main uses	Residential
Building heights	Two storeys some with basements and attic rooms
Prominent building materials	Ragstone with some yellow or red brick, render with original slate or red tiles (or replacement concrete) roofs.
Predominant boundary treatments	Ragstone walls (some topped by railings), hedges
Open space/ vegetation	Trees and planting to front, side or rear gardens, hedging enclosing side/ rear gardens abutting the footway

Area Characteristics









Large symmetrical semi-detached villas are closely spaced along the streets of this area: examples shown from Knole Road (top left), Bayham Road (top and bottom right) and Holmesdale Road (bottom left). Gables generally face the street and basements raise the front elevation and give the appearance of a greater scale. Bays and attic windows are often present within the gables. Where groups of gabled properties occur, they produce a rhythm of repeated features along the street. Ragstone is the predominant facing material with contrasting brick details. The buildings are set on a regular building line behind front gardens with the opportunity for tree planting. The wide streets of similar villas are unified by the building line, repeated gables, tall chimneys, bays and fenestration and a limited range of traditional local materials.





Pockets of smaller scale development such as Bayham Road (above) are interspersed with the larger villas. Typically 2 stories in height with yellow brick or white painted render with pitched and hipped roofs and chimneys contrasting with the larger gable fronted properties







The predominant ragstone facades are occasionally replaced by yellow or red brick or tile hanging. The building line, boundary treatment, gable features and detailing all respect the character of the area.

The listed buildings 52 - 56 Bayham Road (see Listed Buildings section below) represent a significant contrast in character within this part of Bayham Road

Landscape











Whilst not a dominant feature of this area, mature trees and hedges which enclose front, side or rear gardens play an important role in the character of this area. The trees and hedges enhance the townscape by enclosing the street and providing a natural contrast to the built form. Examples shown: Knole Road (top left), Bayham Road (top middle, top right and bottom left) and Serpentine Road (bottom right). The trees in the adjoining Character Area on Seal Hollow Road (bottom left) terminate the vista of Bayham Road and enclose the street.

Views





Views of bell towers located outside the area from Bayham Road assist legibility within the area

Townscape Features



The large red brick Queen Anne style detached house with symmetrical front elevation with vertical windows (23 Bayham Road) is prominent in the street scene at the junction with Serpentine Road



The large 1905 red brick semi-detached house 80/82 Bayham Road has an important role in terminating the vistas along Bayham Road from the south and Serpentine Road from the east. The houses and associated hedged garden ensure both streets are enclosed.

This part of Bayham Road forms part of the setting of Vine Court Conservation Area.

Boundary Treatment





The traditional ragstone walls and railings enclosing the front garden add to the character of the area.



Traditional patterned gates and low yellow stock brick walls enclosing the front garden add to the character of the area

Detailing







Traditional detailing such as decorative barge boards and ridge tiles, contrasting brick arches, string courses and brick quoins are features of this area and add significantly to its character

Detractors





The bulk of the building, mansard roofline/ pitch, large square windows and lack of detailing do not help the building (left) assimilate successfully into the character of the area. Dormer windows can have an adverse impact on the symmetry of buildings (right).

Whilst functionally important, yellow salt bins appear prominent in the street scene.



Listed Buildings

64 Bayham Lane (Quaker's Hall)

18th Century, two storeys, random stone elevation with red brick quoins and dressings to windows, ridge tile roof with red brick chimney stacks and hipped tile dormers with mostly sash windows with glazing bars.

Grade 2



Early 20th Century pair of semi-detached houses designed by J Leonard Williams. Roughcast with brick quoins on ragstone plinths. Two storeys and basement.

Grade 2

54 and 55 Bayham Road (in Domestic Revival style)

Early 20th Century pair of semi-detached houses designed by J Leonard Williams. Roughcast with timber framing to first floor and gable ends. Two storeys.

Grade 2

56 and 57 Bayham Road (in French Chateau style)

Early 20th Century pair of large semi-detached houses designed by J Leonard Williams. Roughcast with mansard tiled roofs. Fronts have recessed centres. Two storeys.

Grade 2









Locally Distinctive Positive Features

Large gable-fronted, closely spaced semi-detached villas sited on a regular building line set behind shallow front gardens give a sense of unity and enclosure

Repeated and often symmetrical designs in small cohesive groups within streets

House designs given variety by use of bays, gables and use of materials

Harmonious range of limited materials

Gable ends, fenestration and chimneys produce a rhythm of repeated features

Traditional detailing on the brickwork, roofs and front boundaries

Vertical style sash windows

Listed buildings

23 and 80/82 Bayham Road townscape features

Views of bell towers located outside the area from Bayham Road

Front gardens with boundary walls, hedging and fencing

Hedges and trees which surround front, side and rear gardens enclose the streets

Negative Features

One infill development which does not respect the character of the area

Some replacement windows, doors and roof slates

Some loss of front boundaries and gardens to accommodate off street parking

Dormer windows which detract from the symmetry of houses

Yellow salt bins

Design Guidance

The Victorian grain of the area with substantially built up frontages leaves little scope for new development. There may be opportunities for the subdivision of large villas into flats although the piecemeal alterations to large detached or set pairs and terraces of houses (particularly at roof level) together with the impact of parking provision will have to be carefully considered in respecting the character of the area. There are very few buildings of indifferent quality which do not respect the character of the area so redevelopment opportunities are limited.

There may be pressure for repairs to historic buildings, replacement windows, doors and roofing or extensions to existing buildings. In addition, the pressure for off street parking may impact on the character of front boundaries and gardens.

In proposing new development within the Bayham Road Character Area:

Regular building lines to the street should be respected

The harmonious palette of ragstone, yellow and red brick or white render and original slate roofs should be respected

The rhythm of repeated gable ends, window and door openings and chimneys prevalent in some streets should be retained

Traditional windows and doors and detailing should be retained or reinstated

Traditional ragstone and brick walls, black metal railings and gates and hedged boundaries, together with mature specimen trees which contribute to the character of a street, should be retained or reinstated

Where off street parking is proposed within front curtilages, boundaries with neighbouring properties should be retained and enhanced and the maximum length of front boundary retained to help enclose the road space, define the boundary between public and private space and help reinforce the character of an area. Wherever possible permeable surfaces should be used which are in keeping with the character of the property and its curtilage

The listed buildings and their setting should be protected

The character of 23 and 80/82 Bayham Road townscape features should be retained

Views of bell towers located outside the area from Bayham Road should be protected

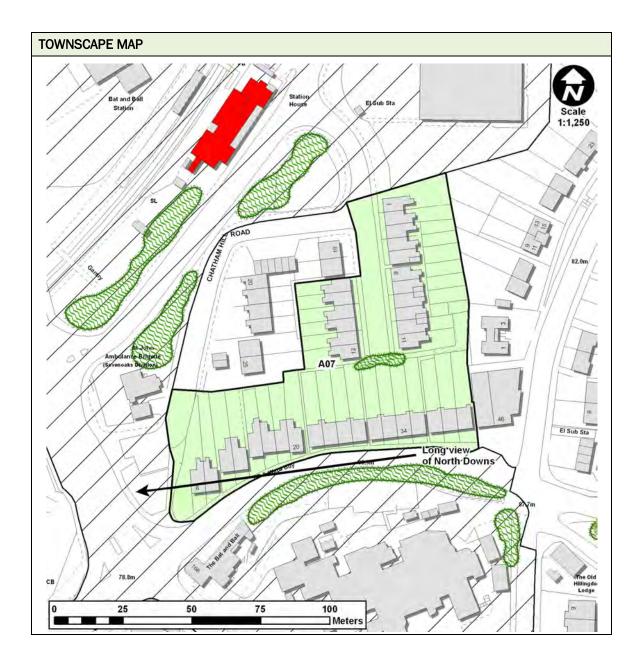
The setting of the adjoining Vine Court Conservation Are a should be protected or enhanced

A07 - SEAL ROAD/ CHATHAM HILL ROAD

Comprising Seal Road (part), Chatham Hill Road

HISTORICAL CONTEXT

The Seal Road/ Chatham Hill Road area grew up around 1910 along the main road (now A25).



Locally Distinctive Contextual Features	
Age of buildings	Early 1900s
Type of buildings	Terraced, semi-detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Red/ orange brick, render with some half-timbering. Red tile roofs.
Predominant boundary treatments	Stone or brick walls
Open space/ vegetation	Vegetation to the south side of Seal Road encloses the street

Area Characteristics





Two storey houses on the north side of Seal Road enclose the curved street. A stepped building line follows the curve but is replaced by a series of short terraces.

The short terraces have single storey bays and arched doorways which provide repeated features.

The scale, repeated designs and limited harmonious range of materials give a unity of character along Seal Road



The short terraces located on a slope have a stepped roofline. The short terraces also have hipped roof and repeated gable features. The chimneys add to the complex interesting rooflines.

The North Downs are visible above the roofs on the lower part of the slope.



Chatham Hill Road is enclosed by terraces of two storey houses located close to the footway behind shallow front gardens. Red/ orange brick ground floors with rendered (mostly white painted) to the first floor are the consistent materials. The short terraces located on a slope have a stepped roofline and gables which give a varied roofline.

Trees enclose the vista and partially screen the back of development facing Seal Road. Overhead wires detract from the street scene.

Locally Distinctive Positive Features

Houses set close to the road behind shallow front gardens give a sense of enclosure

Terraced or closely spaced semi-detached houses set in narrow plots

Repeated and often symmetrical designs in small cohesive groups within streets

Designs varied by use of bays, gables and use of materials

Varied roof line

Harmonious range of limited materials

Vegetation to the south of Seal Road and at the end of Chatham Hill Road

View of the North Downs from Seal Road

Negative Features

Some replacement windows and doors

Traffic noise on Seal Road

Overhead wires in Chatham Hill Road

Design Guidance

The Edwardian grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for repairs to historic buildings, replacement windows, doors and roofing or extensions to existing buildings.

In proposing new development within the Seal Road/ Chatham Hill Road Character Area:

The set back of existing buildings and sense of enclosure should be respected

The harmonious palette of red/ orange brick or white render and original tile roofs should be respected

Traditional windows and doors and detailing should be retained or reinstated

Mature trees and hedged boundaries which contribute to the character of the area should be retained or reinstated

The views of the North Downs should be protected

A08 - SEAL ROAD/ GREATNESS ROAD/ GROVE ROAD

Comprising Seal Road (part), Greatness Road, Grove Road

HISTORICAL CONTEXT

The Seal Road/ Greatness Road/ Grove Road area grew up as a Victorian neighbourhood in the 1890s along, and back from, the main road (now A25). Greatness hall, a Mission Room and Public House served the neighbourhood.



Locally Distinctive Contextual Features	
Age of buildings	Early late 1890s - early 1900s
Type of buildings	Terraced, semi-detached
Main uses	Residential with former public house, hall and Mission Room
Building heights	Two storeys
Prominent building materials	Red/ orange brick, render with some half-timbering. Red tile roofs.
Predominant boundary treatments	Stone or brick walls
Open space/ vegetation	Vegetation to the south side of Seal Road encloses the street

Area Characteristics









Two storey terraced and closely spaced semi-detached houses line the north side of Seal Road. The houses are set close to the narrow road and pavement and have basements which raise the height of the front elevations and add to the sense of enclosure. The properties have steps up to the ground floor.

The groups of short terraces contain repeated designs which, with a common building line, roof line and use of a limited range of harmonious materials, add to the unity of character along Seal Road. Arched doorways are a detailed feature.

The former public house respects the scale and materials of the adjoining buildings but the half timbered gabled roof allows the commercial building to stand out as a townscape feature from the group.



The west side of Grove Road is enclosed by terraces of two storey houses located on a regular building line close to the footway behind shallow front gardens. A two storey yellow brick building has historic associations with the former public house and sits forward of the general building line. Yellow brick and with render (mostly white painted) form the dominant materials. The short terraces located on a slope have a stepped roofline. Parked cars impact on the character of this parrow street.

The view of the North Downs encloses the street scene but provides a contrast to the built up area.

Overhead wires and the poor road surface detract from the street scene

Greatness Road is narrow and enclosed by terraces of two storey houses located on a regular building line close to the footway behind shallow front gardens. Red/ orange brick and with render (mostly white painted) form the dominant materials. The short terraces located on a slope have a stepped roofline. Parked cars impact on the character of the area.

The view of the North Downs encloses the street scene but provides a contrast to the built up area.

Overhead wires detract from the street scene.



Detailing





Many of the original windows, doors and roofs have been replaced with different patterns and materials, and walls have been painted and rendered.

The loss of front boundaries and gardens to accommodate parked cars is evident in the narrow Grove Road..

Townscape Feature

The single storey gable fronted former Greatness Hall in Greatness Road with white painted front elevation provides a contrast to the surrounding development and acts as a reminder of the Victorian neighbourhood.



Locally Distinctive Positive Features

Houses set close to the road on a regular building line behind shallow front gardens give a sense of enclosure

Terraced or closely spaced semi-detached houses set in narrow plots

Repeated and often symmetrical designs in small cohesive groups within streets

Designs varied by use of bays and use of materials

Stepped roof line in Greatness Road and Grove Road

Harmonious range of limited materials

Former Greatness Hall and former public house townscape features

View of the North Downs from Greatness Road and Grove Road

Negative Features

Replacement windows, doors and roofs

Traffic noise and sign clutter on Seal Road

Overhead wires and parked cars in Greatness Road and Grove Road

Poor road surface in Grove Road

Design Guidance

The Victorian grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for repairs to historic buildings, replacement windows, doors and roofing or extensions to existing buildings.

In proposing new development within the Seal Road/ Greatness Road and Grove Road Character Area:

Regular building lines should be respected

The harmonious palette of red/ orange brick, yellow brick or white render should be respected

Traditional windows and doors and detailing should be retained or reinstated

The character of the former Greatness Hall and public house townscape features should be retained

The views of the North Downs should be protected

A09 LONDON ROAD/ MILTON ROAD AREA

Comprising London Road, Milton Road

HISTORICAL CONTEXT

Some development was fronting London Road by the 1870s and Milton Road was developed up to the railway line by the late 1890s. More extensive development to the west of London Road followed in the early 1900s.



Locally Distinctive Contextual Features	
Age of buildings	1870s to early 1900s
Type of buildings	Terraced, semi-detached with some detached
Main uses	Residential with some business uses
Building heights	Two storeys
Prominent building materials	Red bricks, white/ pastel painted render or brick with original slate (or replacement concrete) and red tile roofs.
Predominant boundary treatments	Red brick
Open space/ vegetation	Treed railway embankment to the east of Milton Road









The east side of London Road (above) comprises mostly two storey terraced properties set along regular building lines behind shallow front gardens. The close spacing of the houses encloses this side of the street. Some of the rows have single storey bays. Terraces of white rendered properties with simple roof lines, vertical windows and chimneys are characteristic of this part of London Road. The scale, building and roof lines and limited harmonious range of materials give a unity of character.

Commercial properties are set around the entrance to Pounsley Road. The public house follows the scale and materials of the adjoining terrace (although the flat roof extension in the prominent corner location does not respond well to the prevailing roof line). The shops are located on the ground floor of a group of attached red brick properties. The terrace of three properties has dormer, first floor windows and shop front widths marking the subdivision of properties but this subdivision is not respected by the large fascia board.





The west side of London Road (above) comprises mostly closely spaced symmetrical semidetached pairs of red brick houses with canted single storey bays. More variety is introduced to the north with some gables facing the street and some render and half timber gable features. Apart from the properties opposite Station Road, all houses are set on a regular building line. The close spacing of the houses and elevated position encloses this side of the street. The houses are set above the road level with gardens set behind raised walls. Some front boundaries and gardens have been lost to provide off street parking spaces. The scale, building lines and limited harmonious range of materials give a unity of character. Original details are important to the character of this area and red brick arches above windows and doors and decorative facia boards and chimneys all add a richness to the street scene.



Milton Road is strongly enclosed by two storey terraced houses set to the back edge of footpath facing each other across a narrow street. The enclosure is reinforced to the east by a steep, treed railway embankment. Most of the red/orange brick houses have been painted in white or pastel shades adding variety and brightness to an enclosed street. The scale, building lines and limited harmonious range of materials give a unity of character.

On street parking impacts on the character.

Locally Distinctive Positive Features

Properties sited on a regular building line set to the back edge of footway or behind shallow front gardens give a sense of enclosure

Terraced or closely spaced semi-detached houses set in narrow plots

Simple roof lines in many sections of streets

Repeated and often symmetrical designs in small cohesive groups within streets

Designs varied by use of bays, gables and use of materials

Harmonious range of limited materials

Traditional detailing on the brickwork and facia boards to some properties

Restrained shop fronts and advertising to some commercial premises

Vertical style sash windows in Victorian properties

Commercial buildings interspersed with the residential development at junctions

Treed embankment to the east of Milton Road

Negative Features

Some replacement windows, doors and roof slates

Some loss of front boundaries and gardens to accommodate off street parking

On street parking in the narrow Milton Road

Large shop facia and flat roof extension to the public house do not respond well to the local character

Design Guidance

The Victorian and Edwardian grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for repairs to historic buildings, replacement windows, doors and roofing or extensions to existing buildings. In addition, the pressure for off street parking may impact on the character of front boundaries and gardens.

In proposing new development within the London Road/ Milton Road Character Area:

Regular building lines and unified simple roof lines presented to the street should be respected

The harmonious palette of red brick or white/ pastel painted render and original slate roofs should be respected

Traditional windows and doors and detailing should be retained or reinstated

Where off street parking is proposed within front curtilages, boundaries with neighbouring properties should be retained and enhanced and the maximum length of front boundary retained to help enclose the road space, define the boundary between public and private space and help reinforce the character of an area

The important embankment trees should be protected and enhanced

The mixed use character of the area should be retained

Shop fronts and advertising should be restrained

A10 - OTFORD ROAD/ CRAMPTONS ROAD

Comprising Otford Road, Cramptons Road

HISTORICAL CONTEXT

The Otford Road, Cramptons Road area was developed from the early 1900s between the Bat and Ball railway station and the Sevenoaks Gas Works. A brewery was also sited to the south east of Cramptons Road. Cramptons Road follows the alignment of a former tramway linking the Gas Works with the railway line at the Bat and Ball junction and was not developed until the line became redundant. The original alignment of Otford Road still serves the residential area, but the main A225 has been realigned to the west away from the houses.



Locally Distinctive Contextual Features	
Age of buildings	Early 1900s
Type of buildings	Terraced, semi-detached and detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Buff and red brick, render. Slate roofs (some replaced by concrete)
Predominant boundary treatments	Red brick walls and picket fencing
Open space/ vegetation	Vegetation to the west side of Otford Road encloses the street



The area is wedged between two streets and narrows to a point occupied by a white painted house at the junction of Otford Road and Crampton's Road. The two straight streets fan out from this junction.

Otford Road is enclosed to the south west by landscaping associated with the new road alignment and terraced and closely spaced semi-detached houses to the north east.

Crampton's Road has a more open frontage and provides a vista of the gasometers





Otford Road is lined on the north east side by two storey terraced and closely spaced semidetached houses. The houses are set close to the road behind shallow front gardens. Some boundary walls and gardens have been lost to provide off street parking. Single storey canted bays are prevalent. Red brick with contrasting yellow brick string course or window/ door arch details or yellow brick with red brick details adds to the character of the street scene. A red brick and render terrace (above right) has a hipped roof, horizontal windows and small gables above first floor windows.

The groups of short terraces contain repeated designs which, with a common building line, roof line and use of a limited range of harmonious materials, add to the unity of character



Two storey terraced and closely spaced semi-detached houses line the east side of Otford Road. The houses are set close to the road behind shallow front gardens. Single storey bays are prevalent. Buff brick with contrasting red brick string course, window/door surrounds and quoins or yellow brick with red brick details adds to the character of the street scene. Slate roofs with chimneys reflect the original character. The groups of short terraces contain repeated designs which, with a common building line, roof line and use of a limited range of harmonious materials, add to the unity of character along Otford Road.

Townscape Feature



A white painted house with gable to the road junction forms a prominent feature at the junction of Otford Road and Crampton's Road

Detractor

Infill development in Cramptons Road responds well to the building line but not the characteristic design features or materials within the character area.



Locally Distinctive Positive Features

Houses set close to the road on a regular building line behind shallow front gardens give a sense of enclosure

Terraced or closely spaced semi-detached houses set in narrow plots

Repeated and often symmetrical designs in small cohesive groups within streets

Simple roof lines

Traditional brickwork detailing

Designs varied by use of bays and use of materials

Harmonious range of limited materials

White painted house at the junction of Otford Road and Crampton's Road

Vegetation to the west side of Otford Road encloses the street

Negative Features

Replacement windows, doors and roofs

Loss of front boundaries and gardens

Modern infill development

Overhead wires

Design Guidance

The Edwardian grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for repairs to historic buildings, replacement windows, doors and roofing or extensions to existing buildings.

In proposing new development within the Otford Road/ Crampton's Road Character Area:

The harmonious palette of buff, red and yellow brick or white render should be respected

Regular building lines and unified simple roof lines presented to the street should be respected

A character of the prominent townscape feature at the junction of Otford Road and Crampton's Road should be retained

Traditional windows, doors, roofs and detailing should be retained or reinstated

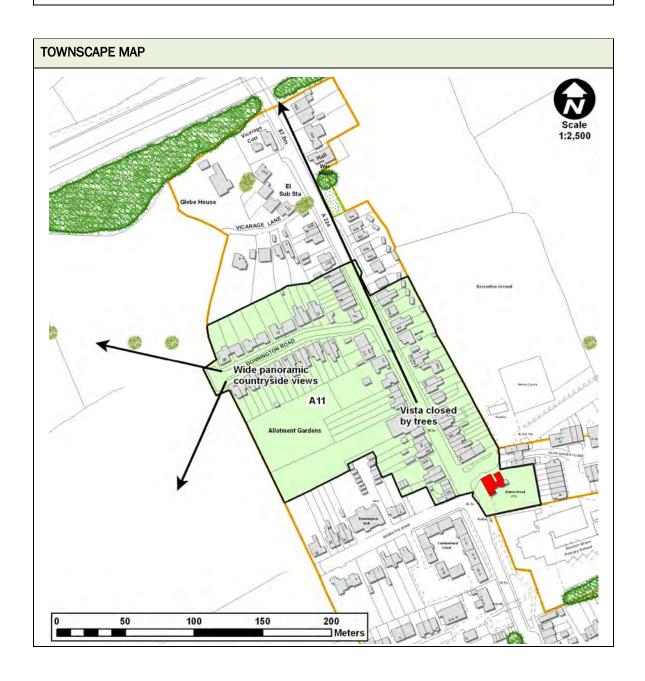
Mature trees and hedged boundaries which contribute to the character of the area should be retained or reinstated

A11 LONDON ROAD/ DONNINGTON ROAD AREA

Comprising London Road, Donnington Road

HISTORICAL CONTEXT

Some linear development was fronting London Road just north of the now disused Westerham branch line at Dunton Green by the 1890s, including the late 17th Century/ early 18th Century public house. Donnington Road was not developed until the 1920s.



Locally Distinctive Contextual Features	
Age of buildings	1890s to early 1900s
Type of buildings	Mostly terraced with some semi-detached and detached
Main uses	Residential with some business uses
Building heights	Two storeys
Prominent building materials	Red or yellow bricks, white/ pastel painted render with original slate (or replacement concrete) roofs
Predominant boundary treatments	Red brick
Open space/ vegetation	Countryside views from Donnington Road and trees to the north of the character area









The east side of London Road (above) comprises mostly two storey terraced properties set along regular building lines. The scale of the houses responds well to the earlier public house. The houses are set to the back edge of pavement or behind red brick or picket fence boundaries and shallow front gardens. The close spacing of the properties on both sides of the road encloses the street. Terraces or semi detached houses of white or pastel coloured render, or brown or yellow bricks with simple roof lines, vertical windows and chimneys are characteristic of this part of London Road. Arched brickwork above the windows and doors and projecting window sills add traditional detail to the houses. The scale, building and roof lines and limited harmonious range of materials give a unity of character.

The spaces between the four pairs of early 1900 semi-detached houses are infilled with more modern development which in some cases does not respect the scale, materials or detailing of the earlier development. Some front boundaries and gardens have been lost to provide off street parking.

Trees enclose the vista to the north of London Road





The west side of London Road (above) is enclosed by mostly terraced houses behind shallow front gardens. A variety of designs and materials has been followed although the general positioning to the road and scale bring some unity. The gabled roof and single storey denote a social club.

Some front boundaries and gardens have been lost to provide off street parking spaces.



Donnington Road is enclosed by two storey semi-detached houses set behind shallow front gardens facing each other across a narrow street. Gabled roofs give a rhythm of repeated features along this street. The symmetrical pairs of properties to the south side have single storey bays with red brick facades and half timbered gables facing the street. To the north side, red brick and white painted render is predominant. Some front boundaries and gardens have been lost to off street parking.

The scale, building lines, repeated gables and limited harmonious range of materials give a unity of character.

On street parking and overhead wires impact adversely on the character.

Views



Wide panoramic views are visible westwards from Donnington Road

Listed Building

The Duke's Head Public House

Late17th or early 18th Century weather boarded building of two storeys and attic. High pitched tiled roof, sweeping low at the back. Early 19th Century hipped dormer to front, moulded eaves and projecting end chimneys. Windows all replaced sashes with glazing bars.

Grade 2



Locally Distinctive Positive Features

Properties sited on a regular building line set to the back edge of footway or behind shallow front gardens give a sense of enclosure

Terraced or closely spaced semi-detached houses set in narrow plots

Simple roof lines on London Road and gabled roof giving a rhythm of repeated features along Donnington Road

Repeated and often symmetrical designs in small cohesive groups within streets

Designs varied by use of bays, gables and use of materials

Harmonious range of limited materials

Traditional detailing on the brickwork to some properties

Vertical style sash windows in Victorian properties

Public house listed building

Treed enclosure to the north of London Road

Panoramic views to the west from Donnington Road

Negative Features

Some modern infill development

Some replacement windows, doors and roof slates

Some loss of front boundaries and gardens to accommodate off street parking

On street parking in Donnington Road

Overhead wires

Design Guidance

The Victorian and Edwardian grain of the area with substantially built up frontages leaves little scope for new development. There is some opportunity for the replacement of some modern buildings of indifferent quality which do not respect the character of the area but the area is likely to remain largely unchanged over time.

There may be pressure for repairs to historic buildings, replacement windows, doors and roofing or extensions to existing buildings. In addition, the pressure for off street parking may impact on the character of front boundaries and gardens.

In proposing new development within the London Road/ Donnington Road Character Area:

Regular building lines and unified simple roof lines presented to the street should be respected

The rhythm of repeated gable ends in Donnington Road should be retained

The harmonious palette of red or yellow brick or white/ pastel painted render and original slate roofs should be respected

Traditional windows and doors and detailing should be retained or reinstated

Where off street parking is proposed within front curtilages, boundaries with neighbouring properties should be retained and enhanced and the maximum length of front boundary retained to help enclose the road space, define the boundary between public and private space and help reinforce the character of an area. Wherever possible permeable surfaces should be used which are in keeping with the character of the property and its curtilage

The important trees enclosing the vista to the north of London Road should be protected and enhanced

The listed building and its setting should be protected

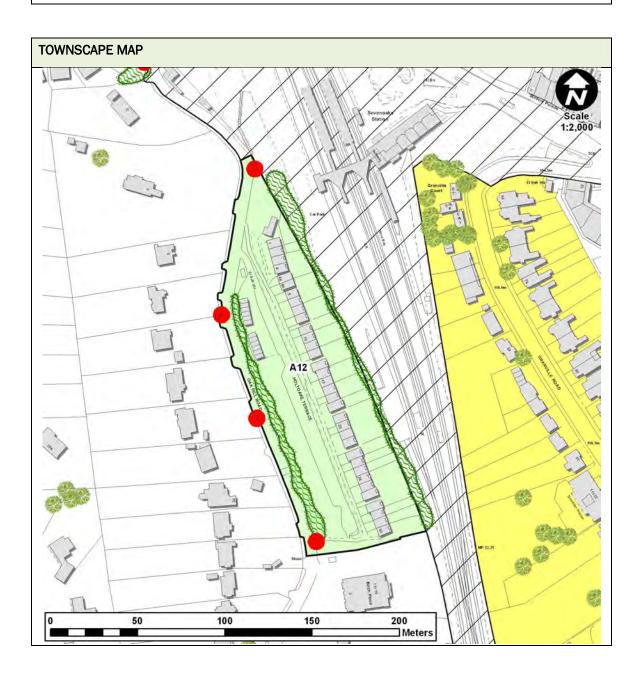
The views of the countryside from Donnington Road should be protected

A12 - HOLYOAKE TERRACE

Comprising Holyoake Terrace

HISTORICAL CONTEXT

The land formed part of the man-made cutting for the railway line of 1868 and Holyoake Terrace was developed as co-operative housing in 1903-6 possibly to the designs of Raymond Unwin.



Locally Distinctive Contextual Features	
Age of buildings	Early 1900s
Type of buildings	Terraced
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Red/ orange brick and render with red roof tiles replaced by concrete tiled roofs.
Predominant boundary treatments	Houses set behind continuous hedge
Open space/ vegetation	Well trimmed continuous hedge, front gardens and a landscaped embankment



Rows of short terraces are set on a regular building line and step down then back up the slope. Modestly scaled and well detailed houses retain much of their original detailing. The topography results in a view of the roofscape of the terraces set within a landscaped embankment. The landscape of the embankment forms the skyline from the highest point.

Front gardens are enclosed by a well kept continuous hedge which adds to the verdant character



Terraces are articulated by small gables on pitched roof. Others set gable ends on to the lane. The gable features, fenestration and chimneys set up a rhythm of repeated features along the terraces.



The parking area opposite the terraces is discretely hidden between the hedged front boundaries and the treed edge to Oakhill Road. A narrow private road serves the properties

Locally Distinctive Positive Features

Repeated designs in small cohesive groups set on a regular building line

House designs given variety by use of gables

Harmonious range of limited materials

Gable ends, fenestration and chimneys produce a rhythm of repeated features

Traditional detailing on the brickwork

Front gardens with continuous hedging

Surrounding trees give a sense of enclosure

Negative Features

Some replacement windows, doors and roof tiles

Design Guidance

The Victorian grain of the area with built up frontage and sloping landscape setting leaves no scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for repairs to historic buildings, replacement windows, doors and roofing or extensions to existing buildings.

In proposing new development within the Holyoake Character Area:

Regular building lines to the street should be respected

The harmonious palette of red brick and render should be respected

Traditional windows and doors and detailing should be retained or reinstated

The rhythm of repeated gable ends, window and door openings and chimneys should be retained

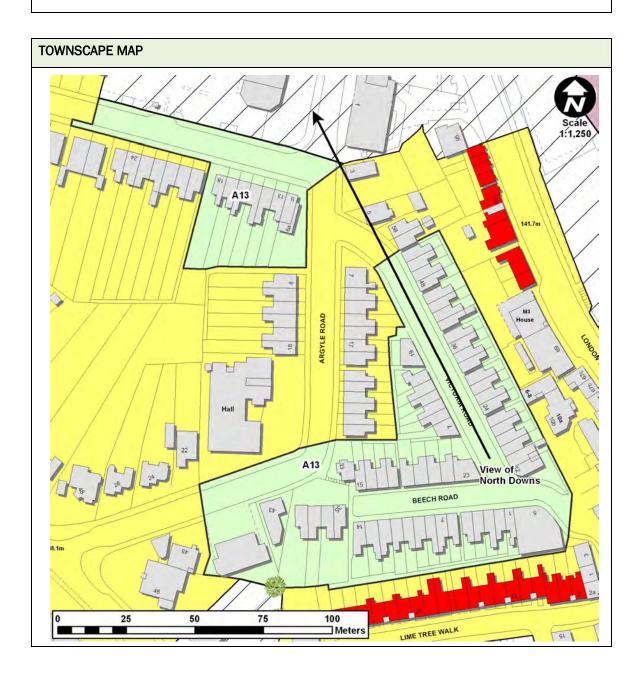
The continuous hedged front boundary, together with mature specimen trees which contribute to setting of the terrace and skyline should be retained

A13 - VICTORIA ROAD AREA

Comprising Victoria Road, Beech Road, Gordon Road (part)

HISTORICAL CONTEXT

The Victoria Road area was built in the late Victorian period close to the centre of town to house local workers.



Locally Distinctive Contextual Features	
Age of buildings	1890s to early 1900s
Type of buildings	Terraced
Main uses	Residential with some business uses
Building heights	Two storeys
Prominent building materials	Yellow or red brick, render. Original slate (or replacement concrete) roofs.
Predominant boundary treatments	Houses to back edge of pavement. Some low red brick walls with decorative railing.
Open space/ vegetation	None





The narrow streets lined with two storey terraced houses sited on a regular building line to the back edge of pavement give a strong sense of enclosure. Victoria Road rises to the south east corner creating a stepped roof line. A mix of mainly red brick and some painted render and different groups of designs give variety to the street scene. Many original windows, doors and roof materials have been replaced and some satellite dishes added.

Parked cars line the streets and affect the character of the area.



The enclosed character of Beech Road is created by the two storey terraced houses sited on a regular building line to the back edge of pavement. Yellow brick and white/pastel painted render are in contrast to the red brick of Victoria Street. The topography also results in a slightly stepped roof line. Brick arch details above windows and doors, projecting sills and decorative chimneys add to the character of the street. Replacement of original windows, doors and roof materials is evident.



The first seven houses in Gordon Road are excluded from the Granville and Eardley Road Conservation Area. The red brick terraced houses with two storey canted bays on a regular building line form an attractive group and are important to the setting of the Conservation Area. Original windows, doors and roofs have been replaced but decorative chimneys are a consistent feature in the street. A decorative metal railing encloses the corner front garden.





Commercial premises are part of the mixed use character of buildings within the Victorian area. Traditional shop fronts have been retained strengthening the character of the Victorian neighbourhood

View



Views of the North Downs are visible to the north from the higher parts of Victoria Street above existing development.

Locally Distinctive Positive Features

Terraced houses set on a regular building line close to the narrow road to the back edge of pavement or behind shallow front gardens give a sense of enclosure

Repeated designs in cohesive groups within streets

Designs varied by use of bays, detailing and varied materials

Limited range of harmonious materials

Mixed use character

Vertical style sash windows

View of the North Downs

Negative Features

Some replacement windows, doors and roof slates

Satellite dishes

Overhead wires

On street parking

Design Guidance

The Victorian grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for repairs to historic buildings, replacement windows, doors and roofing or extensions to existing buildings.

In proposing new development within the Victoria Road Area Character Area:

The harmonious palette of yellow and red brick or white/ pastel render and original slate roofs should be respected

Regular building lines to the street should be respected

Traditional windows and doors and detailing should be retained or reinstated

The mixed use character of the area should be retained

The view of the North Downs should be protected

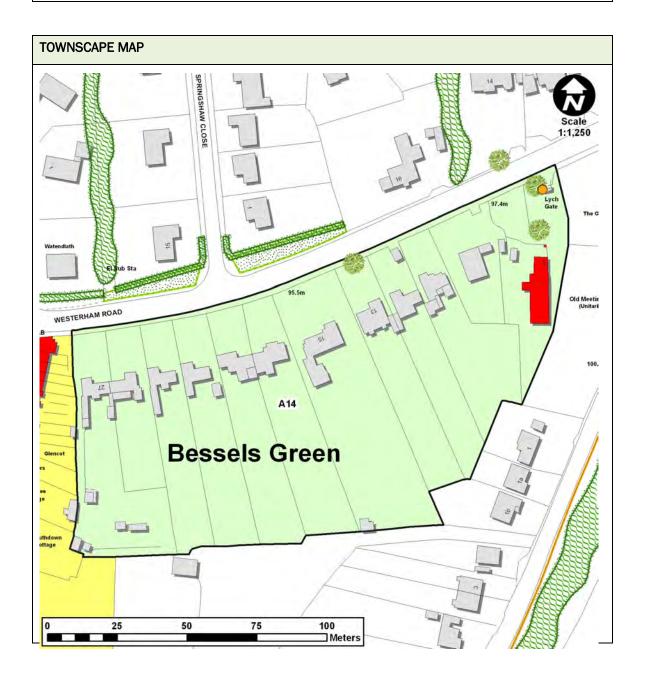
The setting of the Granville and Eardley Road Conservation Area should be protected

A14 WESTERHAM ROAD

Comprising Westerham Road (part)

HISTORICAL CONTEXT

This development was laid out in the early 20th Century along Westerham Road.



Locally Distinctive Contextual Features	
Age of buildings	Early 1900s
Type of buildings	Detached
Main uses	Residential and place of worship
Building heights	Two storeys
Prominent building materials	Red/ orange brick and hanging tiles or white painted render with plain tiled or slate roofs
Predominant boundary treatments	Black painted railings, low ragstone or brick walls, hedges
Open space/ vegetation	Trees and planting to front gardens





Large detached and semi detached villas are closely spaced along the street of this area. Gables generally face the street and give the appearance of a greater scale. Large bays and small attic windows are occasionally present. The buildings are set on a regular building line behind front gardens and tree planting. This part of the street is unified by the building line set back behind landscaped front gardens, repeated gables, chimneys, bays and fenestration and a limited range of traditional local materials.

This area forms the approach and setting to the Bessels Green Conservation Area which was developed at a similar time.





Typically the 2 storey houses are faced with red/ orange brick and hanging tiles or white painted render with plain tiled or slate roofs and chimneys.

Townscape Features

The lych gate and mature specimen tree form a pair of interesting distinctive features along this part of Westerham Road.



Boundary Treatment



The traditional railings and white painted rendered piers with copings enclose the front garden and add to the character of the area.

Low ragstone or brick walls with railings above are also used.

Detailing







Traditional detailing such as decorative barge boards and ridge tiles, brick arches and a canopy are features of this area and add significantly to its character

Detractors



The development follows the gable end features of the area but the property has no landscaped front garden or traditional boundary treatment which means that it is not as well integrated with the character area as it could be.

Where visible, the introduction of bulky garage buildings to the front of the house towards the front of the building curtilage can change the character of the area which is characterised by development set well back from the road behind hedged and treed front gardens and generally having a minimal impact on the street scene.



Listed Building

Old Meeting House and dwelling attached, Cold Arbour Road, Bessels Green

Rebuilt 1740, 1 storey and attic. Fairly high pitched, hipped tiled roof. Mid 19th Century right extension to dwelling part.

Grade 2



Locally Distinctive Positive Features

Large gable-fronted, closely spaced detached and semi-detached villas sited on a regular building line set behind landscaped front gardens

House designs given variety by use of bays, gables and use of materials

Harmonious range of limited materials

Traditional detailing on the brickwork and roofs

Lych gate and mature specimen tree townscape features

Front gardens with boundary railings, walls and hedges

Negative Features

One infill development which does not respect the character of the area

Where visible, the introduction of bulky garage buildings to the front of the house towards the front of the building curtilage can adversely affect the character of the area

Some replacement windows, doors and roofs

Design Guidance

The Victorian grain of the area with substantially built up frontages leaves little scope for new development. There may be pressure to develop the long back gardens with discrete backland development but such development should meet the guidance included in this SPD.

There may be pressure for repairs to historic buildings, replacement windows, doors and roofing or extensions to existing buildings. In addition, the pressure for off street parking may impact on the character of front boundaries and gardens.

In proposing new development within the Westerham Road Character Area:

Regular building lines to the street should be respected

Buildings should be well screened and well set back from the front boundary to avoid a significant impact on the rural character of the road

Mature trees and hedged boundaries which contribute to the character of the road should be retained or reinstated

The harmonious palette of red/ orange brick and hanging tiles or white painted render with plain tiled or slate roofs should be respected

Traditional windows and doors and detailing should be retained or reinstated

Traditional black metal railings, low ragstone or brick walls and hedged boundaries which contribute to the character of the street, should be retained or reinstated

Where off street parking is proposed within front curtilages, boundaries with neighbouring properties should be retained and enhanced and the maximum length of front boundary retained to help enclose the road space, define the boundary between public and private space and help reinforce the character of an area. Wherever possible permeable surfaces should be used which are in keeping with the character of the property and its curtilage

The character of the lych gate townscape feature should be retained

The listed buildings and its setting should be protected

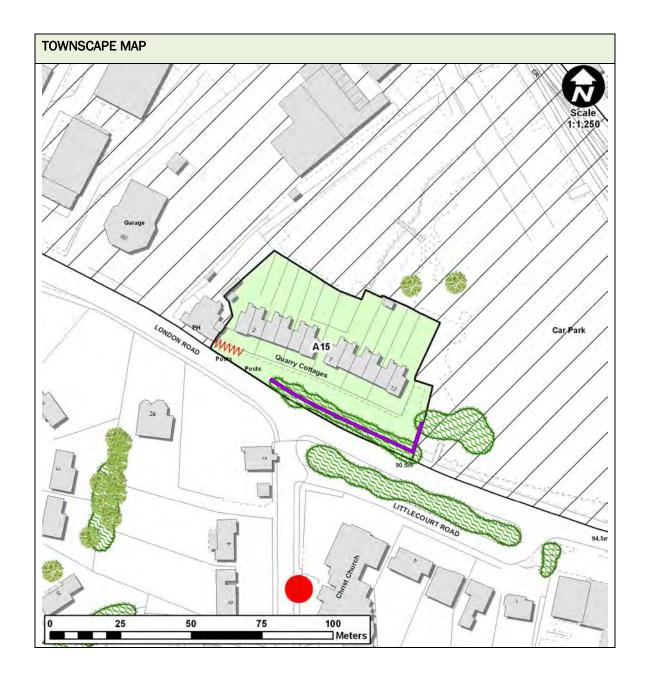
The setting of the adjoining Bessels Green Conservation Area should be protected or enhanced.

A15 - Quarry Cottages

Comprising Quarry Cottages

HISTORICAL CONTEXT

Cottages built in the early 1900s for railway workers around the same time as those within Holyoake Terrace. The private road is still owned by the train operating company.



Locally Distinctive Contextual Features	
Age of buildings	Early 1900s
Type of buildings	Terraced cottages
Main uses	Residential
Building heights	2 storeys
Prominent building materials	Red brick, white painted pebble dashed render and red roof tiles
Predominant boundary treatments	Housing set back behind front gardens (often paved), low walled or fenced boundaries
Open space/ Vegetation	Some planting in front gardens, trees and planting along boundary with London Road. Some TPOs.



Two terraces of 6 dwellings side by side set on a regular building line. The cottages are set back from London Road along a private road still owned by the train operating company.

Both terraces use the same materials including red brick and white painted pebble dashed render

Detailing









The ends of each terrace have gable fronts with detailing.

The end dwellings of each terrace have double chimneys to the side.

The tiles along the roof ridge have a distinctive pattern.

Important Boundaries





The terraces are set back off London Road and separated by a low wall, fencing, trees and planting.

The private road previously led to the station car park, however it has now been blocked off and this presents an important boundary separating the cottages from the car park.

Detractors





The unattractive rusted bollards are unsightly and contrary to the character of the area.

Locally Distinctive Positive Features

Cohesive pair of terraces with matching design

Harmonious range of limited materials

Detailing on gables and roof ridge

Trees and planting provide important boundary and partial screening from London Road

Negative Features

Proximity to London Road with associated congestion and noise

Unattractive rusted bollards

Some replacement windows and doors

Design Guidance

The early 1900 terraced nature of this small area leaves very little scope for new development and the area is expected to remain relatively unchanged, as it has done since it was first built.

Any alterations to the dwellings should be in keeping with the original design. The type and colour of materials should be maintained including the white render, red bricks and red roof tiles with patterned ridge.

Traditional design windows and doors should be retained or reinserted.

The traditional height of boundary walls and fencing between housing should be retained.

B INTER-WAR LINEAR DEVELOPMENT CHARACTER AREAS



These areas comprise ribbon development, one row deep, which grew up along existing roads in the 1930s. This form of development was common in the inter-war period, with the detached or semi-detached houses set in similar sized plots typically on a regular building line behind enclosed front gardens. The developments were sometimes set back from the main road behind service roads or strips of green open space with trees.

The houses often incorporate design features typical of the period including hipped roofs, chimneys, two storey bay windows and wide low windows and decorative finishes including hung tiles, half timbering, white painted render and contrasting brickwork.



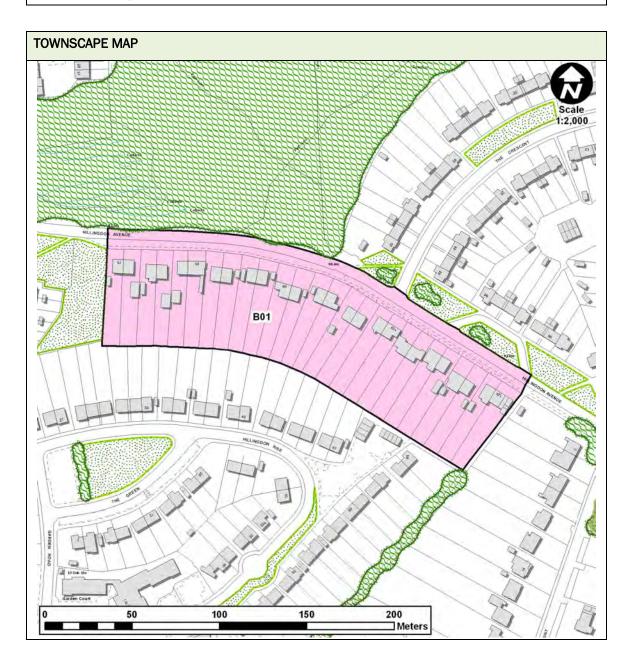
Example of Inter-War Linear Development Layout

B01 – HILLINGDON AVENUE (EAST)

Comprising Hillingdon Avenue (east)

HISTORICAL CONTEXT

Hillingdon Avenue follows the line of the old driveway through the Wildernesse Estate which passed through Millpond Wood. This linear development was constructed in the 1930s on woodland and agricultural land on the south side of the drive.



Locally Distinctive Contextual Features	
Age of buildings	1930s
Type of buildings	Semi-detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Grey and brown pebbledash some painted, tiled roofs.
Predominant boundary treatments	Hedges, low brick walls and panel fences
Open space/ vegetation	Wide grass verge with occasional trees, facing onto Millpond Wood or grassed open space with trees around The Crescent.





The two storey semi detached houses are set back on an irregular building line behind a deep verge with occasional trees, footpath and landscaped front gardens enclosed by hedges, low brick walls and panel fences. The houses are of concrete pebbledash with hipped tiled roofs and chimneys on the ridge. Many properties have been altered particularly with a variety of porch additions. The road curves and rises to the east, the verges and the trees creating a green setting for the houses. Some properties are painted in pastel shades which brighten the streetscape. Back garden trees are visible through the gaps between houses. Although the houses are of standard design the variety of boundary treatment and ad hoc alterations contribute to an informal character.

Locally Distinctive Positive Features

Houses set back from the road behind deep verges and landscaped front gardens Similar designs with hipped roofs

Trees to the north, west and rear of the houses contribute to the green character

Negative Features

No significant detractors

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings.

In proposing new development within the Hillingdon Avenue (east) Character Area:

Loft extensions should not detract from the characteristic hipped profile of the street

A front or side extension should be acceptable within the street scene with the roof form and materials respecting the existing building

Mature trees and boundary hedges which contribute to the character of the road should be retained.

BO2 - BRADBOURNE ROAD

Comprising Bradbourne Road (part)

HISTORICAL CONTEXT

Bradbourne Road is an historic road leading from the St Johns Area to Riverhead and the Bradbourne Estate. This 1930's development was built on the site of Lyle Court, a 19th century mansion which is now demolished.



Locally Distinctive Contextual Features	
Age of buildings	1930s
Type of buildings	Semi-detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Brown brick, white/cream painted render, half timbering, plain tile roofs.
Predominant boundary treatments	Open plan, brick wall
Open space/ vegetation	Some trees to rear and by roadside.





This section of Bradbourne Road lies opposite the more enclosed Victorian/ Edwardian St John's Area on the north east side. This development is set back and down from the road on a regular building line behind a ragstone wall and is in contrast to the more enclosed development. The ragstone wall links the area historically to the Bradbourne Estate.



The Arts and Crafts inspired two storey semi detached houses are of two designs, one with prominent wide front gable which sweeps down to ground floor level, the other with two storey half timbered bays. Although extensions have taken place, the original hipped rooflines have been retained as have many original decorative features including the embellished chimney stacks, patterns on the gables, horizontal windows with leaded light glazing, brick details, half timbering, corner windows, recessed porches and pillars. The repeated designs and consistent materials and colours create a cohesive and distinctive character enhanced by the quality surfacing and soft landscaping. Trees are visible in the gaps between the houses.

Locally Distinctive Positive Features

Houses set back and below the road on a regular building line

Repeated designs and consistent materials and colours create a distinctive and cohesive character

Retention of the roof line and original details preserves the 1930s character

Ragstone boundary wall

Good quality surfacing, soft landscaping and trees enhance the character of the area

Gaps between the houses allow glimpses of trees to the rear

Negative Features

No significant detractors

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings.

In proposing new development within the Bradbourne Road Character Area:

The regular building line and characteristic roof profile of the houses should be respected

The harmonious palette of brown brick, white/cream painted render and plain tile roofs should be respected

Traditional detailing should be retained

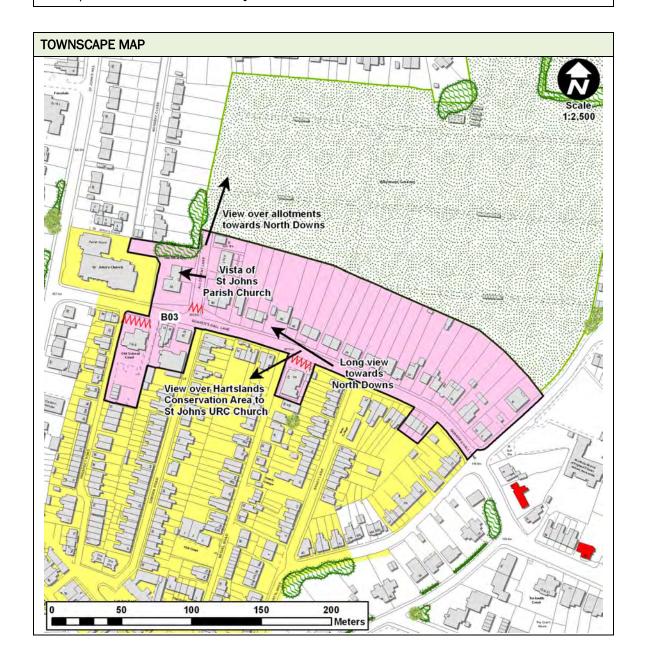
The ragstone boundary wall and mature trees which contribute to the character of the road should be retained

BO3 - QUAKER'S HALL LANE

Comprising Quaker's Hall Lane (part)

HISTORICAL CONTEXT

Quaker's Hall Lane is a historic route, running along the north side of the Victorian Hartslands area, leading from St John's Hill to Quaker's Hall. This northern side of the road remained undeveloped until the 1930s. Allotment Lane is more recent and the area includes some infill development on the south side of Quaker's Hall Lane.



Locally Distinctive Contextual Features	
Age of buildings	1930s+
Type of buildings	Semi-detached, some detached and terraced
Main uses	Residential
Building heights	One and two storeys
Prominent building materials	White/pastel painted render, brown brick and half timbering, red or orange plain tile roofs.
Predominant boundary treatments	Open plan, brick wall
Open space/ vegetation	Allotments to rear





The road climbs to the east and the semi-detached and detached properties are set on a slightly irregular building line above the road behind railings, pavement, retaining walls and landscaped gardens. The mainly two storey properties have hipped roofs, single storey bay windows and porches or porch canopies but are painted a variety of pastel shades and many have been altered resulting in a varied roofline. The hedges and sloping landscaped front gardens are a particular feature of the area.



At the eastern end of the road there are two pairs of semi detached red brick properties with two storey bay windows and gabled porches supported on white pillars.

Decorative details include contrast brick banding, pebbledash, half timbering and hung tiles.

Views





The elevated position results in long views towards the North Downs to the west over St John's Parish Church in the Hartslands Conservation Area (above left) and southwest towards St John's URC Church (above right) assisting legibility in the area. There are glimpses of the North Downs above the stepped roofs.

Allotment Lane has views across the allotments to the North Downs.



Detractors



There has been some infill and redevelopment on the south side of Quaker's Hall Lane which is not sympathetic to the character of the adjoining Hartslands Conservation Area by reason of height, mansard roofline and materials (left).



Some loft conversions on the inter-war houses are overdominant and give the properties a top heavy appearance (left).

Locally Distinctive Positive Features

One and two storey houses set back and above the road

Harmonious range of limited materials

Retention of some interwar details included hipped roofs, bay windows, porches and brick details

Long views to the west and southwest towards the North Downs and over the Hartslands Conservation Area

Views of St John's Parish Church and St John's URC Church

Negative Features

Poor surfacing and parked cars in Allotment Lane

Insensitive infill and redevelopment on south side of Quaker's Hall Road which affects the setting of the Hartslands Conservation Area

Some over-dominant loft extensions

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings.

In proposing new development within the Quaker's Hall Lane Character Area:

The characteristic hipped roof profile of the houses on the north side of Quaker's Hall Lane should be respected

The harmonious palette of white/pastel painted render, brown brick and half timbering and red or orange plain tile roofs should be respected

Traditional detailing should be retained

The setting of the adjoining Hartslands Conservation Area should be protected or enhanced

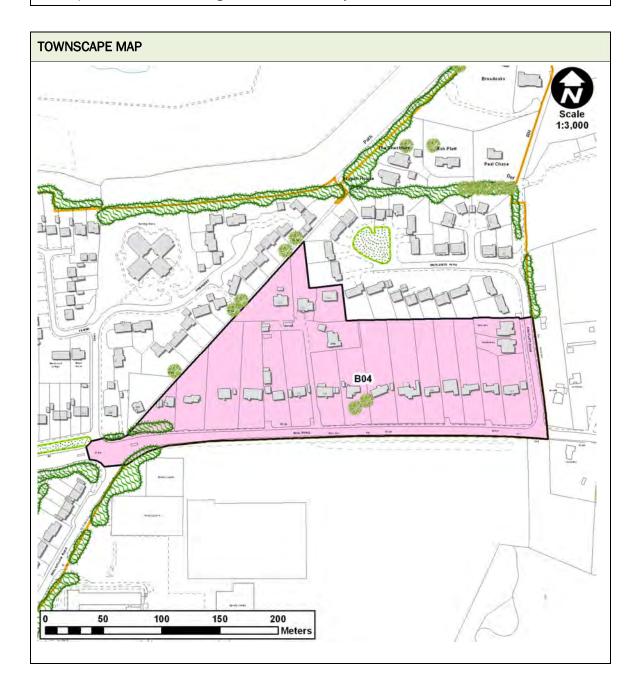
Views of the North Downs and St John's Parish Church and St John's URC Church should be protected

BO4 SEAL ROAD

Comprising Seal Road (part)

HISTORICAL CONTEXT

Development was laid out along the Seal Road mainly in the 1930's.



Locally Distinctive Contextual Features	
Age of buildings	1930s to present day
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Various
Predominant boundary treatments	High fences with hedges and some trees
Open space/ vegetation	Hedges and trees to front gardens





A row of detached houses are set back from the road on a regular building line behind hedged, treed and fenced front boundaries. The verdant character of this part of Seal Road is enhanced by the hedged and tree boundary to the school to the south. A group of mature trees at the road junction (top left) is important in framing the road whilst other boundary hedges and trees help soften the townscape.









The detached houses constructed in the 1930s have been extended and personalised over the years but retain a number of original features from the period such as the symmetrical form, hipped roofs with chimneys and horizontal windows.

Detractors





Whilst acting as sound barriers against the traffic noise, the verdant character of the hedged and treed boundaries can become urbanised by fencing or walls.



Where visible, the introduction of garage buildings to the front of the regular building line at the front of the curtilage can change the character of the area which is characterised by screened buildings set well back from the road on a regular building line behind hedged and treed front gardens and generally having a minimal impact on the street scene.

Locally Distinctive Positive Features

1930s houses with some original features: hipped roofs with chimneys and horizontal windows set back on a regular building line

A group of trees at the junction is important in framing the road.

The townscape is softened by hedged and tree boundaries

Negative Features

High fencing and brick walls to the front boundary can urbanise the character of the road

Where visible, the introduction garage buildings to the front of the building line at the front of the building curtilage can adversely affect the character of the area

Traffic noise from A25

Design Guidance

Some long back gardens have been developed with discrete backland development and further such development may prove acceptable but any such development should meet the guidance included in this SPD.

There has been pressure to introduce garages to the front of the building line, in a prominent location within the street scene.

In proposing new development within the Seal Road Character Area:

Buildings should be well screened and well set back from Seal Road to avoid a significant impact on the character of the road

Garages should be of a scale, form, materials and location that fit unobtrusively with the house, surrounding garden and the street scene

Backland development should be served by narrow access drives and be well screened from the road to avoid a significant impact on the character of the area

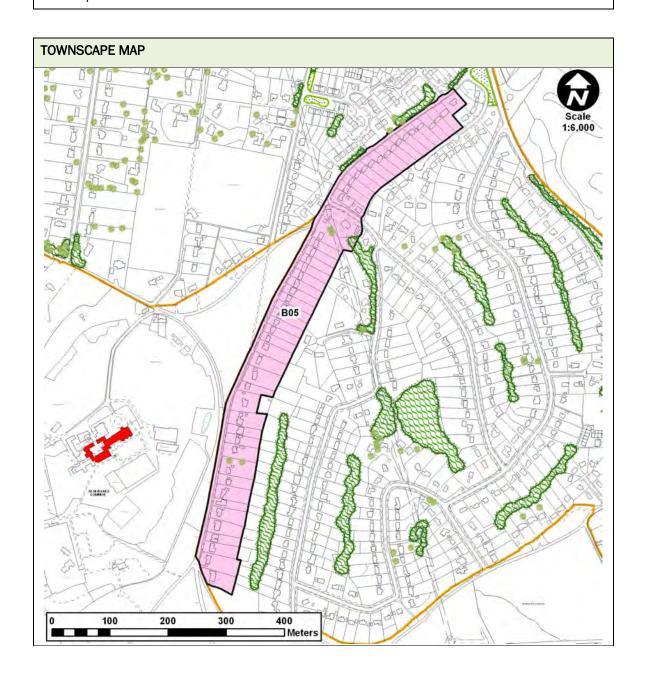
Mature trees and hedged boundaries which contribute to the character of the road should be retained

B05 WEALD ROAD

Comprising Weald Road

HISTORICAL CONTEXT

Historically the area formed the edge of Whitehart Woods and was part of the Sackville Estate. The area is bounded by the historic route Weald Road and retains some elements of the former landscape. It was laid out in the 1930s.



Locally Distinctive Contextual Features	
Age of buildings	1930s to present day
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Half timbered and render
Predominant boundary treatments	Hedges and some trees
Open space/ vegetation	Opposite Sevenoaks Common with woodland trees.
	Front boundary garden hedges and trees.









This section of Weald Road was developed in the 1930s as a row of two storey detached houses set back from the road on a relatively regular building line. The land slopes down to the east, so some properties are set slightly down from the road. Groups of buildings are visible above hedged and treed front boundaries. Along the southern section of this length of Weald Road, the western side of the road is formed by hedges and trees which enclose the space and contrast with the built form opposite. Some of the houses have common design themes including gables fronting the road, half timbered features with white painted render, tiled roofs, wide horizontal windows and chimneys.





The typical 1930's half timbered gables front the road unifying a group of properties through common design features.

Boundary Treatment



A common front boundary feature for the area is hedging, enclosing the road space, defining the boundary between public and private space and reinforcing the verdant character of the road which adjoins the woodland of Sevenoaks Common and the countryside. The edge of the area is characterised by thick ancient woodland significantly limiting the views to the open countryside beyond and framing the road space.

Detractors



Some of the houses have been significantly extended resulting in a significant erosion of the space between the detached properties.

Locally Distinctive Positive Features

Individually designed mostly 2 storey detached houses are set back on a fairly regular building line from the road

Verdant narrow road enclosed by hedges and trees

Common design themes to some properties including gables fronting the road and half timbered features

Negative Features

Extensions whose scale, mass and siting cause them to appear cramped on the site and/ or within the context of the street scene

Design Guidance

There is limited potential for further infill development but any such development should meet the guidance included in this SPD.

Many properties have been extended in the area and whilst the adaptation of existing buildings is likely to continue, there is a need to ensure that development does not appear cramped on the site or within the street scene by virtue of its scale, mass and location

In addition, the pressure for large areas for car parking may impact on the character of front boundaries and gardens.

In proposing new development within the Weald Road Character Area:

Development should be set back from the road

Traditional detailing should be retained

A side extension should not completely infill the space between properties, dominate the original building or result in a building which appears cramped on the site

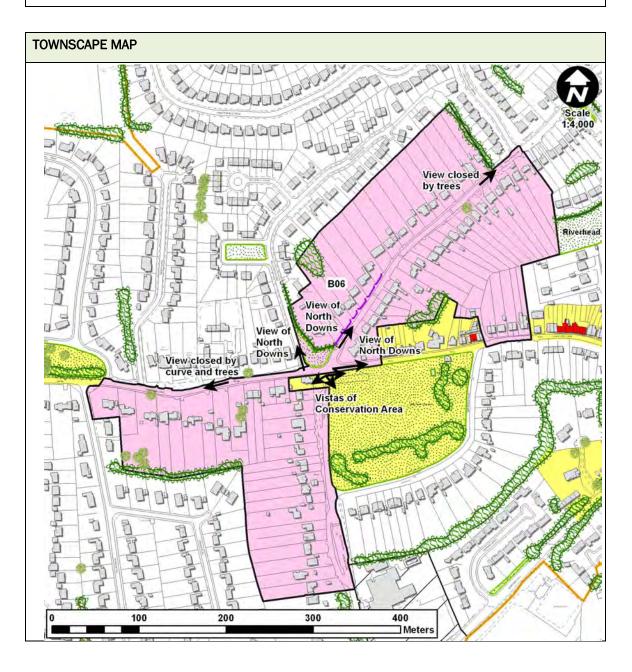
Mature trees and hedge boundaries which contribute to the character of the area should be retained

B06 - BULLFINCH LANE AREA

Comprising Bullfinch Lane (part), Witches Lane (part) and Chipstead Lane (part)

HISTORICAL CONTEXT

In the 19th Century this section of Chipstead Lane was a private driveway through the Chipstead estate. The lodge, still standing at the junction with Witches Lane, marked the entrance to the estate. Bullfinch Lane was then known as Sandy Lane. All three lanes were developed during the 1920s and 1930s.



Locally Distinctive Contextual Features	
Age of buildings	1920 - 1930s
Type of buildings	Detached with some semi-detached
Main uses	Residential
Building heights	One and two storeys
Prominent building materials	Variety of bricks, white painted render, half timbering, hung tiles, brown roof tiles
Predominant boundary treatments	Hedges, stone and brick walls, wooden fences and railings
Open space/ vegetation	Area of grass and trees at entrance to Bullfinch Lane. Views over Chipstead Common.





Chipstead Lane and Bullfinch Lane are two gently curving historic lanes which meet at a junction by the Old Lodge (above left). The townscape at this point is open and elevated with long views to the north and east towards the North Downs and shorter views to the south and east across Chipstead Common (above right). From this point, Chipstead Lane (below left) and Bullfinch Lane (below right) dip away and are more enclosed in character with a variety of garden boundaries, trees and hedges enclosing the roads. The houses in Witches Lane are set on the west side of the road only, behind a deep verge and/or service road, facing over Chipstead Common. The set back of the buildings and low scale enhance the open character around the common.







The row of one and two storey properties on Witches Lane are set back on a fairly regular building line behind hedged and treed front boundaries which complement the adjoining Chipstead Common open space.







Detached and a few semi-detached houses are set back from the street on a slightly uneven building line within deep plots enclosed by a variety of walls, hedges, wooden fences and railings. Many are partially obscured by high hedges. The houses are individually designed with a few repeats and retain many original features from the 1920s and 1930s including hipped roofs, front facing gables, curved and square bays, round windows, chimneys, porches including curved recessed porches, and a variety of decorative finishes including brick, painted render, half timbering, hung tiles, and contrast brickwork.

The interwar layout, architecture and design details have been particularly well retained in Bullfinch Lane giving a distinctive and cohesive character. There has been more alteration and infill development in Chipstead Lane and Witches Lane.







A row of white painted 1920s bungalows of uniform design with crested, castellated front porches and tall narrow chimneys, form a distinctive group in Bullfinch Lane.

The old wall enclosing the west side of Bullfinch Lane is an important townscape feature.

Landscape



A grassed open space at the southern end of Bullfinch Lane is an important landscape feature enhancing the setting of the Old Lodge and the Chipstead Common Conservation Area.

Locally Distinctive Positive Features

Detached, and a few semi-detached, houses set back from the road

Enclosed character of Bullfinch Lane and Chipstead Lane due to garden boundaries of walls, hedges (some high), fences and railings

Open, elevated character of Witches Lane enhanced by set back of single row of buildings behind gardens, verges and service road, looking over Chipstead Common

Variety of inter-war designs incorporating a range of features typical of the period including hipped roofs, gable ends, porches, chimneys, bay, round and leaded light windows. Retention of decorative finishes including a variety of brick, painted render, half timber, hung tiles and contrast brickwork

Distinctive group of bungalows in Bullfinch Lane

Long views towards the North Downs to the north and east

Shorter views and vistas across Chipstead Common, of tree belts and the adjoining Chipstead Conservation Area. Vista of the Old Lodge which provides a link with the history of the area

Open space at the southern end of Bullfinch Lane

Wall at southern end of Bullfinch Lane.

Negative Features

Some dilution of character in Chipstead Lane and Witches Lane through alteration and infill development

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings.

In proposing new development within the Bullfinch Lane Area Character Area:

Development should be set back from the road

Traditional detailing should be retained

Open space at the southern end of Bullfinch Lane should be protected

The character of the wall at southern end of Bullfinch Lane should be retained

The setting of the adjoining Chipstead Conservation Area should be protected or enhanced

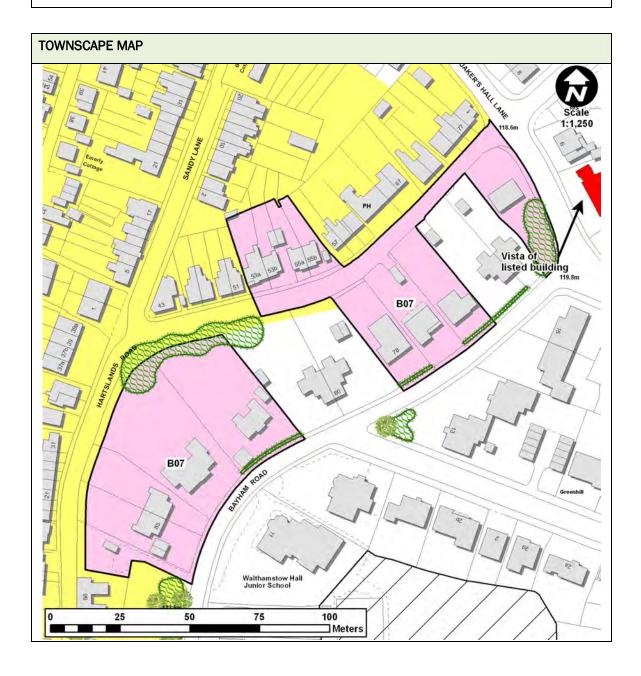
Views of the North Downs and Chipstead Common should be protected

BO7 - BAYHAM ROAD

Comprising Bayham Road (part) and Hartslands Road (part)

HISTORICAL CONTEXT

This is primarily inter-war linear development with some later infill.



Locally Distinctive Contextual Features	
Age of buildings	1930s +
Type of buildings	Detached and semi-detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	White painted render, half timbering, hung tiles and contrast brickwork
Predominant boundary treatments	Hedges, wooden fences and walls.
Open space/ vegetation	Landscaped front gardens and hedges.





The two storey inter-war houses in Bayham Road are set back on a regular building line behind landscaped front gardens enclosed by walls, hedges and fences (above left and right and below left). The houses incorporate design features typical of the period including hipped roofs, chimneys, two storey bay windows and wide low windows and decorative finishes including hung tiles, white painted render, half timbering and contrast brickwork. The area also includes two more recent properties, one facing onto Hartslands Road (below right) which in terms of roofline, scale, building line of the principal building and decorative finishes blends well with the surrounding architecture. There is a vista of a listed building north east of Bayham Road.







The semi-detached 1930s houses in Hartsland Road are of plainer design with square two storey bays and hipped roofs with central chimney stacks. The houses appear out of character with the surrounding Victorian development in terms of siting, materials and roofline and do not enhance the character of the Hartsland Conservation Area.

Locally Distinctive Positive Features

Houses set back on a regular building line behind landscaped front gardens enclosed by hedges, walls and fences

Harmonious range of limited materials and colours create a distinctive and cohesive character

Retention of the roof line and original details and decorative finishes preserves the 1930s character of Bayham Road

Gaps between the houses allow glimpses of trees to the rear

Vista of listed building to north east

Negative Features

1930s semi-detached houses in Hartslands Road do not enhance the character of the Hartslands Conservation Area due to the roofline, siting and materials.

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings.

In proposing new development within the Bayham Road Character Area:

Development should be set back from the road

The harmonious palette of white painted render, half timbering, hung tiles and contrasting brickwork should be respected in Bayham Road

The characteristic roof profile should be respected in Bayham Road

Traditional detailing should be retained in Bayham Road

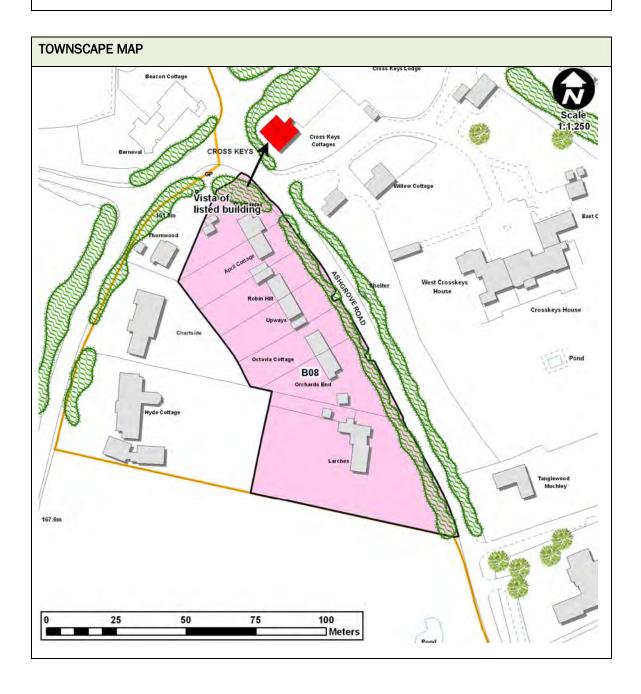
The setting of Hartslands Conservation Area should be protected or enhanced

B08 - ASHGROVE ROAD

Comprising Ashgrove Road (part)

HISTORICAL CONTEXT

This development comprises interwar linear development at the junction of two historic lanes, Ashgrove Road and Oak Lane, and two 1950s properties.



Locally Distinctive Contextual Features	
Age of buildings	1930s to 1950s
Type of buildings	Detached and semi-detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Red/brown brick, white painted render, brown pantiles
Predominant boundary treatments	Hedges and some trees
Open space/ vegetation	Lanes strongly enclosed by high hedges and trees





Ashgrove Road (above left) and Oak Lane have the character of rural lanes and are narrow and curving with no pavements. They are strongly enclosed by high hedges and trees. The three pairs of semi-detached flat fronted rendered properties of uniform design form a cohesive group (above right). They are set above the road behind stone retaining walls, hedges and planting that maintain the rural character of the lane (below). The painted rendered flat elevations, pantiled hipped roofs with chimneys, distinctive brick porches and sills contribute to a cottage character, which is enhanced by the informal front gardens and ragstone retaining walls. Long views are prevented by the curving lanes and vegetation but there is a vista of the listed building at the junction.









The detached properties are individually designed and have been significantly extended and altered.

Locally Distinctive Positive Features

Rural lane character of Oak Lane and Ashgrove Road, enclosed by hedges and trees

Cottage style semi-detached interwar properties form a cohesive group due to even roofline, repeated designs, colours and materials

Informal boundaries including ragstone retaining walls and hedges. Landscaped front gardens Individually designed detached properties

Vista of listed building at junction

Negative Features

No significant detractors

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings.

In proposing new development within the Ashgrove Road Character Area:

The characteristic roof profile of the semi-detached interwar houses should be respected

The harmonious palette of red/brown brick, white painted render and brown pantiled roofs should be respected

Traditional detailing should be retained

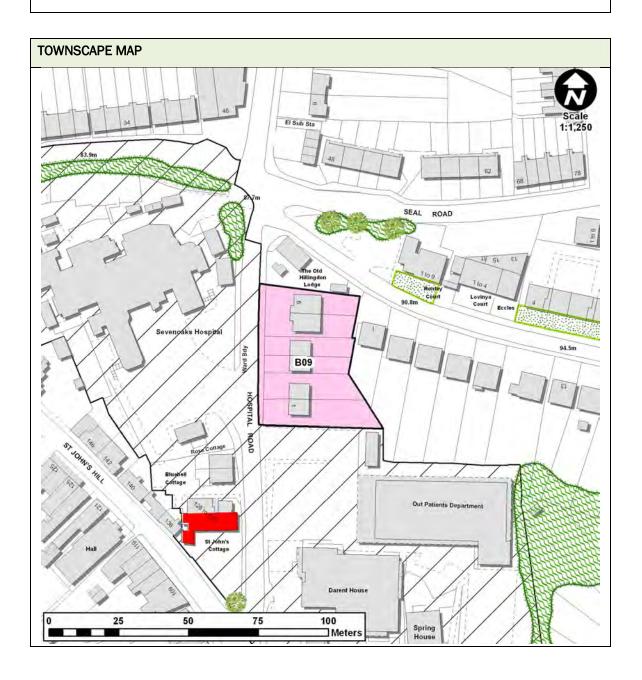
The ragstone boundary wall, hedges and mature trees which contribute to the character of the road should be retained

B09 - HOSPITAL ROAD

Comprising Hospital Road

HISTORICAL CONTEXT

There has been a hospital to the west of this road since around 1900, but it now extends both sides of the road. There is a short section of inter-war housing on the east side.



Locally Distinctive Contextual Features	
Age of buildings	1930s+
Type of buildings	Semi-detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Brown brick, painted pebbledash, hung tiles on infill, plain roof tiles
Predominant boundary treatments	Stone and brick walls and panel fence
Open space/ vegetation	Planted front gardens





The two pairs of inter-war semi-detached houses have hipped roofs and are set back from the road behind front gardens partially enclosed by stone and brick walls and panel fences (above). There is also a more recent infill property with a shallow pitch gabled roof and hung tiles (right). The character of the street is dominated by the adjoining hospitals and parked cars (below left). There is a long view towards the North Downs, but the cluttered junction with the A25 detracts from this view (below right). Pavement surfacing is poor.







Locally Distinctive Positive Features

Houses set back on a regular building line

View of North Downs

Negative Features

Poor surfacing.

View of A25 junction to the north.

Parked cars in the street and adjoining hospital car parks dominate the street scene.

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Hospital Road Character Area

Development should be set back from the road

The characteristic roof profile of the two pairs of inter-war semi-detached houses should be respected

The view of the North Downs should be protected.

C INTER-WAR PLANNED DEVELOPMENT CHARACTER AREAS



This category includes planned estates, linear developments on new roads and small infill developments. The developments are often laid out in cul-de sacs which may be straight or curved.

The semi-detached, detached and occasionally terraced houses are usually set in similar sized plots and set on a regular building line facing the road behind enclosed front gardens. Sometimes the houses are built diagonally across corners to meet the highways requirements of the time and resulting in an unenclosed, more spacious character. Semi-detached or terraced properties were of symetrical designs.

These areas may incorporate both bungalows and two storey buildings. Properties from this period have common design features such as hipped or gabled tiled roofs and wide casement windows. Many have curved bays and porches. Although frequently built to a standard design, the individual buildings were enhanced with painted cement render generally in white or cream and embellished with hung tiles and mock half timber. In the 1930s it became common for the doorways to be situated on the outer sides of semi-detached properties.

Properties are usually set back from the road behind enclosed front gardens and often have generous gardens to the rear giving these areas a spacious, verdant character.

The houses may have individual garages or communal parking blocks are provided. In estate developments, there may be a network of footpaths.



Example of Inter-War Planned Development Layout

CO1 - LAMBARDE ROAD AREA

Comprising Lambarde Road, Hillcrest, Betenson Avenue, Bradbourne Lakes, Robyns Way, Broomfield Road, Cavendish Avenue, Oakdene Road, Bradbourne Vale Road (A25), Westwood Way.

HISTORICAL CONTEXT

This grid of roads was laid out in the 1930s on the site of Bradbourne Hall and Bradbourne Hall Farm in the triangle of land between branches of the railway line, south of the A25. The 18th century Bradbourne Hall was demolished in 1937 but the lakes created in the grounds still exist.



Locally Distinctive Contextual Features	
Age of buildings	1930s
Type of buildings	Semi-detached and detached
Main uses	Residential
Building heights	One and two storeys
Prominent building materials	Brown brick, plain brown roof tiles, hung tiles, half timber, pebbledash, painted render and wooden posts and brackets.
Predominant boundary treatments	Brick and stone walls, hedges and wooden fences. Some open plan.
Open space/ vegetation	Dense tree belts on all sides. Bradbourne Lakes open space. Landscaped front gardens. Verges and hedges.





The area comprises a grid of straight or slightly curving roads lined with bungalows and two storey houses on the lower ground. The topography rises towards the south and east. The houses are set back behind wide verges, pavements and front gardens enclosed by hedges, brick or stone walls and wooden fences. Those facing the A25 are behind deep grass verges and/or deeper front gardens. The houses are set on a regular building line on similar sized plots, creating an orderly, planned character. The low building height, long straight roads, set back of the houses and limited on-street parking contribute to an open, unenclosed character.





The eastern section of the area is predominantly bungalows, whereas the west has more two storey properties. Considerable alteration has taken place including many loft conversions with the introduction of dormer windows and other alterations to the roofline. However a number of the detached and semi-detached bungalows retain original 1930s features (above left and right) including hipped tiled roofs with forward facing half timbered gabled ends and roofs which extend forward to form a porch supported on timber posts with brackets. Many properties have bow and/or round windows. A number of properties have brick bases with rendered or pebbledash painted sections above.





The two storey properties fall into two principal designs. The first (above left) reflects the bungalow design with a wide forward facing half timbered gable, symmetrical roof which sweeps down to first floor level, curved window bay window and brick base with pebbledash above. The second style (above right) has a shallow hipped roof with tile hung 2 storey bay windows. The 1930s character of the area has been retained despite subsequent alterations due to the persistence of the original layout, enclosed front gardens and many design features.

Landscape







The character of the area is enhanced by the verges and the belts of trees visible behind and between the houses on all sides (above centre). The sloping topography and straight roads allow some longer views over rooftops and trees, with occasional views of the North Downs (below left and right). This section of the A25 (above left) is verdant with tall trees, hedges and open countryside on the north side. The green character is enhanced by the landscaped front gardens (above right) and boundary hedges. Clock House Lane is a historic footpath with tall trees either side providing links with the Bradbourne Estate.







Bradbourne Lakes (above and right) is an important landscape feature at the heart of the area comprising treed green open space, streams and lakes. The tall trees are visible from surrounding streets and the area provides a link with the historic Bradbourne Estate.





There is a vista of the listed Bradbourne Farmhouse to the north of the A25 outside the character area.

Listed Buildings

The Clock House, Clock House Lane

Originally a private chapel built by Sir Ralph Bosville of Bradbourne House in 1614, it was converted into a dwelling probably in the 19th century. It comprises a 2 storey stone rubble wing and a tower.

Grade 2



Locally Distinctive Positive Features

Houses set back on regular building line

The low building height, long straight roads, set back of the houses and limited on-street parking contribute to an open, unenclosed character

Retention of original designs and 1930s details including hipped roofs, half timbering, brick and pebble dash, porches supported on wooden posts and brackets and bow, bay and round windows

Tree belts visible above and between the houses form a backdrop to the development and contribute to the green character. Verges, hedges, mature trees and planting enhance the development.

Long views of trees and occasional views of the North Downs

Bradbourne Lakes open space

The Clock House listed building and Clock House Lane

Residential character with little through traffic

Negative Features

Poor surfacing

Traffic noise from the A25 in the northern section of the area

Intermittent train noise

Some over-dominant dormer additions and other alterations to the roofline.

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings.

In proposing new development within the Lambarde Road Area Character Area:

Regular building lines should be respected

The harmonious palette of white painted render or pebbledash, half timbered gables, hung tiles, brown brick and plain brown roof tiles should be respected

The characteristic roof profile should be respected

Traditional detailing should be retained

Mature trees and hedge boundaries which contribute to the character of the area should be retained

Bradbourne Lakes open space should be protected and enhanced

Views of the North Downs should be protected

The listed building and its setting should be protected

CO2 - BOSVILLE DRIVE AREA

Comprising Lambarde Road (part), Lambarde Drive, Bosville Drive and Bosville Road (part).

HISTORICAL CONTEXT

This development was constructed in the 1930s-50s on a triangle of land between two branches of the railway line formerly belonging to the Bradbourne Estate and with Character Area CO1 forms part of an extensive area of new roads laid out in this period.



Locally Distinctive Contextual Features	
Age of buildings	1930s -1950s
Type of buildings	Semi-detached and detached
Main uses	Residential
Building heights	One and two storeys
Prominent building materials	Red/orange brick, hung tiles, painted render or pebbledash, plain brown roof tiles and wooden posts and brackets.
Predominant boundary treatments	Brick and stone walls, hedges and wooden fences. Some open plan.
Open space/ vegetation	Dense tree belts along the railways lines and Clock House Lane. Landscaped front gardens.





Lambarde Road (below right) is straight and lined by verges with houses set back from the road which contribute to open character. Lambarde Drive (above left) and Broomville Drive (above right) form loops off Lambarde Road and comprise two storey semi-detached and detached houses of repeated designs with hipped roofs set close together on a regular building line behind front gardens enclosed by brick walls with some fences and hedges. The properties in Lambarde Drive have rendered painted upper storeys below hipped tiled roofs with chimneys. Those in Broomville Drive are brick with hung tiles. The houses are of typical 1930s design but the layout is more tight knit, enclosed and formal than Lambarde Road and Character Area C01 to the north.





The southern spur of Broomville Drive comprises two storey houses and bungalows. The bungalows retain some 1930s features including shallow hipped tiled roofs, bow windows, brick bases with rendered painted upper storeys and recessed doors with arched porches.

The land rises to the south, allowing long views of the North Downs (right). Tree belts along the railway lines and Clock House Lane enclose other views and form a backdrop to the houses.



Locally Distinctive Positive Features

Houses set back on regular building line and similar plot sizes behind landscaped front gardens enclosed by brick and stone walls, hedges and wooden fences

Open character of Lambarde Road

Lambarde Drive and Broomville Drive have a more tight knit, enclosed and formal character Retention of original designs and 1930s details including hipped roofs, chimneys, rendered upper storeys, recessed porches and bow windows

Tree belts along the railway lines and Clock House Lane

Long view of the North Downs

Residential character with no through traffic

Negative Features

Poor surfacing

Intermittent train noise

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings.

In proposing new development within the Bosville Drive Area Character Area:

Regular building lines should be respected

The harmonious palette of white painted render or pebbledash, hung tiles, red/orange brick and plain brown roof tiles should be respected

The characteristic roof profile should be respected

Traditional detailing should be retained

Mature trees and hedge boundaries which contribute to the character of the area should be retained

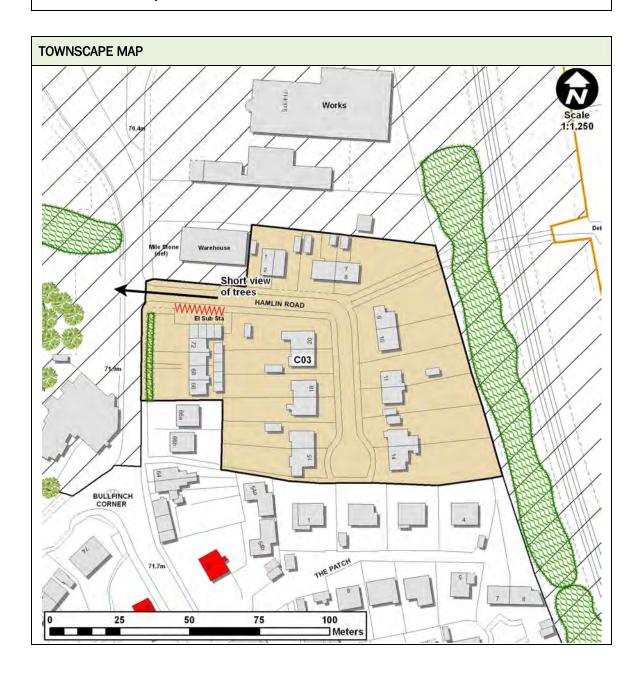
Views of the North Downs should be protected

CO3 - HAMLIN ROAD

Comprising Hamlin Road and London Road (part)

HISTORICAL CONTEXT

This 1930s infill development was constructed on previously open land between the London Road and the railway line.



Locally Distinctive Contextual Features	
Age of buildings	1930s
Type of buildings	Semi-detached and terraced
Main uses	Residential
Building heights	One and two storeys
Prominent building materials	Brown brick, white painted render, hung tiles, plain brown roof tiles
Predominant boundary treatments	Open plan with some hedges and dwarf walls
Open space/ vegetation	Tree belt along the railway line. Hedge fronting London Road





This short L-shaped Hamlin Road cul-de-sac leads off the London Road with the residential area of Riverhead to the south and a commercial area immediately to the north. A bulky flat roofed commercial warehouse from an adjoining commercial area encloses the north side of the entrance (above left) but is not in keeping with the adjoining residential properties. The semi-detached houses and bungalows are set back from the road on a regular building line and similar sized plots behind open plan or partially enclosed front gardens and driveways. The properties are varied in materials and design with hipped roofs, central chimneys, flat fronts or bays and some with front facing gables. A short terrace with tile hung upper storey faces onto the London Road but is partially screened by a hedge and trees. The area has a 1930s character but lacks cohesion. A belt of trees along the railway line forms a backdrop to the houses and the edge of the character area (right) and a footpath leads under the railway (below left).





A garage and parking area south of the entrance detracts from the character of Hamlin Road.



Locally Distinctive Positive Features

Houses set back on regular building line

Retention of 1930s character and details including hipped roofs, half timber and hung tiles

Tree belt along the railway line and hedge along the London Road

Negative Features

Poor surfacing

Train and road noise

Car parking and garage area

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings.

In proposing new development within the Hamlin Road Character Area:

Regular building lines should be respected

The characteristic roof profile should be respected

Traditional detailing should be retained

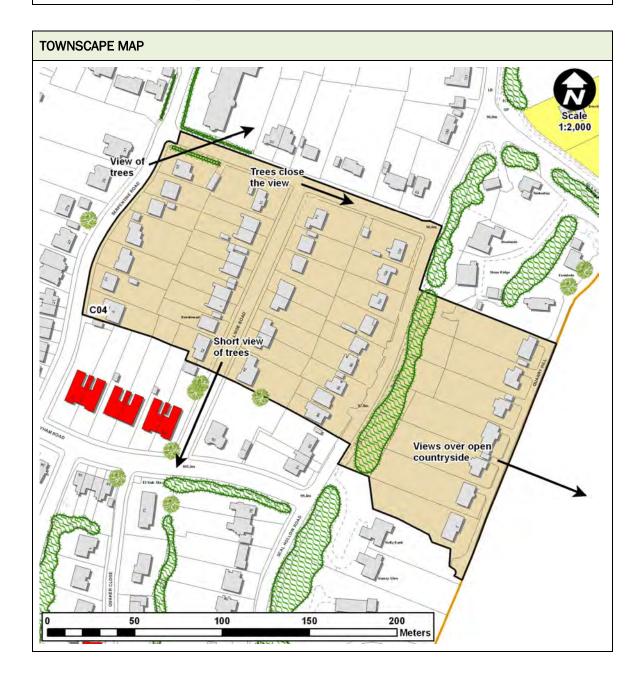
Mature trees and hedge boundaries which contribute to the character of the area should be retained

CO4 - HILLSIDE ROAD AREA

Comprising Hillside Road, Serpentine Road (part), Seal Hollow Road (part) and Quarry Hill (part)

HISTORICAL CONTEXT

This area comprises 5 rows of houses constructed parallel to Seal Hollow Road on previously open land in the inter-war period. A quarry was located just south of Quarry Hill but has now been developed for housing.



Locally Distinctive Contextual Features	
Age of buildings	1920 -1940
Type of buildings	Semi-detached and detached
Main uses	Residential
Building heights	Two storeys with a bungalow
Prominent building materials	Brown brick, hung tiles, half timber, pebbledash, painted render, plain brown roof tiles and wooden posts and brackets
Predominant boundary treatments	Brick and stone walls, hedges and wooden fences. Some open plan
Open space/ vegetation	Hedge, scrub and trees east of Seal Hollow Road. Quarry Hill abuts open countryside





The semi-detached mainly two storey houses are constructed on a relatively regular building line set above and below the road behind landscaped front gardens enclosed by hedges, walls and fences (see above left and right). The houses are constructed of red/brown brick some with tile hung upper storeys. They have hipped roofs and chimneys, some very tall and narrow. Many properties have two storey bays with gable ends decorated with hung tiles or half timbering and some have tall staircase windows typical of the period (below right). The streets, other than Seal Hollow Road, have a quiet residential character with little through traffic. The houses are of various designs including more recent infill development, but the area retains a cohesive inter-war character enhanced by the retention of original designs and 1930s details, consistent scale and building line and a limited palette of harmonious materials.





The view southwards along Hillside Road and westwards along Serpentine Road is closed by trees. The western arm of Serpentine Road occupies a more elevated position and there is a long view over trees to the north east (above left). Trees can be glimpsed through gaps between the houses. The character of the area is enhanced by hedges in Serpentine Road and shrubs and trees in front gardens.





Quarry Hill, on the east side of Seal Hollow Road is an informal private road with detached individually designed houses evenly spaced on a regular building line facing over open countryside. The hedges, wooden fences, trees and verge contribute to the informal, semi-rural character of the road. As do the lack of street lamps and pavements. The consistent roof height, materials and design themes contribute to the 1930s character. The long views eastwards over open countryside are a particular feature.





This section of Seal Hollow Road is verdant in character, enclosed by tall trees and hedges on the east side and by garden hedges on the west. The interwar houses are constructed on regular plots behind deep front gardens.

Locally Distinctive Positive Features

Houses set back on a relatively regular building line behind landscaped front gardens enclosed by brick walls, hedges and wooden fences

Retention of original designs and 1930s details including hipped roofs, chimneys, half timbering, bay windows, tall staircase windows and front facing gables

Limited range of harmonious materials including red/brown brick, some with tile hung upper storeys, gable ends decorated with hung tiles or half timbering and plain brown roof tiles

Trees visible between the houses and closing views. Landscaped front gardens enhance the development

Long view over trees to the north east from Serpentine Road and over countryside from Quarry Hill.

Negative Features

Bungalow infill out of keeping in uniformly two-storey area.

Some over-dominant dormer extensions.

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings.

In proposing new development within the Hillside Road Area Character Area:

Regular building lines should be respected

The harmonious palette of red/brown brick, some with tile hung upper storeys, gable ends decorated with hung tiles or half timbering and plain brown roof tiles should be respected

The characteristic roof profile should be respected

Traditional detailing should be retained

Mature trees and hedge boundaries which contribute to the character of the area should be retained

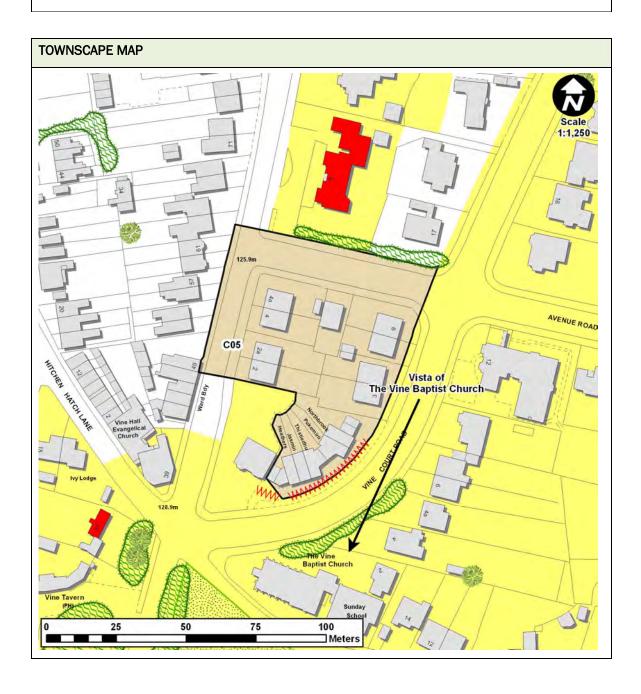
Views of countryside to the north east from Serpentine Road should be protected

CO5 VINE COURT ROAD AREA

Comprising Dartford Road (part), Avenue Road (part) and Vine Court Road (part)

HISTORICAL CONTEXT

Vine Court Road and Avenue Road were laid out with large detached houses in 1885 on land previously belonging to the Vine Court Estate. The inter-war development was constructed on land occupied by two large late Victorian houses, one of which remains. The area also includes some redevelopment dating from the 1970s/80s.



Locally Distinctive Contextual Features	
Age of buildings	1930-1980s
Type of buildings	Semi-detached, detached and terraced
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Red/brown brick, white/cream render, half timbering and plain roof tiles.
Predominant boundary treatments	Stone walls, some open plan.
Open space/ vegetation	Views of the Vine Cricket Ground to the south. Garden trees.





This area abuts the Vine Court Conservation Area on three sides which is characterised by late Victorian houses set back within wide enclosed plots. Vine Court Road and Avenue Road (above right) are spacious wide roads enhanced by garden trees and shrubs. The interwar semi-detached development is more compact and the houses are set on a regular building line closer to the road, but the landscaped front gardens enclosed by stone walls enhance the historic character of the area, maintaining its green character.

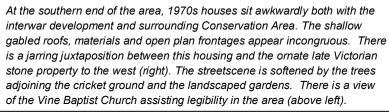




The houses have two storey bays with front facing gables decorated with half timbering. The properties are constructed of red brown brick with rendered sections painted white or cream. The hipped roofs have plain brown tiles and central chimneys. The buildings have been adapted with single storey side extensions and one prominent dormer affecting the symmetry of the roofline. The buildings are distinctive and the northern part of the area retains a cohesive inter-war character.









Locally Distinctive Positive Features

Inter-war houses set back on regular building line and similar sized plots behind landscaped front gardens enclosed by stone walls

Retention of original designs and 1930s details in the northern section including hipped roofs, chimneys, bay windows and front facing gables

Harmonious range of limited materials including red/brown brick, white/ cream rendering, gable ends decorated with half timbering and plain brown roof tiles

Trees adjoining the Vine Cricket Ground and within gardens in the Conservation Area soften the townscape

View of the Vine Baptist Church in Vine Court Road

Negative Features

1970s redevelopment out of character with the inter-war development and adjoining Conservation Area in terms of roofline, materials and open frontages

Jarring juxtaposition of 1970s housing and ornate late Victorian building to the west.

Over-dominant dormer extension

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings.

In proposing new development within the Vine Court Road Area Character Area:

Regular building lines should be respected

The harmonious palette of red/brown brick, white/ cream render, gable ends decorated with half timbering and plain brown roof tiles should be respected

The characteristic roof profile should be respected

Traditional detailing should be retained

Mature trees and hedge boundaries which contribute to the character of the area should be retained

View of the Vine Baptist Church should be protected

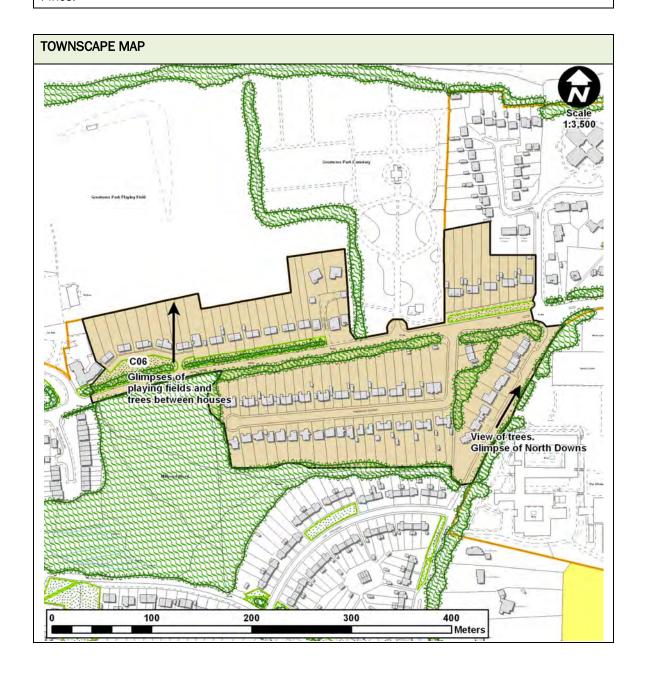
The setting of the Vine Court Conservation Area should be protected or enhanced

CO6 - PINEWOOD AVENUE AREA

Comprising Pinewood Avenue, Seal Road (part), The Pines, Seal Hollow Road (part)

HISTORICAL CONTEXT

This area comprises linear development along the north side of Seal Road, previously part of the Greatness Estate, and west side of Seal Hollow Road together with the cul-de-sac development of Pinewood Avenue which was begun in the 1930s on former woodland and completed after the Second World War. The area also includes a more recent small clustered development, The Pines.



Locally Distinctive Contextual Features	
Age of buildings	1930s +
Type of buildings	Semi-detached and detached
Main uses	Residential
Building heights	One and two storeys
Prominent building materials	Red/brown and brown brick, roof tiles, hung tiles, half timber, pebbledash
Predominant boundary treatments	Brick walls, railings, wooden fences, hedges and some open plan
Open space/ vegetation	Deep verges, street trees, hedges and landscaped gardens. The cemetery is a green open space with many mature trees





Seal Road (A25) is a busy route which in this section is straight and tree-lined. The houses west of the cemetery are interwar semi detached regularly spaced two storey houses set back from the road on a regular building line behind broad grassed verges with trees and enclosed front gardens. Those at the western end are set above the A25 along a curved service road. The houses are of repeated design with shallow hipped tiled roofs with central chimneys above brown brick elevations with hung tiles on the upper storey and some painted render. The houses have flat porch canopies or more recent porch extensions. The regular layout, repeated designs and even roofline give the area a distinctive and cohesive character. The front gardens are enclosed by brick walls, railings or wooden panel fences.





In the gaps between the houses there are views of the playing fields to the rear and occasionally longer views towards the North Downs (above left). The broad grass verges and trees contribute to the verdant character of this section of the A25 (above right).





The Pines is a small clustered development in Seal Road adjoining the cemetery. The two storey detached houses are set back from the road, maintaining the building line and are of brown brick elevations with orange brick details, half hipped tiled roofs and forward facing tile hung gables. Two properties to the rear share a shrub lined access. Tall trees in the cemetery form a green backdrop. The landscaped frontage maintains the verdant character of Seal Road.



East of the cemetery a row of white rendered semidetached houses are arranged at a slight angle to the road. The uniform design and colour, symmetrical roofs and regular chimneys placed centrally on the rear pitch create a cohesive and distinctive character. The houses are set slightly below the road behind a service road and broad grass verge and enclosed front gardens. The properties have single storey bay windows and some have single storey front extensions but the rooflines have remained unaltered. The layout and landscaping preserves the verdant character of Seal Road.



Seal Hollow Road has a green character enhanced by trees and hedges along the school boundary on the east side (above) and the treed open space at the entrance to the road. There are views northwards of trees and glimpses of the North Downs.

Seal Hollow Road has a more eclectic character with interwar houses interspersed with more recent infill development (right). The relatively even building line and front gardens enclosed by walls and high hedges are unifying features.

















The houses, some of which were constructed after the Second World War are of a variety of repeated styles which include two storey bays with gables, front facing gables which sweep down to ground floor level, oriel windows, and arched recessed porches. Finishes include painted render, hung tiles, half timber and some pebbledash. The buildings are of even height but the various gables create a varied roofline. Some loft conversions have resulted in over-dominant dormers.

Locally Distinctive Positive Features

Houses set back on a regular building line and similar plot sizes behind landscaped front gardens enclosed by brick walls, railings, hedges and wooden fences

Retention of original designs and 1930s details including hipped roofs, chimneys, bay and oriel windows

Harmonious range of limited materials including red/brown brick, half timbering white/ cream rendering, pebble dash and plain red/brown roof tiles

Repeated designs in Seal Road

Tree belts visible above and between the houses

Verges, hedges and street trees contribute to the verdant character of this section of Seal Road and Seal Hollow Road

Vistas of trees and occasional long views towards the North Downs

Negative Features

Some poor surfacing

Traffic noise from the A25 Seal Road

Some over-dominant dormer additions and loft extensions give the houses a top heavy appearance and disturb the symmetry of the roofline

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings.

In proposing new development within the Pinewood Avenue Area Character Area:

Regular building lines should be respected

The harmonious palette of red/brown brick, white/ cream render, half timbering and plain red/brown roof tiles should be respected

The characteristic roof profile should be respected

Traditional detailing should be retained

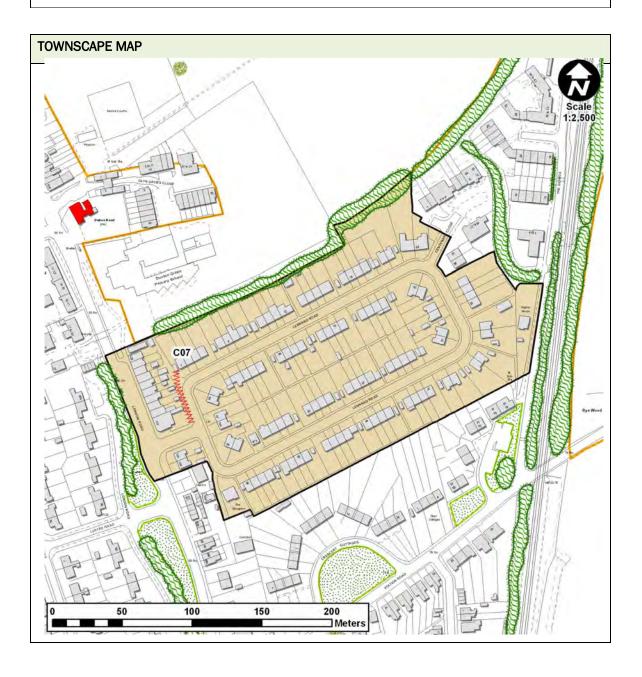
Mature trees and hedge boundaries which contribute to the character of the area should be retained

CO7 - LENNARD ROAD

Comprising Lennard Road.

HISTORICAL CONTEXT

In the early 20th Century Longford and Dunton Green were physically separate with an area of open land between. However, during the inter war period land to the east of London Road, bounded by the London Road, Station Road and the two branches of the railway line, was developed. Lennard Road forms part of this eastward expansion of the village.



Locally Distinctive Contextual Features	
Age of buildings	1930s
Type of buildings	Terraced, semi-detached and detached
Main uses	Residential
Building heights	One and two storeys
Prominent building materials	Brown brick, pebble dash, red roof tiles
Predominant boundary treatments	Brick and stone walls, railings, hedges and fences
Open space/ vegetation	Tree belts to north and east.





The semi-detached and terraced two storey houses are constructed on a loop off the London Road. The houses are set back on a regular building line behind front gardens enclosed by brick and stone walls, hedges and panel fences. However, in many cases the front boundaries have been removed to provide off-street parking. A network of footpaths provides access across the estate and to surrounding areas. The original 1930s layout and buildings have been retained with the addition of a compact development, Centenary Close at the north east corner. The area has retained a cohesive, inward-looking residential character due to the uniform house designs, regular chimneys and roofline, even building line, planned layout and absence of through traffic.





The terraced houses arranged along the straight sides of the loop (above left) are flat fronted with a variety of porch additions. The elevations are pebbledash painted in cream and white and the shallow hipped roofs have red tiles and chimneys on the ridge. Some original porch canopies supported on white wooden brackets remain. The semi-detached properties are arranged around the curves and have square two storey bays, some tile hung, with flat roofs (above right). The elevations are brick or painted and the hipped roofs have central chimneys. Many of the properties have been extended and personalised, some with garage additions. Some properties are in poor repair. There is a bungalow at the south west corner.



Trees are visible behind the houses, particularly to the north and east, but the paving of front gardens has reduced the soft landscaping. Poor surfacing and the poor condition of some of the houses also harm the character of the area.

Detractor



Terraced and semi-detached properties dating from the 1930s-1950s front onto London Road. To the rear parking, garages and service areas face onto Lennard Road harming the character of the residential area.

Locally Distinctive Positive Features

Houses set back on a regular building line behind front gardens enclosed by brick and stone walls, hedges and wooden fences

Original layout and buildings retained

Retention of original designs and 1930s details including hipped roofs, chimneys and bay windows

Harmonious range of limited materials including brown brick, pebbledash painted white/ cream, hung tiles and plain red/brown roof tiles

Trees visible between the houses particularly to the north and east

Network of footpaths

Residential inward looking character with no through traffic

Negative Features

Loss of front boundaries and paving of front gardens to provide off-street parking has reduced the soft landscaping

Poor surfacing and poor condition of some houses

Car parking, garages and service areas west of Lennard Road

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings.

In proposing new development within the Lennard Road Character Area:

Regular building lines should be respected

The harmonious palette of brown brick, white/ cream pebbledash, hung tiles and plain red/brown roof tiles should be respected

The characteristic roof profile should be respected

Traditional detailing should be retained

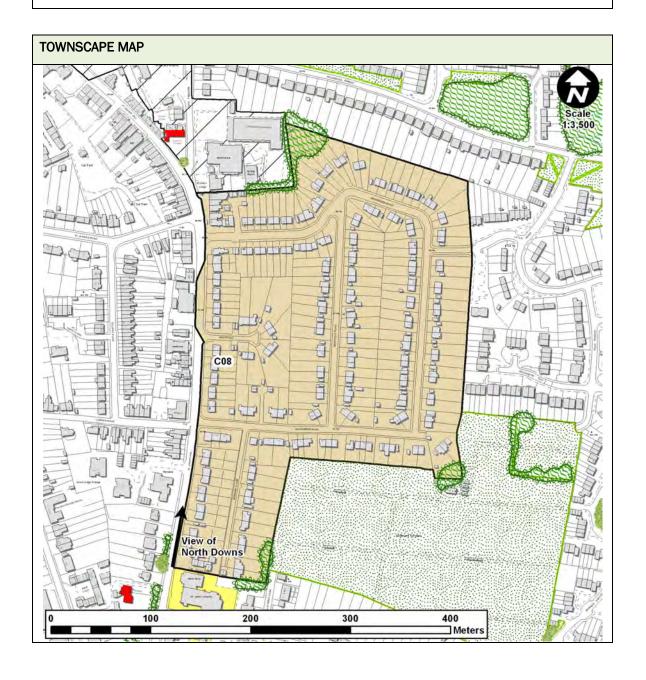
Mature trees and hedge boundaries which contribute to the character of the area should be retained

CO8 - WICKENDEN ROAD AREA

Comprising Wickenden Road, Swaffield Road, Westfield, Nursery Close and St John's Hill (part)

HISTORICAL CONTEXT

In the early 20th Century this area east of St John's Hill comprised Wickenden's Wood, a nursery and allotment gardens. During the 1930s construction began on Wickenden Road and Swaffield Road which formed a bisected loop off St John's Hill and the east side of St John's Hill was developed. Westfield and Nursery Close were constructed on former nursery land after the Second World War.



Locally Distinctive Contextual Features	
Age of buildings	1930 - 1950s
Type of buildings	Semi-detached with some terraced and apartments
Main uses	Residential and commercial
Building heights	Two storeys
Prominent building materials	Red/brown, brown and some buff brick, cream/white painted render, brown or red roof tiles, some hung tiles
Predominant boundary treatments	Brick walls, hedges, fences and some open plan
Open space/ vegetation	Garden trees and planting. Tree belt to the north of Wickenden Road





The area is laid out in straight streets lined with semi-detached two storey houses regularly spaced on a regular building line behind landscaped front gardens enclosed by hedges, wooden fences and brick walls, with a few garage blocks to the rear. The even roof height and planned layout contribute to a cohesive and distinctive residential character. Views are enclosed by the topography and trees except in St Johns Hill.







The houses are of various repeated designs with each street having a distinct character. The elevations are red/brown brick often with cream painted render. The hipped roofs with central chimneys are tiled with red or brown tiles. Some properties have forward facing gables (above right) or curved two storey bay windows (above left). A number of flat fronted properties have quoins and window lintels picked out in red brick and curved recessed porches (above centre). Many of the properties have been altered or extended but original details have generally been retained.



In the southern section of Wickenden Road, some properties have been extended which blend into the streetscene but close up the gaps between houses.



Nursery Close is a narrower road with housing on the east side only. A hedge encloses the west side contributing to a more informal, green, enclosed character. There is a vista of St John's Church in the Hartslands Conservation Area to the south.



The flat roof and open parking area of St John's Court, at the southern end of St John's Hill, is out of keeping with surrounding development.



Westfield is a cul-de-sac development of two storey semi-detached houses of uniform design. It has an inward looking residential character, being separated from St John's Hill by a narrow access enclosed by a hedge and fence. The character is enhanced by views of trees through the gaps between the houses.



Facing onto St John's Hill, interwar properties either side of the northern entrance to Wickenden Road are in commercial use, forming part of a neighbourhood centre.

Views



There are long views of the North Downs from the southern end of St John's Hill

Locally Distinctive Positive Features

Groups of houses of repeated designs, set back on regular building line behind front gardens enclosed by brick walls, hedges and wooden fences

Original layout and buildings retained

Retention of original designs and 1930s details including hipped roofs, chimneys, porch canopies, recessed porches, bay and bow windows

Harmonious range of limited materials including red/brown brick, hung tiles, painted render, red brick quoins, lintels and door arches and plain red/brown roof tiles

Garden trees visible between the houses

Vista of St John's Church from Nursery Close

Views of the North Downs

Negative Features

Some poor surfacing

Modern infill development

Loss of front boundaries to provide off-street parking

Traffic noise from St John's Hill

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings.

In proposing new development within the Wickenden Road Area Character Area:

Regular building lines should be respected

The harmonious palette of red/brown brick, white/ cream render, hung tiles, red brick quoins, lintels and door arches and plain red/brown roof tiles should be respected

The characteristic roof profile should be respected

Traditional detailing should be retained

Mature trees and hedge boundaries which contribute to the character of the area should be retained

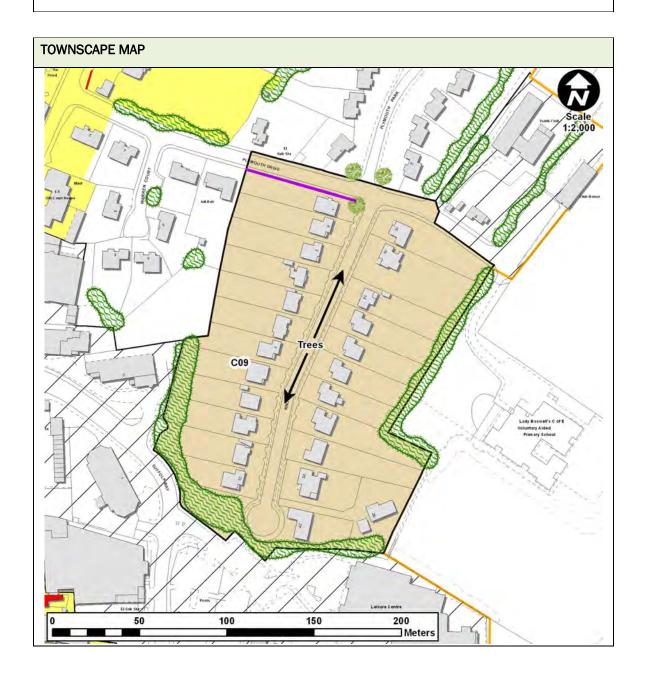
Views of the North Downs should be protected

CO9 - KNOLE WAY

Comprising Knole Way and Plymouth Drive (part)

HISTORICAL CONTEXT

Knole Way was constructed in the 1930s on land to the east of the High Street off an historic lane leading to Knole Park.



Locally Distinctive Contextual Features	
Age of buildings	1930s
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Brown brick elevations, plain brown roof tiles with half timber, hung tiles and wooden brackets.
Predominant boundary treatments	Dwarf stone walls many with hedges above.
Open space/ vegetation	Landscaped front gardens. Trees to the rear of the houses and adjoining the turning circle.





The detached two-storey houses are constructed in a number of repeated designs The properties have uniformly brown plain tiled roofs in a variety of styles including hipped, half hipped and mansard with chimneys on the ridge or pitch. Some properties have prominent forward facing gables over two storey bay windows. The brown brick elevations have a variety of finishes which include mock half timber, hung tiles and cream or white painted cement render. White or black wooden brackets or posts support projecting sections. The retention of many original features contributes to the historical character of the road.





The houses are built on a regular building line set back from the road behind verges, pavements and landscaped front gardens, enclosed or partially enclosed by dwarf stone walls, with hedges or shrubs above. The consistent boundary treatments, building line and scale of the buildings and the uniform spacing contribute to the cohesive character. The absence of on-street parking also enhances the character.



Trees are visible through the gaps between the houses and close the view at either end of the street. A tall bank and group of trees effectively screen the street from the commercial and community facilities adjoining to the south, enhancing the quiet residential character. The hedges, landscaped gardens and surrounding trees create a leafy setting for the houses.





In Plymouth Drive the stone wall on the south side is a particular feature. Trees in adjoining gardens and within the conservation area contribute to the character. There is some poor surfacing.

Locally Distinctive Positive Features

Evenly spaced two storey detached properties set back from the road on a regular building line behind pavement, verges and landscaped front gardens

The repeated building designs and consistent boundary treatments, building line, spacing and scale of the buildings contribute to the cohesive character

Retention of original designs and 1930s details including hipped roofs, bay windows, chimneys, porches and wooden brackets

Harmonious range of limited materials including red/brown brick, hung tiles, half timbering, white painted render and plain red/brown roof tiles

Residential character with little through traffic or on-street parking

Trees, hedges and landscaped gardens

Negative Features

Some poor surfacing

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings.

In proposing new development within the Knole Way Character Area:

Regular building lines should be respected

The harmonious palette of red/brown brick, hung tiles, half timbering, white painted render and plain red/brown roof tiles should be respected

The characteristic roof profile should be respected

Traditional detailing should be retained

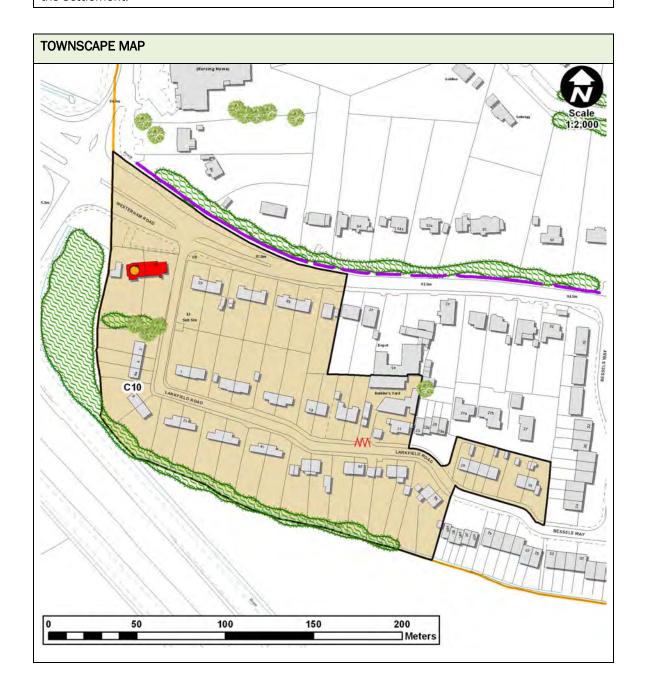
Mature trees and hedge boundaries which contribute to the character of the area should be retained

C10 - LARKFIELD ROAD

Larkfield Road, Westerham Road (part)

HISTORICAL CONTEXT

This area comprises inter-war housing built on previously undeveloped land on the outer edge of the settlement.



Locally Distinctive Contextual Features	
Age of buildings	Mainly 1920s/1930s with some more recent and one 19th century property
Type of buildings	Semi-detached, terraced and detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Red/brown brick, render painted pastel shades, pebbledash. Brown or red/brown tiles or more recent slate roofs
Predominant boundary treatments	Variety of picket fences, walls, hedges or wire fences
Open space/ vegetation	Trees and shrubs in gardens







The semi-detached and terraced houses show typical features of early public housing and the influence of the Garden City Movement being constructed in a cottage set back from the road in garden plots.

Original features are important to the 1930s character of the area and include short chimneys on the ridge, wooden brackets, porch canopies, terracotta diamond motifs, wooden casement windows. The uniform height and scale of buildings, the hipped roofs and layout of the houses are typical of the period. Alterations and personalisation have taken place.



The access from Westerham Road is enclosed by panel fences and conifer hedge and sets the development back from the main road enhancing the residential character. Belts of trees to the south and west screen the area from the A21 and the trees to the north of Westerham Road enclose the views enhancing the character of the area. The listed cottages, although partially obscured by a high hedge, are a townscape feature.



At the eastern end of the area, the houses are of different design with shallower hipped roofs, brick lower and rendered upper stories. A vacant builder's yard detracts from the character of the area.

Listed Buildings

Parkview and Prospect Cottage, Westerham Road

Pair of painted, weather boarded cottages, each 2 storeys and attic, 2 windows. Tiled roof with end brick stacks. 2 flat, leaded dormers with lattice casements.C18 leaded casements, those on first floor in wood, mullioned frames, those on ground floor with moulded hoods and wooden shutters. Parkview has glazed door, in moulded frame, under cornice hood; and 1 storey, 1 window left extension. Prospect Cottage has projecting glazed porch.



Grade 2

Locally Distinctive Positive Features

Houses set back on a regular building line and similar sized plots behind landscaped front gardens enclosed by picket or wire fences, hedges and wooden fences

The layout of the houses repeated building styles, building line and scale of the buildings contribute to the cohesive character

Retention of original designs and 1930s details including hipped roofs, bay windows, chimneys, wooden brackets, porch canopies, diamond motifs, wooden casement windows

Harmonious range of limited materials including red/brown brick, half timbering, white/ pastel painted render and plain red/brown roof tiles

Tree belts

Listed buildings

Residential character with little through traffic

Negative Features

Vacant former builder's yard

Some loss of front boundaries to create off-street parking

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings.

In proposing new development within the Larkfield Road Character Area:

Regular building lines should be respected

The harmonious palette of brown brick, white/ pastel render and plain red/brown roof tiles should be respected

The characteristic roof profile should be respected

Traditional detailing should be retained

Mature trees and hedge boundaries which contribute to the character of the area should be retained

The listed buildings and their setting should be protected

C11 - ORCHARD ROAD

Comprising Orchard Road

HISTORICAL CONTEXT

Ribbon development took place along the west side of this section of the London Road in the inter-war period. At the same time this short cul-de-sac was built overlooking the allotments on the site of a former tannery.



Locally Distinctive Contextual Features	
Age of buildings	1930s and 2000+
Type of buildings	Semi-detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Red/orange brick, hung tiles, cream painted render, half timbering, plain brown roof tiles
Predominant boundary treatments	Hedges, walls, wooden fences and open plan
Open space/ vegetation	Hedge along boundary of the allotments.





Orchard Road is a straight cul-de-sac with houses on the north side only facing south over the allotments (above left). The three pairs of semi-detached properties at the western end date from the interwar period and are of uniform design with hipped plain tiled roofs, central chimneys and roofs which sweep down low on the sides. The houses are constructed on a slightly curved building line and regular plots behind landscaped front gardens enclosed by walls and fences (above right). The three pairs of semi-detached properties at the east end are a more recent redevelopment but are built with traditional styling with hipped roofs or forward facing gables with finishes popular in the inter-war period including plain brown roof tiles, hung tiles, cream painted render and half timbering (below). The buildings are set on a straight building line on narrower plots with landscaped parking areas to the front. The height and layout blends well with the earlier development with the paintwork brightening the streetscape.

The old surfacing, hedges and trees give the area an informal residential character. .



Locally Distinctive Positive Features

The interwar houses are set back on a relatively regular building line and similar sized plots behind landscaped front gardens enclosed by walls and wooden fences.

The newer housing blends well with the interwar character due to the height, even spacing and traditional designs and finishes

The redeveloped housing is set back slightly further on narrower, even plots with landscaped parking areas in front

The area has an informal green character enhanced by the hedges and trees.

The houses are on the north side only permitting views to the south over the allotments

Residential character with no through traffic

Negative Features

Some traffic noise from the London Road and M26

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings.

In proposing new development within the Orchard Road Character Area:

Regular building lines should be respected

The harmonious palette of red/orange brick, hung tiles, cream painted render, half timbering and plain brown roof tiles should be respected

The characteristic roof profile should be respected

Traditional detailing should be retained

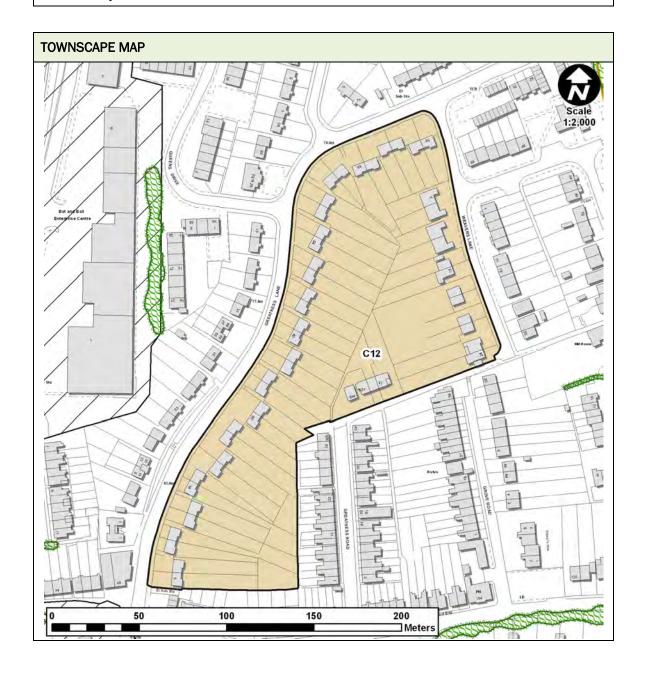
Mature trees and hedge boundaries which contribute to the character of the area should be retained

C12 - GREATNESS LANE AREA

Comprising Greatness Lane (part) and Weavers Lane (part)

HISTORICAL CONTEXT

Greatness Lane is a historic route which led to Greatness House. The Greatness area was developed, primarily for public housing, after estate land was donated to the town council in the 1920s. Weavers Lane refers to the silk mill owned by Peter Nouvaille, a French Hugenot, which stood at the junction of Greatness Lane and Mill Lane in the second half of the 18th and early 19th century.



Locally Distinctive Contextual Features	
Age of buildings	1930s
Type of buildings	Semi-detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Red brown brick, red hanging tiles, red/brown plain tile roofs
Predominant boundary treatments	Low walls, hedges, open plan
Open space/ vegetation	Landscaped front gardens





The 1930s development followed the east side of the curving Greatness Lane, with the semi-detached properties regularly spaced on a staggered building line. Weavers Lane was developed as a short straight cul-de-sac on land to the rear.

The semi-detached flat fronted brick properties in Greatness Lane have hipped plain tiled roofs and chimney stacks. The properties are tile hung and symmetrical in design with distinctive dormer windows. They are set back from and above the road behind landscaped front gardens. The east side of the street has a cohesive, distinctive character created by the regular planned layout and even roofline, repeated designs and uniform materials. The grassed banks soften the townscape.

The houses in Weavers Lane are flat fronted hipped roofed white painted rendered properties with later porch additions. The street has a cohesive character at the southern end, but gabled infill properties dilute the character at the northern end.

Views



Views are a particular feature of the area. The land slopes down towards the north and there are long views over the roofs towards the North Downs. The sloping topography and curving street layout creates changing views and vistas.



The view to the south of the hospital roofline detracts from the character of the area. The character is also harmed by parked cars.

Locally Distinctive Positive Features

The east side of Greatness Lane comprises inter-war houses set back on a staggered building line and regular plots behind grass banks

In Weavers Lane the uniform houses are set back behind enclosed front gardens

The front gardens provide a green setting for the houses and soften the townscape

Retention of original designs and 1930s details including hipped roofs, chimneys and gables

Harmonious range of limited materials including red/brown brick, hung tiles and plain red/brown roof tiles

Long views towards the North Downs

Negative Features

The inter-war character of Weavers Lane is diluted by more recent infill

View of the hospital roofline to the south

Parked cars in Greatness Lane

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings.

In proposing new development within the Greatness Lane Character Area:

The harmonious palette of red/brown brick, hung tiles and plain red/brown roof tiles should be respected

The characteristic roof profile should be respected

Traditional detailing should be retained

Mature trees and hedge boundaries which contribute to the character of the area should be retained

Views of the North Downs should be protected

D GARDEN CITY INFLUENCED PLANNED DEVELOPMENT CHARACTER AREAS



The garden city movement is a method of urban planning that was initiated in the United Kingdom in 1898 by Sir Ebenezer Howard in response to city overcrowding. Garden cities were intended to be planned, self-contained communities with cottages and gardens situated around, or close to, open spaces.

In Sevenoaks, some inter-war and early post-war housing developments are laid out around a network of green open spaces and footpaths.

In the early housing schemes, the houses are generally built in a vernacular cottage style with strong associations with the arts and crafts style. The two storey family homes (with one or two examples of 3 storeys in later years), often with rendered upper stories and gently pitched hipped roofs, have enclosed front gardens. The homes were built in traditional local materials – brick and rendered with wooden casement windows and tiled roofs. Many had small gables or dormer windows.

This form of development was particularly popular in public housing schemes built in the interwar and early post-war period. The houses are built along curved and straight streets and cul-desacs regularly spaced on a regular building line behind enclosed front gardens. The houses are frequently set back from the road facing onto footpaths and open spaces. These developments often have no garages or have communal garage blocks.

These areas today have a distinctive character. The uniformity of design and age of the houses, the consistent colours of the brick and cream render and the enclosed cottage style front

gardens provide a strong sense of identity, differentiating these character areas from surrounding development.



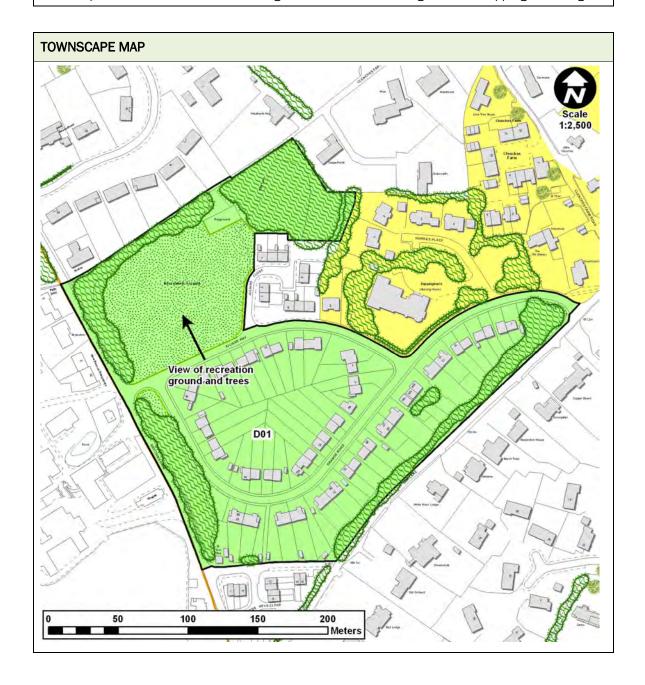
Example of Garden City Influenced Planned Development Layout

DO1 - GRANGE ROAD AREA

Comprising Grange Road, Julians Way and Brittains Lane (part)

HISTORICAL CONTEXT

A development of semi detached housing constructed within the grounds of Kippington Grange.



Locally Distinctive Contextual Features	
Age of buildings	Early 1960s
Type of buildings	Semi-detached, infill short terrace and detached house
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Brown brick, brown plain tiled roof, white window frames
Predominant boundary treatments	Low brick walls some with hedges above
Open space/ vegetation	The area overlooks the recreation ground to the north and is screened from Brittains and Oak Lane by belts of trees. Hedges and trees partially screen neighbouring areas.



The semi detached houses are set on a relatively regular building line. They are of repeated designs with brown brick elevations and steeply pitched hipped brown plain tiled roofs with chimneys on the ridge and white framed windows. The properties have one or a pair of prominent forward facing gables.



Design details include vertical staircase windows, curved door openings and tiled porch canopies supported on white brackets. The houses are set behind landscaped front gardens enclosed by dwarf brick walls, some with hedges above. Some front boundaries have been lost to create parking on the frontage. Minor infill development has taken place but maintains the building line and colour palette.





Belts of trees screen the development from Oak Lane (above left) and Brittains Lane. Tall hedges and further trees enclose the north side of Grange Road (above right) and north east of Julians Road. These tree belts and hedges emphasise the curving sweep of the roads and contribute to the verdant character of this area and its quiet residential character, preventing longer views out of the area. At junctions the houses are set back across the corners behind deeper gardens contributing to this character.



To the north of Julian's Way a view opens out over the recreation ground and woodland.



A short garage block is set back and has little impact on the streetscape.

Locally Distinctive Positive Features

Repeated building designs on a regular building line give a uniform character and sense of place with little harm from unsympathetic additions, alterations or materials

Design details include hipped roofs, vertical staircase windows, arched door openings and tiled porch canopies supported on white brackets

Consistent use of materials including brown brick, brown plain tiled roofs and white window frames

Landscaped front gardens are enclosed by dwarf brick walls some with hedges above

Belts of trees and tall hedges

Views to the north over the recreation ground and woodland

Quiet residential character with little through traffic

Negative Features

Some loss of front boundaries

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be the opportunity to upgrade the garage block as an integral part of development subject to sufficient parking spaces being provided. There may be pressure for extensions to existing buildings.

In proposing new development within the Grange Road Character Area:

Development should be set back from the road

The harmonious palette of brown brick and plain brown roof tiles should be respected

The characteristic designs and roof profile should be respected

Traditional detailing should be retained

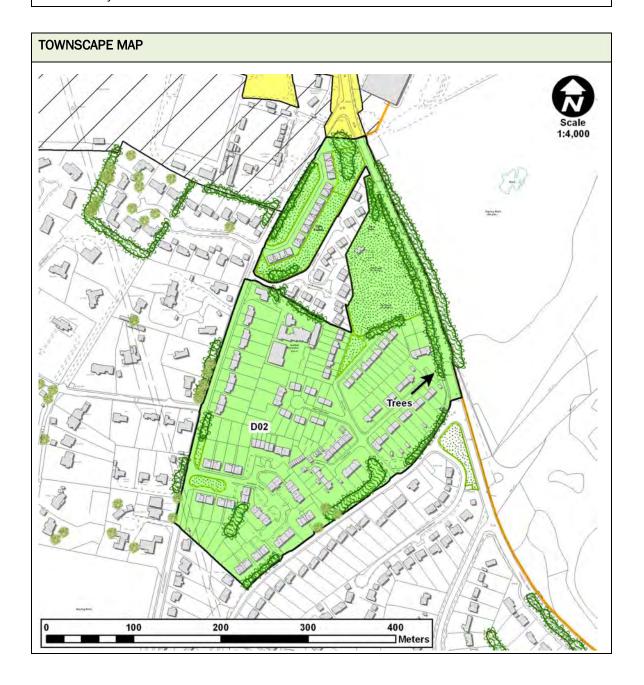
Mature trees, hedge boundaries and open space which contribute to the character of the area should be retained

DO2 - SOLEFIELDS ROAD AREA

Comprising Solefields Road, Shenden Close, Lea Road, Hurst Way, Clare Way and Tonbridge Road (part)

HISTORICAL CONTEXT

This development took place in the 1950s and 1960s (with some later redevelopment) on land previously occupied by several large Victorian mansions. Solefields was the site of a battle between Royalists and rebels in 1450.



Locally Distinctive Contextual Features	
Age of buildings	1950s - 1960s, some later
Type of buildings	Semi-detached, short terraces and apartment blocks
Main uses	Residential
Building heights	Two and three storeys
Prominent building materials	Red/brown brick, brown roof tiles, hung tiles
Predominant boundary treatments	Brick walls, some walls and hedges
Open space/ vegetation	Grassed open areas some with trees. Trees within and surrounding the development. Reservoir and green open space to the north east.





This area is located between Solefields Road (above left) and Weald Road (above right) which are both strongly enclosed by high hedges and trees and have a rural character. The trees form a backdrop to the housing area.





The area is laid out on short cul-de-sacs and loops. The buildings are of repeated designs and are constructed of red/brown brick with flat fronts or bay windows, tiled hipped or gabled roofs, chimneys and some forward facing gables. Some have hung tiles on the upper storey or bays. Design details include balconies (below left), tall staircase windows, porch canopies on posts or brackets and curved recessed porches. The repeated designs and materials give the area a distinctive identity. However, the character in each street varies according to the layout of the buildings, open spaces and variations in design. The houses are generally set back on a relatively regular building lone behind shallow front gardens enclosed by brick walls and some wooden fences and hedges. Some are open plan. The short curved streets with no through traffic contribute to a quiet, intimate residential character. The area incorporates short terraces (above left) and semi-detached properties (above right).





The character of the area is enhanced by open spaces in Solefields Road, Lea Road and Shenden Close. In Solefields Road, the loop of houses is arranged around a green, treed open space which separates and screens the houses from the road (above left). In Lea Road, the buildings face onto a green triangle of land with a magnificent copper beech tree. The houses on the north side are set behind a footpath in a layout typical of planned developments in the post-war period (above right).



Thre are also some three storey apartment blocks which reflect the design and materials of surrounding houses. The repeated tile hung bays and regular chimney stacks in Clare Way (left) are an interesting feature in the townscape.

Landscape







In Shenden Close, the buildings face onto an open space. These grassed areas create a feeling of space in this otherwise quite tightknit area.



The area is also framed and enhanced by mature trees within the area and framing it to the north and south.

Detractors



Concrete garage blocks with poor surfacing harm the character of the area in Clare Way.

Locally Distinctive Positive Features

Repeated building designs on a relatively regular building line give a distinctive character and sense of place. There has been little harm from unsympathetic additions, alterations or materials. Each street has a distinct character

Front gardens are separated from the public space by brick walls or some wooden fences and hedges

The houses face onto open spaces in Solefields Road, Shenden Close and Lea Road

Mature trees

Quiet residential character with no through traffic

Negative Features

Concrete garage blocks

Some loss of front boundaries

Poor road and footway surfacing

Some traffic noise from the London Road and more distant M26

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be the opportunity to upgrade the garage blocks as an integral part of development subject to sufficient parking spaces being provided. There may be pressure for extensions to existing buildings.

In proposing new development within the Solefields Road Area Character Area:

Regular building lines to the street should be respected

The harmonious palette of red/brown brick and hung tiles and plain brown roof tiles should be respected

The characteristic designs and roof profile should be respected

Traditional detailing should be retained

Mature trees, hedge boundaries and open space which contribute to the character of the area should be retained

D03 - LUSTED ROAD AREA

Comprising Lusted Road, Hillfield Road and London Road (part)

HISTORICAL CONTEXT

A development of semi detached housing constructed on previously open land in the late 1940s



Locally Distinctive Contextual Features	
Age of buildings	Late 1940s
Type of buildings	Semi-detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Orange/brown brick, plain brown roof tiles, white wood framed windows
Predominant boundary treatments	Variety of hedges, brick walls and wooden fences
Open space/ vegetation	Broad grassed area with trees and hedges separates the development from the London Road. Access to public open space and countryside to the west. Landscaped gardens.



The semi detached houses are of uniform design and set on a regular building line. They have flat brick front elevations and steeply pitched gabled brown tiled roofs with chimneys on the ridge, white framed windows and flat porch canopies. Some properties have single storey canted bay windows.

Despite some porch extensions, the consistent design, materials, colour palette and roofline create a strongly unifed character. The houses are evenly spaced with glimpses between of open countryside.





The houses on the London Road side, face over a cul de sac and a broad grassed area with trees and a hedge which separates the houses from the main road. The hedge front boundaries are a particular feature in this part of the area. This grassed area is now the Village Green.



Boundaries are formed by fences and brick walls, although some front boundaries have been lost to provide open parking.

The elevated position, long views to the south and west and the set back of the houses from the road contribute to an unenclosed character. There are views of Riverhead church spire to the south assisting legibility in the area.



To the west, the development abuts grassed open space with long views west over open countryside. The open spaces and the absence of through routes contribute to the quiet, residential character of this area. However there is some traffic noise from the London Road and M26. In Hillfield Road, the houses are set back behind front gardens enclosed by hedges,

Locally Distinctive Positive Features

Repeated building designs on a regular building line give a uniform character and sense of place. There has been little harm from unsympathetic additions, alterations or materials.

Front gardens are separated from the public space by wooden fence, hedge or brick wall boundaries. Hedges are a particular feature in London Road.

A wide grassed area, now the Village Green, hedge and mature trees separate the area from the main London Road

Hillfield Road has a relatively open character due to its elevated position and the spacing of the houses set back from the road

Views to the west of the Darenth Valley and south towards Sevenoaks Common and Riverhead church spire

Quiet residential character with no through traffic

Negative Features

Some loss of front boundaries

Poor road and footway surfacing

Some traffic noise from the London Road and more distant M26

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings.

In proposing new development within the Lusted Road Area Character Area:

Regular building lines to the street should be respected

The harmonious palette of orange/brown bricks and plain brown roof tiles should be respected

The characteristic designs should be respected

Traditional detailing should be retained

Mature trees, hedge boundaries and open space which contribute to the character of the area should be retained

Views to the west of the Darenth Valley and south towards Sevenoaks Common and Riverhead church spire should be protected

D04 - CRESCENT COTTAGES

Comprising Crescent Cottages and Station Road (north side)

HISTORICAL CONTEXT

A development of short terraces and semi detached planned housing constructed on previously open land in two phases in the 1930s and 1960s with more recent infill.



Locally Distinctive Contextual Features	
Age of buildings	1930s and 1960s
Type of buildings	Short terraces and semi-detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Red brick, steep brown plain tiled roofs with chimneys on ridge, flat white porch canopies on wooden brackets.
Predominant boundary treatments	Hedges
Open space/ vegetation	Grassed open space in front of Crescent Cottages and deep front gardens and hedgerows. Trees screen the railway line.



The western end of the area comprises 6 short terraces of four properties of uniform design. The terraces are constructed of red brick with flat front elevations beneath quite steeply pitched hipped plain tiled roofs with regular chimney stacks on the ridge. The ground floor windows have gently arched openings whilst those on the first floor are rectangular or round. The flat porch canopies are supported on white wooden brackets and a central arch leads to the rear of the properties. The uniform traditional design gives a cohesive character to the area.



Three of the terraces are arranged on a regular building line around a crescent shaped service road with a treed open space at the centre. The houses are set behind front gardens enclosed by hedges. Some hedges have been lost to create frontage parking and parking on the open space detracts from the character.





The houses facing onto Station Road are set on a regular building line behind very deep landscaped front gardens enclosed by hedges, which are a distinctive feature of the area. Some personalisation and alteration has taken place which affects the unified character of the area.



The houses to the eastern end of the area are of 1960s construction with orange red elevations and brown tiled gabled roofs. The semi detached properties are arranged around a shared access with a landscaped frontage to the road. Although design details and materials vary from those of the older buildings, the scale and building line are consistent. A more recent building at the eastern end blends well into the streetscene.

Locally Distinctive Positive Features

Repeated building designs on a regular building line give a uniform character and sense of place

Design details include hipped roofs, arched door openings and chimney stacks, distinctive windows and porch canopies supported on white brackets

Consistent use of materials including brown brick, brown plain tiled roofs and white window frames

The distinctive layout with the dwellings overlooking open space.

The deep landscaped front gardens and hedges are a particular feature of Crescent Cottages

The service road and grassed area fronting Crescent Cottages and the landscaped frontage to the semi detached properties contribute to the verdant character

Trees screen the railway line to the east

Negative Features

Some loss of front boundary hedges

Poor road and footway surfacing

Some personalisation and alteration

Parking on pavements and the open space

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings.

In proposing new development within the Crescent Cottages Character Area:

Regular building lines to the street should be respected

The harmonious palette of red brick and plain brown roof tiles should be respected

The characteristic designs and roof profile should be respected

Traditional detailing should be retained

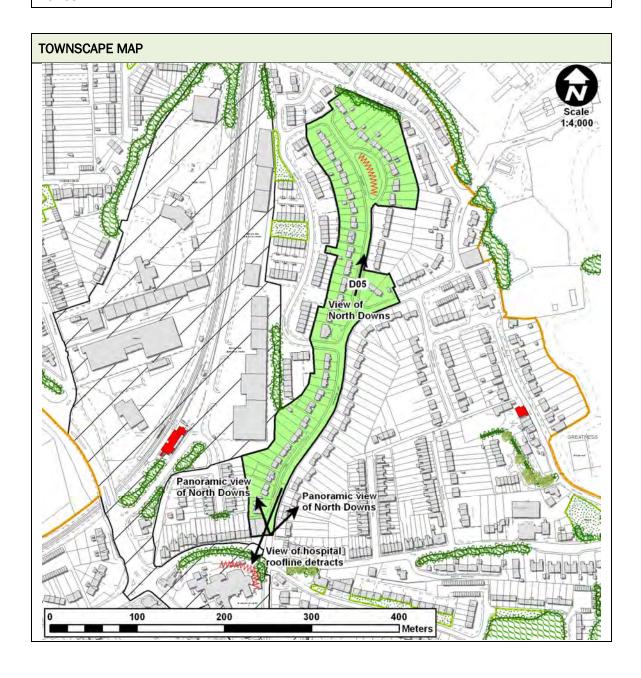
Mature trees, hedge boundaries and open space which contribute to the character of the area should be retained

D05 - ORCHARD CLOSE

Comprising Greatness Lane, Orchard Close

HISTORICAL CONTEXT

Greatness Lane is a historic route which led to Greatness House. The Greatness area was developed, primarily for public housing, after estate land was donated to the town council in the 1920s.



Locally Distinctive Contextual Features	
Age of buildings	1950 - 1960s
Type of buildings	Semi-detached and terraced
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Red/brown brick, brown roof tiles and hung tiles
Predominant boundary treatments	Brick walls, fences and some hedges
Open space/ vegetation	Some hedges. Views of countryside.





Greatness Lane curves and dips northwards from the A25 with long views towards the North Downs over the rooftops. Orchard Close leads off Greatness Lane to the north and is also curving with a cresent of houses part way down facing onto a tarmac parking area. The semi-detached two storey houses are regularly spaced on a curved building line behind front gardens enclosed by low brick walls with some hedges and fences above. The houses are of repeated designs constructed of red/brown brick with gabled or hipped roofs with chimneys on the ridge. The houses in Greatness Lane have pitched tiled porches and hung tiles and some are set below the road behind a footpath. The repeated designs, consistent materials and layout create a distinctive character. The spacing of the houses permits glimpses between to countryside beyond.



On road and pavement parking clutter the streetscene. A tarmac parking area in Orchard Close on previously green open space detracts from the streetscene.

Locally Distinctive Positive Features

Repeated building designs give a distinctive character. There has been little harm from unsympathetic additions, alterations or materials

Design details include hipped roofs or gabled roofs with chimneys and pitched tiled porches

Consistent use of materials including red/brown brick, hung tiles and brown roof tiles

Front gardens are enclosed by low brick walls and some wooden fences and hedges

Orchard Close has a quiet residential character with little through traffic.

Long views from the south of the area towards the North Downs

The spacing of the houses permits glimpses through to countryside

Negative Features

On street parking and the tarmac parking area in Orchard Close harm the character of the area

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings.

In proposing new development within the Orchard Close Character Area:

Regular building lines to the street should be respected

The harmonious palette of orange/brown bricks and plain brown roof tiles should be respected

The characteristic designs and roofline should be respected

Traditional detailing should be retained

Mature trees, hedge boundaries and open space which contribute to the character of the area should be retained

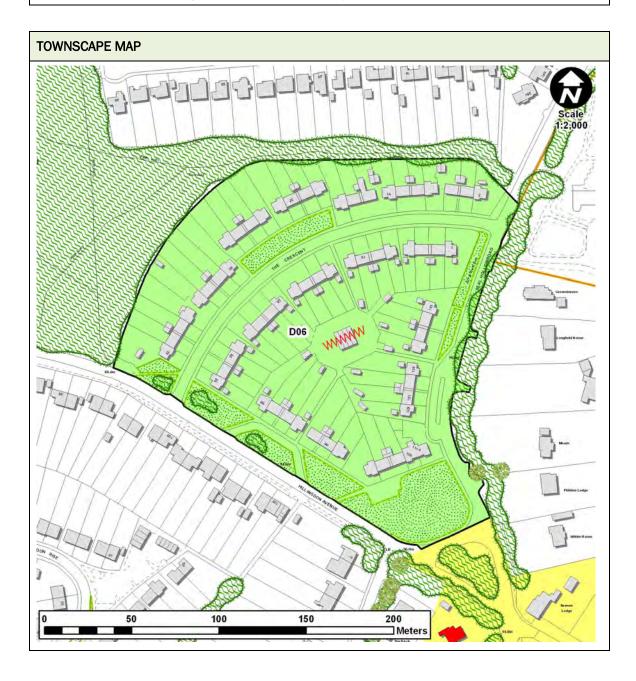
Views of the North Downs should be protected

D06 - THE CRESCENT AREA

Comprising The Crescent, Hillingdon Avenue (part) and Seal Hollow Road (part)

HISTORICAL CONTEXT

An area of planned housing constructed on previously open land around 1960.



Locally Distinctive Contextual Features	
Age of buildings	Around 1960
Type of buildings	Short terraces
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Red/ brown brick, brown plain tile roof
Predominant boundary treatments	Low brick walls, hedges and some now open plan
Open space/ vegetation	Some houses front onto grassed open areas and footpaths. Trees at the north western and south eastern edge of the area





The houses facing Hillingdon Avenue and some in Seal Hollow Road and the Crescent are set back from the road on a relatively regular building line behind a broad belt of grass and trees and are accessed via footpaths in a typical layout for this type of Character Area. This open space contributes to the character of the area and separates the area from surrounding traffic. Tree belts to the north/north west and south/south east of the area form a backdrop to the housing and together with the open space and hedges, soften the uniform architecture and built form.



The houses in The Crescent are built on a curved building line set back behind landscaped front gardens enclosed by low brick walls and hedges. The uniform boundaries further reinforce the cohesive identity.



The short terraces have red/brown brick elevations and brown plain tiled steeply pitched gabled roofs with chimney stacks on the ridge.

Symmetrical two storey projections with gables face the road. The properties have flat concrete porch canopies and square or vertical white framed windows. The uniform designs and materials contribute to the cohesive character of the area giving a strong sense of place.

Detractors





Narrow tarmac access roads lead to a central parking area with flat roofed concrete garages. The fences, surfaces and buildings are in poor condition which together with the absence of landscaping contributes to the poor environmental quality of this area.



Some personalisation of properties and replacement roofs affect the character of the area. The loss of front boundaries to create frontage parking also harms the cohesive character.

Locally Distinctive Positive Features

Repeated building designs, a relatively regular building line and a limited colour palette give a uniform character and sense of place. There has been little harm from unsympathetic additions, alterations or materials

Design details include steeply pitched gabled roofs with chimney stacks on the ridge, symmetrical two storey projections with gables facing the road, flat concrete porch canopies

Consistent use of materials including red/brown brick and brown plain tile roofs

Consistent boundary treatments

Wide grassed areas, some with trees

Tree belts to the north/north west and south/south east of the area

The Crescent has a quiet residential character with little through traffic

Negative Features

Some personalisation and replacement roofs have affected the distinctive character

The central parking and garage area is of poor quality and condition

There has been some loss of front boundaries

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be the opportunity to upgrade the garage blocks as an integral part of development subject to sufficient parking spaces being provided. There may be pressure for extensions to existing buildings.

In proposing new development within the Crescent Area Character Area:

Regular building lines to the street should be respected

The harmonious palette of red/brown bricks and plain brown roof tiles should be respected

The characteristic designs and roofline should be respected

Traditional detailing should be retained

Low brick wall or hedge boundaries should be retained or replaced

Mature trees, hedge boundaries and open space which contribute to the character of the area should be retained

D07 - HILLINGDON RISE AREA

Comprising Littlewood, Hillingdon Rise, The Green, Nicolson Way, Garden Road

HISTORICAL CONTEXT

An area of planned housing constructed in the early 1960s on previously open land and allotments. The terraced housing in Little Wood was built in the early 1950s. Some of the 1960s properties in Hillingdon Rise have been redeveloped in the last 10 years.



Locally Distinctive Contextual Features	
Age of buildings	1960 - 2000+
Type of buildings	Semi-detached, terraces, maisonettes and apartment blocks
Main uses	Residential
Building heights	Two and three storeys
Prominent building materials	Brown, red and yellow brick, white painted render, concrete roof tiles, brown or orange hung tiles
Predominant boundary treatments	Low brick walls, some hedges or open plan
Open space/ vegetation	Central green space and other grassed areas and verges within the development, treed green space facing onto Hillingdon Avenue. Access to recreation ground to the south.



The majority of the properties are semidetached two storey houses of repeated designs set on a relatively regular building line. They have quite steeply pitched hipped brown plain tiled roofs with some gables facing the road and chimneys on the ridge or slope. Red/brown brick lower storeys and rendered white painted upper storeys are consitently used materials. The properties are set back behind front gardens enclosed by low brick walls some with hedges above or occasionally wooden fences. The gardens front onto pavements or footpaths and small green open spaces or banks. The area around The Green and eastern end of Hillingdon Rise has retained the original character with the repeated designs, materials, roofs, boundaries, regular spacing and building line being strongly unifying features.



Three short terraces in Hillingdon Rise also have a distinctive and cohesive character. The porch canopies are supported on white wooden brackets and the elevations are enhanced by contrast orange brickwork. The buildings have a cottage character.



In the southern section of Hillingdon Rise, three storey maisonettes date back to the original scheme. They are of uniform design with rather stark stairs and walkways leading to the first floor. Only three blocks remain of the original fourteen, the rest having been redeveloped.





In Little Wood the terraced two storey buff brick houses (above left) have shallow brown gabled tiled roofs with no chimneys and red hung tiles on the first storey. The houses have prominent front porches and the grassed frontage is unenclosed. The properties have a uniform character. The concrete garage blocks detract from the appearance of the street (above right).





The western end of Hillingdon Rise has been redeveloped with compact two storey semi-detached and terraced red brick properties arranged around landscaped parking areas (above left). Garden Court, a three storey yellow brick apartment block is set below Hillingdon Rise. Its height does not appear out of scale (above right) with the area and the colour contrasts with surrounding buildings.

Landscape



The buildings are set back from Hillingdon Avenue behind a treed open space crossed by footpaths, contributing to the character area. A Millpond Wood encloses the view to the north.



Some of the properties front onto footpaths and small grassed areas in a layout that is typical of this type of Character Area. The buildings are set at angles to the road on curves and junctions, creating a feeling of space.



The central Green is a particular feature of the area providing a focal point and a green setting for the buildings, enhancing the cottage character of the houses and creating a feeling of space. Part of the open area has been sympathetically converted to a landscaped parking area.



A well tended recreation ground with play equipment can be accessed from the south of the area. It is enclosed by trees.

Views





The land rises to the south and east. There are long views from The Green to the northwest over rooftops and trees to the North Downs (above left) and from Garden Road towards the north (above right).

Locally Distinctive Positive Features

Hillingdon Rise has a distinctive and cohesive character and the original layout, buildings and open spaces have been retained through much of the area

The repeated designs, materials, roofs, boundaries, regular spacing and building line are strongly unifying features

Design details include hipped roofs or gabled roofs with chimneys

The Green and other grassed spaces

Long views to the north and northwest towards the North Downs

The area has a quiet residential character with no through traffic Sympathetic redevelopment and provision of landscaped parking areas enhances the quality of the area

Negative Features

Concrete flat roofed garages in Little Wood

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be the opportunity to upgrade the garage blocks as an integral part of development subject to sufficient parking spaces being provided. There may be pressure for extensions to existing buildings.

In proposing new development within the Hillingdon Rise Area Character Area:

Regular building lines to the street should be respected

The harmonious palette of materials should be respected

The characteristic designs and roofline should be respected

Traditional detailing should be retained

Mature trees, hedge boundaries and open space which contribute to the character of the area should be retained

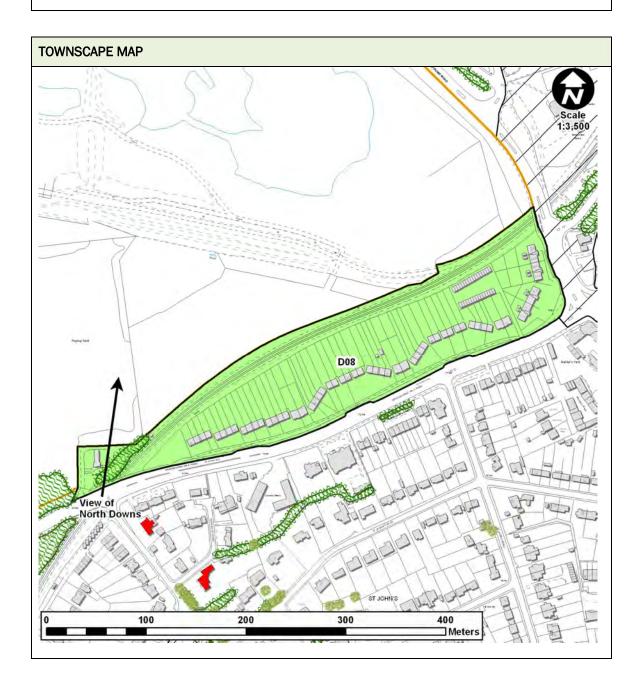
Views of the North Downs should be protected

DO8 BRADBOURNE VALE ROAD

Comprising Bradbourne Vale Road; Otford Road

HISTORICAL CONTEXT

Most of the area was laid out in a planned development in the 1930s.



Locally Distinctive Contextual Features	
Age of buildings	1930s and present day
Type of buildings	Terraced and semi-detatched
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Red/ orange brick and brown or red tiles
Predominant boundary treatments	Hedges and some trees
Open space/ vegetation	Generally grassed front gardens. Front boundary garden hedges and trees.









The north side of this section of Bradbourne Vale Road was developed in the 1930s as a planned group of two storey terraced and semi detached properties arranged in two crescents and as terraces stepped back from the road. The two terraces which turn the corner into Otford Road were constructed in a similar design at a later date. The land slopes down from Bradbourne Vale Road so the properties, gardens and sloping verge are set down from the road.

Although the groups of properties have slightly different designs, they are unified by their grouping, height, materials, hipped roofs (one mansard), wide horizontal windows and chimneys. There has been some personalisation through replacement windows and doors, or the addition of small porches, but overall the properties form a cohesive group arranged behind a generally open grassed frontage.





The contemporary design of the flat roofed flats with render and timber cladding and square or horizontal windows takes no visual cues from the adjoining development. The building sits closer to the road, is not set down behind an open landscaped frontage and has clearly been designed as a separate isolated development from its neighbours although visible within the same street scene.

Views



The area abuts the countryside to the north and a view of the North Downs can be seen from the railway bridge.

Boundary Treatment



A common front boundary feature for the area is hedging with occasional trees, defining the boundary between public and private space. There are also a number of small street trees which are planted in the sloping verge next to the road.

Locally Distinctive Positive Features

A planned cohesive group of two storey terraced and semi detached properties unified by their grouping, height, materials, hipped roofs (one mansard), wide horizontal windows and chimneys.

Generally open grassed frontage enclosed by hedges and trees with some street trees

Common design themes to some properties including gables fronting the road and half timbered features

Negative Features

Traffic

Design Guidance

There is no opportunity for further infill development but there may be pressure to develop the garage court. Any such development would have to take into account the lack of off street parking for properties in this area.

In proposing new development within the Bradbourne Vale Road Character Area:

Where an extension is proposed to the front of a dwelling, the scale and materials should respect the existing building. Loft extensions should not detract from the characteristic roof profile of the group of building.

Hedge boundaries which contribute to the character of the area should be retained

The view of the North Downs should be protected

D09 - BULLFINCH CLOSE WEST

Comprising Bullfinch Close (west)

HISTORICAL CONTEXT

The set piece square around the amenity open space is retained as the only remaining part of the 1950s properties previously located along Bullfinch Close which have been redeveloped in recent years.



Locally Distinctive Contextual Features	
Age of buildings	1950's to present day
Type of buildings	Semi detached and terraced
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Mainly white/ pastel render with brown tiles - some red brick
Predominant boundary treatments	Hedge and picket fence
Open space/ vegetation	Amenity open space at the centre of 1950s square. Views of the North Downs.



Two storey terraced and semidetached houses with hipped, tiled roofs face on to the central amenity space.

The symmetrical designs of render and brick houses are set back on a relatively regular building line behind enclosed front gardens.

Trees frame the view and enclose the development to the west.

The development has no garages, with parking found around the green.

Landscape



The amenity open space at the centre of the 1950s 'square' is typical of the planned layouts of this period and provides a break in the built form and a contrast to the adjoining built up area.

Views

A view of the North Downs is available to the north western corner of the site providing a backdrop and verdant setting to this set piece.



Detractor

The surface of the footpath at the edge of the amenity open space is in poor condition.



Locally Distinctive Positive Features

Unity of the two storey houses arranged around the green

Repeated building designs on a relatively regular building line give a uniform character and sense of place with little harm from unsympathetic additions, alterations or materials

Consistent use of materials including white/ pastel render and red brick, brown plain tiled roofs and white window frames

The amenity open space at the centre of the 1950s 'square'

Landscaped front gardens are enclosed by hedgers and picket fences

Belt of trees to the west

Views of the North Downs

Negative Features

Surface of the footpath at the edge of the amenity open space

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Bullfinch Road west Character Area:

The unity of the two storey houses arranged around the green should be respected

Development should be set back from the road

The harmonious palette of white/ pastel render, red brick and brown plain tiled roofs should be respected

The characteristic designs and roof profile should be respected

Mature trees, hedge boundaries and open space which contribute to the character of the area should be retained

Views of the North Downs should be protected

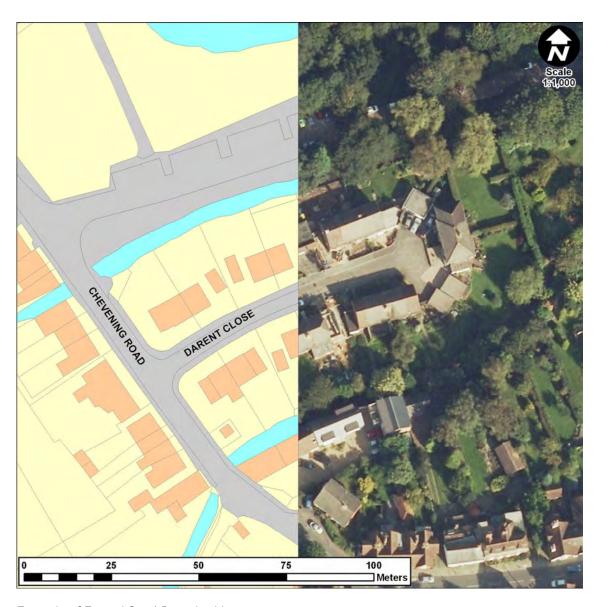
E FORMAL SEMI-DETACHED LAYOUT CHARACTER AREAS



There are very few areas of this type in Sevenoaks.

These areas were developed in the 1960s and 1970s and comprise semi detached houses of uniform, repeated or similar design. The semi detached houses are closely spaced on a regular building line set back from the road behind relatively shallow front gardens enclosed by consistent boundaries, usually low walled gardens or hedges and some trees. Groups of buildings are visible from the street.

The formal layout is created by the standard road layout with two footways, a regular building line and spacing between buildings.



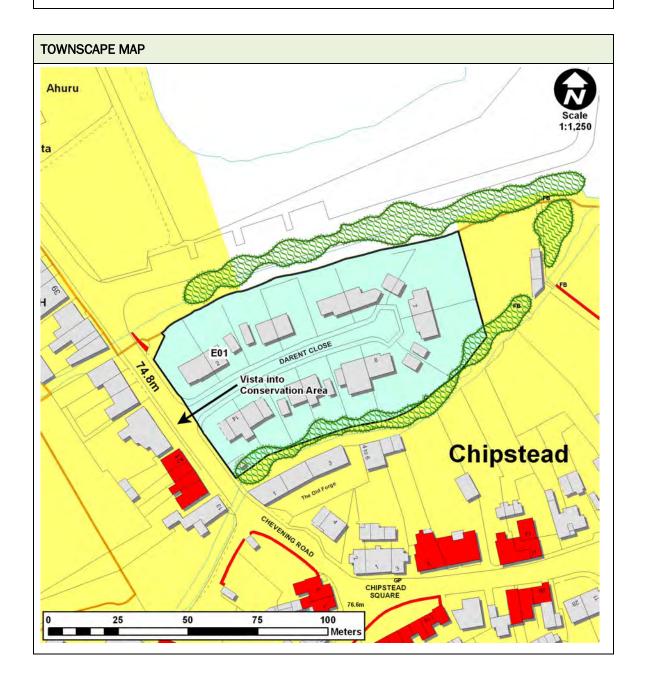
Example of Formal Semi-Detached Layout

E01 - DARENT CLOSE

Comprising Darent Close

HISTORICAL CONTEXT

Seven pairs of semi-detached houses built in the 1960's on formerly open land used as a cattle pen, adjoining Chipstead village centre between two branches of the River Darent.



Locally Distinctive Contextual Features	
Age of buildings	Early 1960s
Type of buildings	Semi-detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Orange/brown brick, brown roof tiles and white framed windows.
Predominant boundary treatments	Low brick walls
Open space/ vegetation	Landscaped front gardens. Glimpses between houses to north and south of trees along the banks of the River Darent.





The houses are set back on a regular building line behind landscaped front gardens enclosed or partially enclosed by brick walls. The two storey orange/brown brick houses have half hipped or hipped brown tiled roofs with small chimneys, single storey flat roofed bay windows and arched porches with recessed doors. The properties have been altered and extended but the cul-de-sac retains a cohesive character due to the consistent scale, set back and materials of the properties. Swan neck street lamps are a feature.



Trees bordering the River Darent are visible between and over the houses to the north, east and south.

To the west there is a vista into Chipstead Conservation Area (left). There are no long views.

Locally Distinctive Positive Features

Tree belts visible above and between the houses

Consistent scale, set back, materials and boundary treatments contribute to the cohesive character

Swan neck street lamps

Vista of the Chipstead Conservation Area

Residential character with no through traffic

Negative Features

Road noise from the M26 and M25.

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings.

In proposing new development within the Darent Close Character Area:

Regular building lines should be respected

The harmonious palette of orange/brown brick, brown roof tiles and white framed windows should be respected

The characteristic roof profile should be respected

Traditional detailing should be retained

Low brick wall boundaries should be retained

Mature trees and hedge boundaries which contribute to the character of the area should be retained

E02 - THE PADDOCKS

Comprising The Paddocks

HISTORICAL CONTEXT

A post 1990 development on previously open land at the eastern edge of Sevenoaks.



Locally Distinctive Contextual Features	
Age of buildings	Post 1990
Type of buildings	Semi-detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Brown and orange brick, brown roof tiles
Predominant boundary treatments	Low hedges or open plan
Open space/ vegetation	Grassed front gardens and shrubs. Tree belt to the west.





The semi-detached houses are evenly spaced on a curving building line around the short cul-de-sac with one property facing the entrance (above right). This layout creates an intimate, residential character with no through traffic. The front gardens are grassed with some trees and partially enclosed by low hedges, whilst the rear gardens of numbers 1 and 2 are enclosed by a curved brick wall. The houses are of repeated design with brown brick elevations with orange brick details, white framed windows, monopitch tiled porch projections and gabled tiled roofs. Some properties are tile hung on the upper storey, others have curved window openings on the ground floor. The property by the entrance has a prominent forward facing gable. The repeated designs give the development a cohesive character.

The development is screened from Seal Hollow Road by a hedge, stone wall and some trees. There is a broad grass verge fronting the road providing a green setting for the development. The east side of Seal Hollow Road is partially enclosed by an embankment with bushes and trees. Trees are visible over and between the houses closing the views to the north, west and south.

Locally Distinctive Positive Features

Tree belts are visible above and between the houses forming a backdrop to the development to the north, west and south

Consistent building height, building line, materials, designs and boundary treatments contribute to the cohesive character

A hedge, stone and brick wall and some trees screen the development from Seal Hollow Road to the east

A broad verge adjoining Seal Hollow Road provides a green setting for the development

The clipped hedges and brick rear garden wall are distinctive features

Intimate, residential character with no through traffic

Negative Features

Some road noise from Seal Hollow Road.

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Paddocks Character Area:

Regular building lines should be respected

The harmonious palette of brown brick with orange brick details, brown roof tiles and white framed windows should be respected

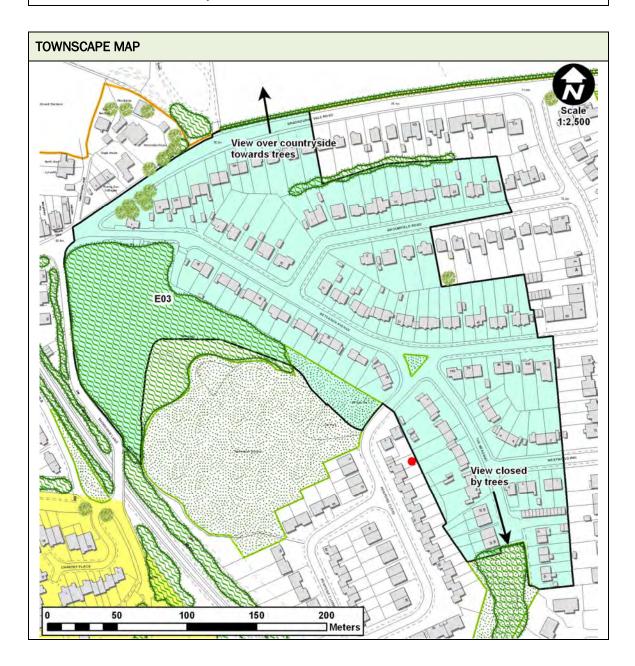
Mature trees and hedge boundaries which contribute to the character of the area should be retained

E03 - BETENSON AVENUE AREA

Comprising Betenson Avenue, Broomfield Road (part), The Meadway, Westwood Way (part) and Bradbourne Vale Road (part)

HISTORICAL CONTEXT

This grid of roads was laid out in the 1950s – 1960s (with some earlier and later properties) on the site of Bradbourne Hall in the triangle of land between branches of the railway line, south of the A25. The 18th century Bradbourne Hall was demolished in 1937. Betenson Avenue follows the line of the former driveway.



Locally Distinctive Contextual Features	
Age of buildings	1930s - mid 1970s
Type of buildings	Semi-detached and some detached
Main uses	Residential
Building heights	One - two storeys
Prominent building materials	Red/brown brick, painted render, some hung tiles, brown roof tiles
Predominant boundary treatments	Low brick walls, some hedges and panel fences
Open space/ vegetation	Landscaped front gardens. Treed open space to the west and south. Tree belt along the railway line to the west.





The streets in this area are curved with the houses set back on a regular building line in similar sized plots behind pavements and landscaped front gardens enclosed by low brick walls. Betenson Avenue and Broomfield Road (left) have verges and the buildings include inter-war style bay fronted properties together with red/brown flat fronted properties of more uniform design. The Meadway (below left) and Westwood Way do not have verges and the style of housing is more uniform. The southern part of the Meadway was constructed in the 1970s and includes some bungalows. The area has a residential character with little through traffic.





The inter-war style houses in Betenson Avenue and Broomfield Road (above left) have part or fully rendered or pebbledash elevations with two storey bay windows and hipped roofs with central chimneys or tall narrow chimneys to the side. The later housing is more uniform in appearance with red/brown brick flat elevations, more steeply pitched brown tiled hipped roofs, small chimneys on the ridge, entrance doors on the side elevations and distinctive tall staircase windows. The uniformity of design creates a distinctive streetscape. However, some chimneys have been lost.



In the Meadway, the houses are also of repeated designs with flat porch canopies, single storey bay windows and wide hipped roofs with central chimneys.

Townscape Feature







At the western end to Betenson Avenue, ragstone walls, the old lodge house and treed open space mark the former entrance to the Bradbourne estate, providing a link with the past. The 19th Century lodge house is constructed of ragstone with a steep tiled roof, prominent gabled dormers and porch and decorative chimney stacks.

Views



At the southern end of the Meadway (left) the view is enclosed by trees however, in the northern part of the area there are longer views across open countryside. Belts of trees to the west and within back gardens are visible over and between the

Poor surfacing detracts from the character of the area.

Locally Distinctive Positive Features

Tree belts and garden trees visible above and between the houses

Consistent scale, building line, boundary treatments and repeated designs contribute to the cohesive character

The lodge house, ragstone walls and treed open space at the western end of Betenson Avenue provide a townscape feature with link with the past

Long views across open countryside

Residential character with limited through traffic

Negative Features

Poor surfacing

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Betenson Close Character Area:

Regular building lines should be respected

The harmonious palette of red/brown brick, painted render, brown roof tiles should be respected

The characteristic roof profile should be respected

Mature trees and hedge boundaries which contribute to the character of the area should be retained

The character of the lodge house townscape feature should be respected

Views of open countryside should be protected

E04 - UPLANDS CLOSE

Comprising Uplands Close

HISTORICAL CONTEXT

These properties were constructed as part of a westward expansion of the Sevenoaks urban area in the 1950s and early 1960s.



Locally Distinctive Contextual Features	
Age of buildings	1950s/early 1960s
Type of buildings	Semi-detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Orange/brown brick, brown roof tiles and white framed windows.
Predominant boundary treatments	Low brick walls
Open space/ vegetation	Landscaped front gardens.



Uplands Close is a cul-de-sac development of uniform hipped roof semi-detached houses set back on a regular building line behind landscaped front gardens enclosed or partially enclosed by brick walls. The houses have orange/brown brick elevations, hipped brown plain tiled roofs, chimneys on the pitch, single storey bay windows and wide tiled porch canopies which extend across the width of the building (above left). Situated on lower ground and facing onto trees the cul-de-sac has a quiet, enclosed residential character.

Locally Distinctive Positive Features

Consistent scale, set back, materials and boundary treatments contribute to the cohesive character

Residential character with no through traffic

Negative Features

No significant detractors

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Uplands Close Character Area:

Regular building lines should be respected

The harmonious palette of orange/brown brick, brown roof tiles and white framed windows should be respected

The characteristic roof profile should be respected

Traditional detailing should be retained

Low brick wall boundaries should be retained

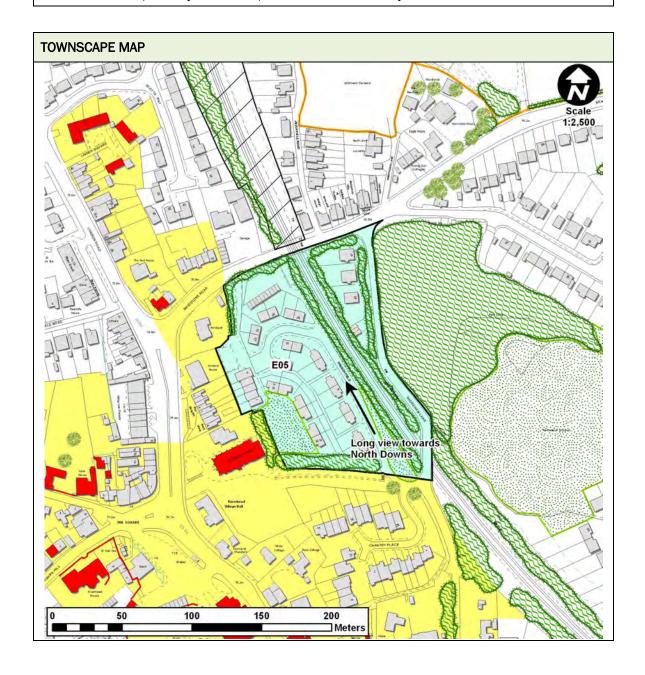
Mature trees and hedge boundaries which contribute to the character of the area should be retained

E05 - CHURCH FIELDS

Comprising Church Fields and Shoreham Lane (part)

HISTORICAL CONTEXT

This Church land (formerly allotments) was built on in the early 1970s.



Locally Distinctive Contextual Features	
Age of buildings	1970s
Type of buildings	Semi-detached, terraced houses and flats
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Buff and brown brick, painted render and brown roof tiles
Predominant boundary treatments	Open plan or wire fences. Some dwarf hedges and walls
Open space/ vegetation	Small area of green open space. Tree belt along the railway line



The development comprises mainly semi detached two storey houses set back on a regular building line facing onto the sloping curved cul-de-sac or onto a footpath running between the rows of houses. The houses are of uniform design with buff brick elevations, monopitch porches and brown tiled pitched roofs with small chimneys on the front pitch. There is also a short row of single storey terraced properties in brown brick with white rendered sections and forward facing gables on a brown plain tiled roof (below right). The intimate scale and uniform materials create a cohesive residential character. There are long views towards the North Downs from the higher ground and glimpses between the houses, but the sloping topography and layout creates an intimate, inward looking character on the lower western part of the area. Parking areas are concealed to the rear of the houses. The low scale protects the setting of the Riverhead Conservation Area.







The gardens facing onto the road are open plan or enclosed by dwarf walls and hedges whilst those by the footpath have a more informal, semi-rural character and are enclosed by wire fences.





Tree belts to the east and south of the development and grassed open spaces adjoining the entrance and to the rear of the houses contribute to the green, private character of the development and help to protect the setting of the Riverhead Conservation Area.

Locally Distinctive Positive Features

Consistent building line, use of materials and design

Tree belts to the south and east and open space within the development enhance the character, screen the railway line and protect the setting of the Riverhead Conservation Area.

The sloping topography creates changing vistas and views. There are long views towards the North Downs from the higher ground, whilst the lower area to the west has an intimate, inward looking character.

The amenity open space opposite 11-22 Churchfields should be protected

The footpath and open space contribute to an informal, semi-rural character

The area has a residential character with no through traffic

Negative Features

Intermittent train noise

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Church Fields Character Area:

Regular building lines should be respected

The harmonious palette of buff and brown brick, painted render and brown roof tiles should be respected

Mature trees and hedge boundaries which contribute to the character of the area should be retained

The amenity open space opposite 11-22 Churchfields should be protected

Views of the North Downs should be protected

The setting of the Riverhead Conservation Area should be protected or enhanced

F FORMAL DETACHED CHARACTER AREAS



These planned estate areas and cul-de-sacs comprise mostly 2 storey detached houses, This form of development started in the 1930s and became popular in the 1950s and early 1960s.

The detached houses are usually relatively closely spaced on a regular building line set back from the road behind front gardens enclosed by consistent boundaries, usually low walled gardens or hedges and some trees. Groups of buildings are visible above walled, hedged and treed front boundaries. The space between buildings may vary, such as at the head of a cul de sac or bend in the road.

Streets may comprise individually designed houses, built as individual plots were sold and developed, or may contain repeated or similar designs.

The formal layout is created by the standard road layout usually with two footways, a regular building line and spacing between buildings.



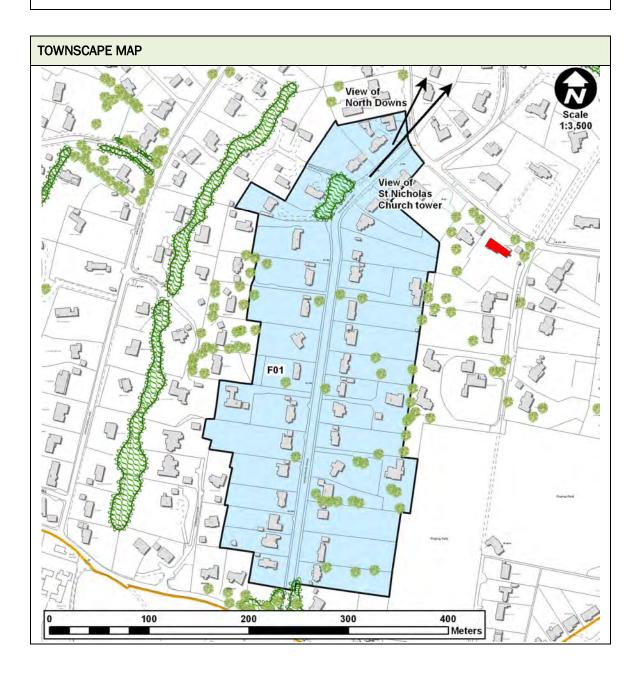
Example of Formal Detached Character Layout

F01 BURNTWOOD ROAD

Comprising Burntwood Road

HISTORICAL CONTEXT

Historically the area comprised open fields with hedgerows and trees some of which still survive today. Development was laid out from the 1930's onwards.



Locally Distinctive Contextual Features	
Age of buildings	1930s to present day
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys with a few bungalows
Prominent building materials	Various
Predominant boundary treatments	Low walled gardens with hedges and some trees
Open space/ vegetation	Hedges and trees to front gardens

Area Characteristics









Individually designed detached houses are set back from the road on a regular building line. Groups of buildings are visible above walled, hedged and treed front boundaries. The formal layout is created by the wide road with two footways and a regular building line and spacing between buildings.

A group of trees at the turn of the road (top left) is important in enclosing and framing the road whilst other boundary hedges and trees help soften the townscape.









A number of narrow drives lead away from Burntwood Road to serve development behind the properties fronting the road. These are no wider than access points to individual frontage properties and replicate the walled and hedged characteristics of the road. The small drives have the effect of retaining the spacing between houses typical of this area. The backland development is generally very well screened from the road. Such development has not adversely affected the character of the area.

Views





There are glimpses of the North Downs and of St Nicholas church tower from the eastern end of Burntwood Road.

Locally Distinctive Positive Features

Individually designed mostly 2 storey detached houses are formally spaced on a regular building line with gaps between buildings

A group of trees at the turn of the road is important in enclosing and framing the road.

Hedged and tree boundaries

Glimpses of the North Downs and of St Nicholas church tower from the eastern end of Burntwood Road

Narrow drives serving discrete development to the rear of Burntwood Road properties

Negative Features

No significant detractors

Design Guidance

Some long back gardens have been developed with discrete backland development and further such development may prove acceptable but any such development should meet the guidance included in this SPD.

In proposing new development within the Burntwood Road Character Area:

Regular building lines and space between buildings should be respected in development fronting Burntwood Road

Backland development should be served by narrow access drives and be well screened from the road to avoid a significant impact on the character of the area

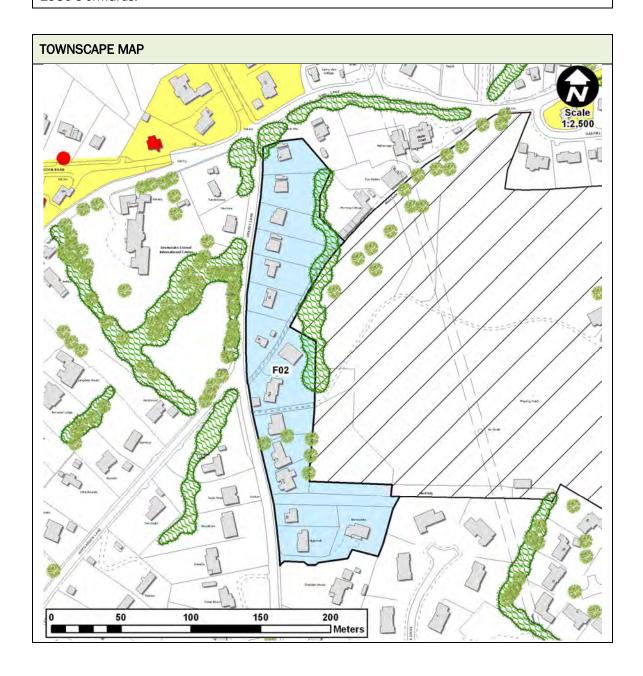
Mature trees and hedged boundaries which contribute to the character of the road should be retained

FO2 GRASSY LANE (EAST SIDE)

Comprising Grassy lane (east side)

HISTORICAL CONTEXT

Historically the area comprised open fields with hedgerows and trees and was laid out from the 1930's onwards.



Locally Distinctive Contextual Features	
Age of buildings	1930s to present day
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys with one three storey
Prominent building materials	Various
Predominant boundary treatments	Low walled gardens with hedges and fences with some trees
Open space/ vegetation	Hedges and trees to front and back gardens





Individually designed detached houses are set back from the road on a regular building line. Groups of buildings are visible above walled, hedged and treed front boundaries. The formal layout is created by the road with footway and a regular building line and spacing between buildings.

Landscape



Grassy Lane rises to the north and trees on the west side help enclose the street.



The south of Grassy Lane is framed by trees which enclose the entrance to the road.

Trees to the rear of properties on Grassy Lane east side enclose the space, provide a contrasting backdrop to development and form an edge to the character area.

Locally Distinctive Positive Features

Individually designed mostly 2 storey detached houses are formally spaced on a regular building line with gaps between buildings

Mature trees and hedged boundaries

Negative Features

No significant detractors

Design Guidance

Some larger gardens have been developed with infill development but the opportunities for further such development are limited.

In proposing new development within the Grassy Lane (east side) Character Area:

Regular building lines and space between buildings should be respected

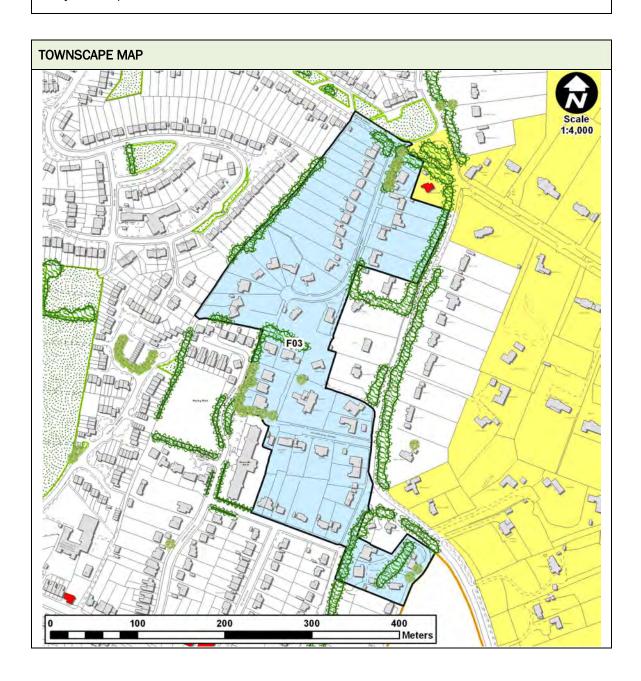
Mature trees and hedged boundaries which contribute to the character of the road should be retained

FO3 WILDERNESSE MOUNT AREA

Comprising Wilderness Mount, Serpentine Road, Hillborough Avenue, Seal Hollow Road, Quarry Hill

HISTORICAL CONTEXT

Historically the area comprised open fields with hedgerows and trees some of which still survive today. Development was laid out from the 1930's onwards.



Locally Distinctive Contextual Features	
Age of buildings	1930s to present day
Type of buildings	Detached and semi detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Various
Predominant boundary treatments	Low walled gardens with hedges and some trees
Open space/ vegetation	Treed open space to the north of Wildernesse Mount, trees of the Wildernesse Conservation Area forming the backdrop for the area and hedges and trees to front gardens.

Area Characteristics









Individually designed detached houses are set back from Wildernesse Mount on a slightly irregular building line. Groups of buildings are visible above walled, hedged and treed front boundaries. The formal layout is created by the wide road with footway on the western side and a relatively regular building line and spacing between buildings.

The south eastern side of the road has a different character with buildings generally set back much deeper within the plot and screened behind hedged and treed boundaries and is grouped within the Seal Hollow Road Character Area.



The tree lined northern entrance opposite the treed amenity open space areas provides an attractive entrance to Wildernesse Mount.





Individually designed detached and semi detached houses are set back along the north side of Serpentine Road on a regular building line. Groups of buildings are visible above walled, hedged and treed front boundaries. The formal layout is created by the wide road with footway on both sides and a regular building line and spacing between buildings.

The hedged boundaries on both sides of the Serpentine Road contrast with the built form and soften the townscape. The verdant mature trees of the Wildenesse Conservation Area terminate the eastward vista from Serpentine Road.





Individually designed detached houses are set back from Hillborough Avenue on a slightly irregular building line. Groups of buildings are visible above walled, hedged and treed front boundaries. The formal layout is created by the straight road and a relatively regular building line and spacing between buildings. The character is made more informal by the lack of footways, the road surface and the hedged boundaries.



Individually designed detached and semi detached houses are set back from the west side of Seal Hollow Road on a slightly irregular building line. Groups of buildings are visible above fenced, walled, hedged and treed front boundaries. The larger scale buildings dominate this section of road.



Individually designed detached houses are set back from Quarry Hill within shallow front gardens on a slightly irregular building line. Two modern buildings are visible – partially screened by hedges.

The character is made more informal by the lack of footways, the hedged boundaries and the proximity of the open countryside to the east.

Locally Distinctive Positive Features

Individually designed mostly 2 storey detached houses are set back from the road with gaps between buildings

The north side of Serpentine Road is spaced along a regular building line

Mature trees within the Wildernesse Conservation Area are important to the setting of the area

The tree lined northern entrance to Wildernesse Mount opposite the treed amenity open space areas

Hedged and tree boundaries

Negative Features

No significant detractors

Design Guidance

Some infill development and redevelopment has occurred in this character area, although the individual designs and irregular building lines in some streets mean that further such development may prove acceptable but any such development should meet the guidance included in this SPD.

In proposing new development within the Wildernesse Mount Character Area:

Development should be set back from the road and retain space between buildings

Development fronting the north side of Serpentine Road should be set back to the regular building line

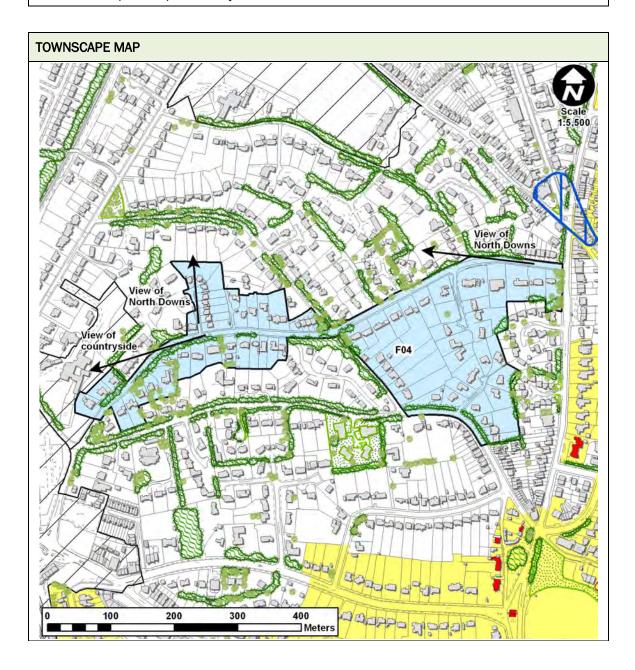
Mature trees and hedged boundaries which contribute to the character of the area should be retained

FO4 MOUNT HARRY ROAD AREA

Comprising Mount Harry Road; Woodside Road (south); Merlewood; Pendennis Road; Hunsdon Drive

HISTORICAL CONTEXT

The area was formerly part of the original Bradbourne House Estate, and included nurseries, orchards, a planned informal landscape, and a quarry. Large houses set in woodlands were built in the Victorian and Edwardian periods with further plots developed in the 1930s. Large houses such as Merlewood and Pendennis were redeveloped as cul de sacs. Gradually, development has been infilled up to the present day.



Locally Distinctive Contextual Features	
Age of buildings	Late 1800s to present day
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys with some bungalows
Prominent building materials	Various
Predominant boundary treatments	Low walled or fenced gardens with hedges and some trees
Open space/ vegetation	Hedges and tree boundaries to front gardens and wider landscape visible in views

Area Characteristics









Mount Harry Road and Woodside Road comprise individually designed detached houses set back from the road on a relatively regular building line. Groups of buildings are visible above walled, fenced, hedged and treed front boundaries. The formal layout is created by the wide road with footways and a relatively regular building line, with spacing between buildings.

Mount Harry Road curves and rises from the south west and to the east.

Merlewood cul-de-sac is less spacious in layout with narrow road and a single footpath and buildings set closer to the road. Groups of buildings are visible above landscaped front gardens.

The road falls away from Mount Harry Road to give views of the North Downs







Hunsdon Drive cul de sac is less spacious in layout with a narrow road and footpaths. Groups of buildings are visible above hedged front boundaries.





There is a high survival of former mature tree cover in Pendennis Road front and rear gardens. The road is lined with boundary hedges and a mix of mature native trees and suburban planting - giving a verdant character to the road. The mature native trees provide historic links back to the original farmland and make a significant contribution to the character of this area. Groups of buildings are visible above hedged front boundaries.

Landscape









The roads are lined with boundary hedges and a mix of mature native trees and suburban planting - giving a verdant character. The hedged and treed boundaries on both sides of the road contrast with the built form and soften the townscape. The mature native trees provide historic links back to the original farmland and woodland and make a significant contribution to the character of this area.

Views





The undulating topography of the area allows views across roofs looking northwards towards the North Downs from Merlewood (top right) and south westwards from Mount Harry Road (top left).

Townscape Features



Bridle House forms an historic townscape feature highly visible in Mount Harry Road. The white painted rendered two storey house has a gable end facing the road with decorative barge boards and finial. The slate roof is topped by a chimney.

The two storey Lodge house to the former Merlewood house and estate sits prominently to Mount Harry Road and forms an historic townscape feature within the road. The stone Lodge has brick window dressing and quoins. The hipped roof is tiled with a decorative chimney.



Locally Distinctive Positive Features

Individually designed mostly 2 storey detached houses are set back from the road along a relatively regular building line with gaps between buildings

Trees and boundary hedges

Views looking northwards towards the North Downs and south westwards

The Lodge House and Bridle House townscape features

Detractors



Houses without the regular set back and spacing or walled and hedged or hedged front boundary can appear dominant in the street scene and out of character with the area.



High fenced boundaries have a detrimental impact on the verdant character of the roads and whilst hedges and trees are visible above the fences, the appearance is less verdant and more urban in character.

Negative Features

Some new development has not respected the characteristic set back from the road or allowed spacing between buildings

High fenced boundaries have a detrimental impact on the verdant character

Design Guidance

Some infill development and redevelopment has occurred in this character area and there is limited potential for further such development and the area is likely to remain largely unchanged over time.

In proposing new development within the Mount Harry Road Character Area:

Development should be set back from the road and respect the relatively regular building line

Mature trees and hedge, or wall and hedge, boundaries which contribute to the character of the area should be retained

The character of the Lodge House and Bridle House townscape features should be retained

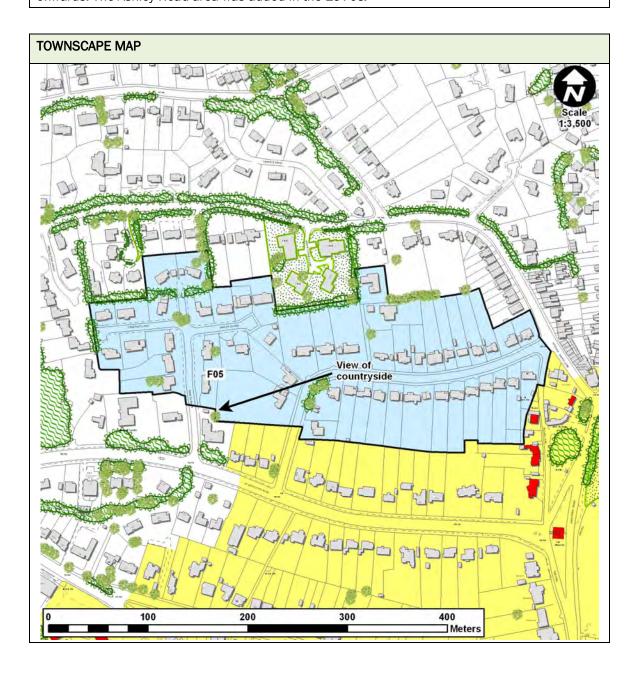
The views of the North Downs should be protected

F05 VINE AVENUE ASHLEY ROAD AREA

Comprising Vine Avenue, Ashley Road, Ashley Close, Chestnut Lane

HISTORICAL CONTEXT

Historically the area comprised open fields with hedgerows and trees. Vine Avenue was built in the early 1900s with most of the eastern and southern parts developed from the 1930's onwards. The Ashley Road area was added in the 1970s.



Locally Distinctive Contextual Features	
Age of buildings	1930s to present day
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Various
Predominant boundary treatments	Low walled gardens with hedges and some trees
Open space/ vegetation	Hedges and trees to front gardens

Area Characteristics









Within Vine Avenue, individually designed detached houses are set back from the road on a regular building line. Groups of buildings are visible above walled, hedged and treed front boundaries. The formal layout is created by the road with footway and a regular building line and spacing between buildings.



The hedged and treed boundaries of the western end of Vine Avenue lead into the Vine Conservation Area where this boundary treatment is characteristic. This verdant part of the road is important to the setting of St Botolph's Road within this Conservation Area.









Within the cruciform development of Ashley Road, Ashley Close and Chestnut Lane individually designed detached houses are set back from the road on a relatively regular building line, with the exception of the head of the cul de sacs. On Ashley Road, groups of buildings are visible above walled, hedged and treed front boundaries. Whilst containing mature trees, the gardens of Ashley Close and Chestnut Lane are more open plan than the wider area. The formal layout is created by the road with footway, relatively regular building line and spacing between buildings.



The narrow drive off Vine Avenue serves backland development. The narrow part landscaped access respects the hedge and tree-lined characteristics of the principal road from which development is barely visible.

View

The view westwards of open countryside between buildings in Vine Avenue adds to the character of this area.



Locally Distinctive Positive Features

Individually designed 2 storey detached houses are formally spaced on a relatively regular building line with gaps between buildings

The hedged and treed boundaries at the western end of Vine Avenue form part of the setting of the Vine Conservation Area

Hedged and tree boundaries

View of countryside westwards from Vine Avenue

Negative Features

No significant detractors

Design Guidance

Some larger gardens have been developed with infill development but the opportunities for further such development are limited and any such development should meet the guidance included in this SPD.

In proposing new development within the Vine Avenue/ Ashley Road Character Area:

Development should be set back from the road and retain space between buildings

In Vine Avenue the regular building line should be respected

Mature trees and hedged boundaries which contribute to the character of the road should be retained

The view of countryside from Vine Avenue should be protected

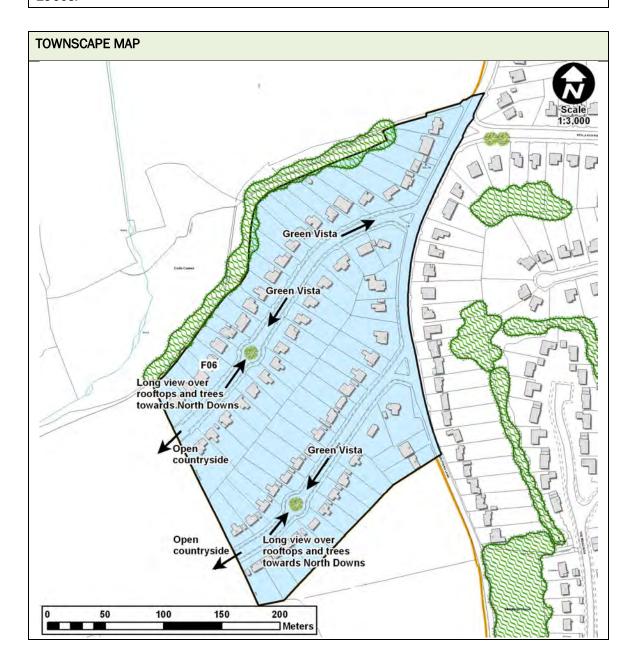
The setting of The Vine Conservation Area should be protected or enhanced

F06 - DOWNSVIEW ROAD AREA

Comprising Downsview Road, Croft Way, Brittains Lane (part)

HISTORICAL CONTEXT

Downsview Road and Croft Way were started pre war on open land adjoining Brittain's Lane as part of a westward expansion of the Sevenoaks urban area primarily in the 1950s and early 1960s.



Locally Distinctive Contextual Features	
Age of buildings	1950s/early 1960s
Type of buildings	Detached and two pairs semi-detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Red/brown brick, pastel painted render, red/brown or brown plain tiled roofs.
Predominant boundary treatments	Low brick walls, hedges and shrubs.
Open space/ vegetation	Landscaped front gardens and roundabouts. Garden trees.

Area Characteristics





The layout of Croft Way and Downsview Road is very similar and they were clearly developed as a pair but the style of housing differs between the two. Houses are set back from the slightly curved roads on a regular building line. Groups of buildings are visible above walled, hedged and treed front boundaries. The formal layout is created by the wide roads with two footways and verges and a regular building line and spacing between buildings.

The houses in Downsview Road (above) have a distinctive uniform design comprising a central doorway, tiled porch/single storey bay window, pitched plain tiled roof and side chimney stacks. Some properties have forward facing gables. The houses are rendered and painted a variety of pastel shades. The repeated design and bright paintwork creates a cohesive and distinctive character and the even spacing, regular chimneys and stepped roofline.





The houses in Croft Way (above) are of several repeated designs, many with convex hipped tiled roofs, curved two storey tile hung bay or bow windows, brown brick ground floors some with contrast pointing, painted rendered first floors and attached or integral garages. Some have wide curved porches. Although the houses were built in the 1950s/60s, the designs, as in Downsview Road, refer back to interwar fashions.



At the western end of Downsview Road, two pairs of semi detached former police houses are built in a simpler style with plain red brick elevations, flat porch covers supported on brick pillars and shallow tiled gabled roof.





The houses in both streets have been significantly altered and extended with two storey side and front extensions. In general these alterations are sympathetic and have retained the distinctive characteristics of the buildings but some dormer windows affecting the hipped roofline are over dominant.

Landscape/ Views





The houses are set back behind landscaped front gardens enclosed by low brick walls, hedges and shrubs. Both streets rise to the south west and there are long views over the rooftops and trees north eastwards towards the North Downs. This creates a feeling of space which is enhanced by the set back of the houses and low boundaries. The townscape is softened by landscaped front gardens, verges, street trees and glimpses between the houses of trees in the back gardens and the tree belt to the north contributing to this character. The central roundabouts and entrance splays are planted with shrubs further enhancing the character and providing green vistas along the streets.

Locally Distinctive Positive Features

Evenly spaced 2 storey detached properties are formally set back on a regular building line

Retention of original designs, materials and details contributing to a cohesive character with references to the interwar period.

Repeated designs, particularly in Downsview Road, where the gabled convex roofs, regular chimneys and spacing create a distinctive townscape. The painted render brightens the townscape in both streets.

Hedged and tree boundaries, verges and glimpses between the houses of back garden trees

Long views to the north east towards the North Downs,

Negative Features

Some over-dominant extensions and dormers.

Poor surfacing.

Flat roofed garages at south western end of Downsview Road.

Traffic noise from the A21

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings but any such development should meet the guidance included in this SPD.

In proposing new development within the Downsview Road Area Character Area:

Regular building lines and space between buildings should be respected

The harmonious palette of red/brown brick, pastel painted render, red/brown or brown plain roof tiles should be respected

The characteristic designs and roofline should be respected

Traditional detailing should be retained

Mature trees and hedged boundaries which contribute to the character of the road should be retained

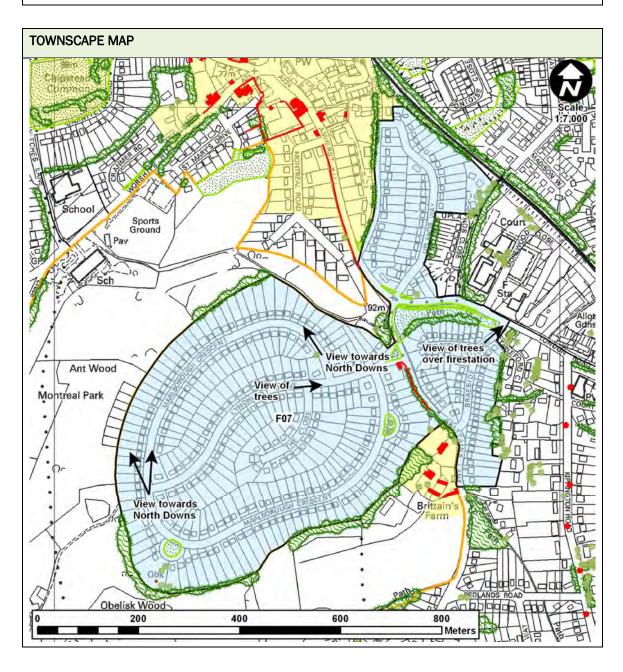
Views of the North Downs should be retained

FO7 - MONTREAL PARK AREA

Comprising Marlborough Crescent, Lyndhurst Drive, The Close, Brittains Lane (part), Braeside Close, London Road (part), Braeside Avenue, Uplands Way and Shoreham Lane

HISTORICAL CONTEXT

These properties were constructed as part of a westward expansion of the Sevenoaks urban area in the 1950s and early 1960s. Montreal Park was constructed on the Montreal estate following the demolition of the 18th century Palladian mansion previously owned by the Amherst family.



Locally Distinctive Contextual Features	
Age of buildings	1950s/early 1960s
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys with some one storey
Prominent building materials	Red/brown brick, pastel painted render, red/brown or brown plain tiled roofs, decorative finishes including hung tiles and half timber.
Predominant boundary treatments	Low walls, hedges and shrubs.
Open space/ vegetation	Grassed area fronting London Road/Brittains Lane and smaller grassed areas with trees in Montreal Park.

Area Characteristics





The 2 storey detached houses are set back from the curved roads on a regular building line. Groups of buildings are visible above ragstone walled and hedged front boundaries. The formal layout is created by the wide roads with two footways and verges and a regular building line and spacing between buildings.

The houses in Montreal Park are of repeated designs which have been modified and extended through time. The 2 storey houses are constructed of brown brick with hipped plain tiled roofs and narrow chimneys. Some have front facing gables, others asymmetric rooflines which sweep down to ground floor level at the side. Many elevations or sections are rendered and painted white and red or brown hung tiles adorn the upper storeys. There is some half timbering. The repeated designs, building scale, spacing and set back and enclosed gardens are strongly unifying features contributing to a cohesive and distinctive streetscape.





The detached houses in Uplands Way and Shoreham Lane show variety in materials with frequent use of white render and half timbering. Other features include two storey tile hung bay windows, prominent forward facing gable ends, tall decorative chimney stacks, porches, brick details and painted wooden brackets.





Braeside Avenue is a through route and the houses are slightly more tightly spaced but the style and age of buildings, materials and set back behind enclosed landscaped front gardens is consistent with the other streets.

To the north of Uplands Close there is a small, more recent clustered development of three detached houses which nestle among the trees (right).





A number of properties have been significantly extended. These alterations blend into the streetscene but extension up to the side boundaries reduces the characteristic gaps which contribute to the feeling of spaciousness and allow glimpses of trees and longer views.

Landscape and Views





The development of Montreal Park is arranged around sweeping loops and curved cul-de-sacs. The land rises to the west and there are long views to the north east and north from Marlborough Crescent over trees and rooftops towards the North Downs. There is a view of trees eastwards from Lyndhurst Drive. Wide tree-lined verges and open spaces enhance the green character and spaciousness of the development. The triangle of grass creates a verdant entrance to the park.



Tree belts frame the development to the west, north and east and the east side of Uplands Way is partially enclosed by trees giving no long views. Shoreham Lane is an old route and has retained its rural character. It has no pavements and is strongly enclosed by garden boundaries to the east and trees and hedges to the west.



Mature trees and sections of verge line Braeside Avenue the street (left). There are no long views. Garden trees further enhance the streetscape. Trees close the view to the north and east (over the fire station) and enclose the west side of Brittains Lane.

Listed Buildings

The Old Lodge, 1 Lyndhurst Drive

Octagonal shaped lodge, probably early 19th Century. Conical shaped roof with centre chimney and bracketed eaves soffit. 2 storeys, 3 windows on end, sashes with glazing bars. Random rubble masonry with freestone dressings. 6 panel door top glazed.



Locally Distinctive Positive Features

Evenly spaced 2 storey detached properties are formally set back on a regular building line

The retention of original designs, materials and details contributes to a cohesive character

A green character is created by the landscaped front gardens, verges, street trees, open spaces and glimpses between and over houses of back garden trees and tree belts

In Montreal Park, the sloping topography creates long views to the north east over rooftops and trees towards the North Downs.

The feeling of space which is enhanced by the set back of the houses, low boundaries and in Montreal Park by the sweeping curves and topography.

Shoreham Lane is an historic lane with a rural, enclosed character.

Listed Building Old Lodge, Montreal Park, provides a link with the history of the Montreal Estate

Negative Features

Some extensions close the gap between houses which is a distinctive feature of this area

Traffic noise from the A21 in Montreal Park

Some over-dominant dormer extensions

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings but any such development should meet the guidance included in this SPD.

In proposing new development within the Montreal Park Area Character Area:

Regular building lines and space between buildings should be respected

The harmonious palette of red/brown brick, pastel painted render, red/brown or brown plain tiled roofs, should be respected

The characteristic designs and roofline should be respected

Traditional detailing should be retained

Mature trees, hedged boundaries and amenity open space which contribute to the character of the road should be retained

The listed building and its setting should be protected

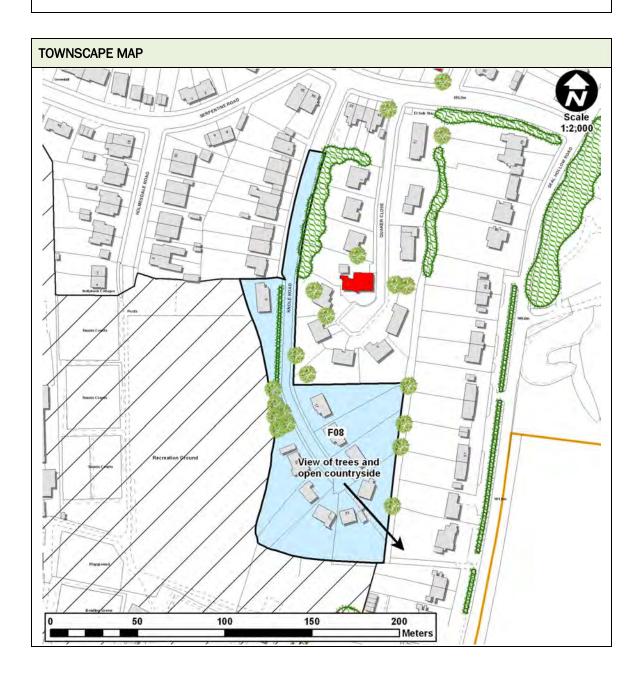
Views of the North Downs should be retained

F08 - KNOLE ROAD

Comprising Knole Road (part)

HISTORICAL CONTEXT

The Knole Road cul-de-sac development was built in the late 1950's as an extension of the existing road on orchards to the rear of Seal Hollow House (now Quaker House).



Locally Distinctive Contextual Features	
Age of buildings	Early 1960s
Type of buildings	Detached
Main uses	Residential
Building heights	One and two storeys
Prominent building materials	Red/brown brick with brown hung tiles and brown plain tiled roofs.
Predominant boundary treatments	Brick walls and hedges
Open space/ vegetation	Recreation ground to the north of the area. Landscaped front gardens.





The development is visually separated from, and a completely different character to, the northern older section of Knole Road. Separation is by a long gap in the frontage enclosed by walls, fences and a hedge and the road curves and dips as it enters the cul-de-sac with tall trees framing the entrance (right). This separation reinforces the private, residential character of the area.

The 2 storey detached houses and bungalows are set back along the short cul de sac on a regular building line. Groups of buildings are visible above walled and hedged front boundaries. The formal layout is created by the wide roads with two footways and a regular building line and spacing between buildings.

From within the development there are views over and between the houses of trees and further over open countryside. The development has a verdant character.



The detached two storey houses are constructed of orange/brown brick with hung tiles on the upper storey. They have brown plain tiled half hipped or hipped roofs and chimneys. The flat roofed garages are attached.

The two storey houses nestle on the lower ground, whilst the properties located on the higher ground to the west of the street are bungalows.

The houses are set behind paved driveways and landscaped front gardens partially enclosed by brick walls and hedges.



The low height of the bungalows and the set down of the two storey properties in the cul-de-sac protects long views eastwards from the adjoining recreation ground to the west. Views are partially limited by trees and buildings.

Locally Distinctive Positive Features

2 storey detached properties are formally set back on a regular building line with gaps between Consistent materials contribute to the cohesive character

Trees and hedges

Listed building

Long views eastwards across the area from the adjoining recreation ground

Residential character with no through traffic

Negative Features

Poor surfacing

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings but any such development should meet the guidance included in this SPD.

In proposing new development within the Montreal Park Area Character Area:

Regular building lines and space between buildings should be respected

Development should not significantly detract from views eastwards across the area from the adjoining recreation ground

The harmonious palette of red/brown brick, pastel painted render, brown hung and brown plain tiled roofs should be respected

The listed building and its setting should be protected

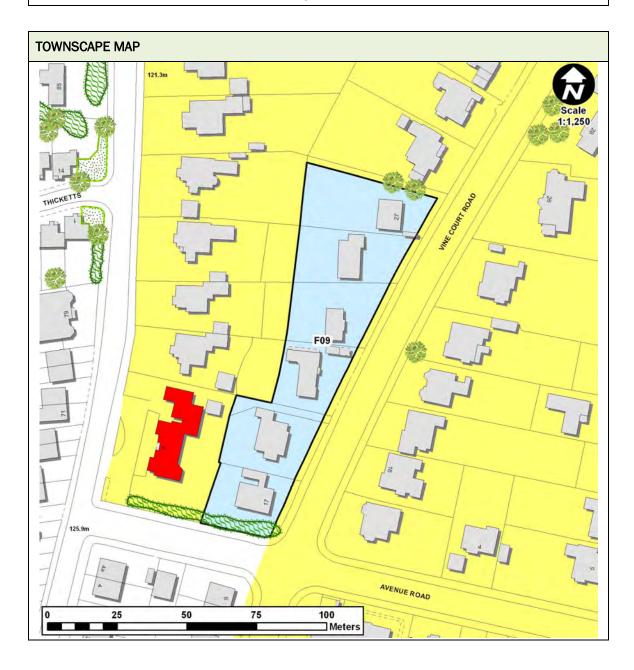
Mature trees and hedged boundaries which contribute to the character of the road should be retained

F09 VINE COURT ROAD

Comprising Vine Court Road

HISTORICAL CONTEXT

The development of houses between Vine Court Road and Hollybush Lane is an example of a historic seventeenth century house being demolished in the last century to make way for a planned scheme of new roads and houses to cater for the demands of railway commuters. The area has been infilled with more recent development.



Locally Distinctive Contextual Features	
Age of buildings	1960s and 1970s
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys and bungalows
Prominent building materials	Various
Predominant boundary treatments	Fenced or low walled gardens with hedges and some trees
Open space/ vegetation	Hedges and trees to front gardens









Individually designed detached houses are set back from the road. Buildings are visible above fenced, walled, hedged and treed front boundaries. The formal layout is created by the wide road with two footways and the set back of properties and spacing between buildings.

Trees at the junction with Avenue Road (top left) are important in enclosing and framing the road whilst other boundary hedges and trees help soften the townscape and contribute to the setting of the Vine Court Conservation Area which surrounds this character area.

Townscape Feature

The traditionally designed sewer outlet pipes make an interesting townscape feature.



Locally Distinctive Positive Features

Individually designed mostly 2 storey detached houses are set back from the road with gaps between buildings

A group of trees at the junction of the road is important in enclosing and framing the road Hedged and tree boundaries

Traditionally designed sewer outlet pipes are a townscape feature of the area

Negative Features

No significant detractors

Design Guidance

There is the opportunity to enlarge or redevelop the bungalows within this area of generally two storey properties but it is unlikely that this area will significantly change.

In proposing new development within the Vine Court Road Character Area:

The scale and mass of new development should fit unobtrusively within its setting and should not appear cramped on the site or out of context with the character of the street

A side extension should not completely infill the space between properties or dominate the original building

Mature trees and hedged boundaries which contribute to the character of the road should be retained

The character of the traditional sewer outlet pipe should be retained

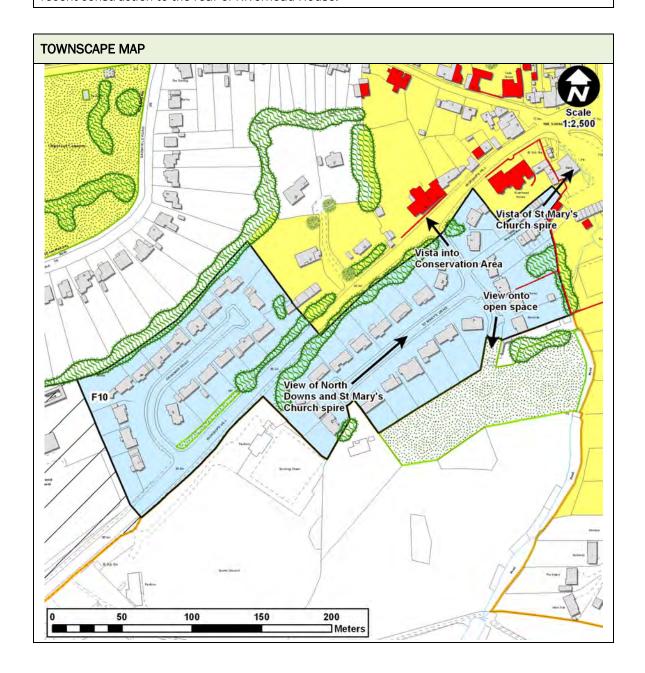
The setting of the adjoining Vine Court Conservation Area should be protected or enhanced

F10 - ST MARY'S DRIVE AREA

Comprising St Mary's Drive, Cranmer Road, Riverhead Mews and Worships Hill (Part)

HISTORICAL CONTEXT

These two cul-de-sac developments leading off Worships Hill were constructed in the 1960s. St Mary's Drive is located in the former grounds of Riverhead House. Riverhead Mews is of more recent construction to the rear of Riverhead House.



Locally Distinctive Contextual Features	
Age of buildings	1960s to present day
Type of buildings	Detached and terraced mews
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Red, buff and brown brick, some stone cladding, tiled roofs, hung tiles and dark timber.
Predominant boundary treatments	Dwarf stone walls, some open plan.
Open space/ vegetation	Landscaped front gardens. Trees screen St Mary's Road from Worships Hill. Other tree belts form a backdrop to the houses.





St Mary's Drive is a T shaped cul-de-sac with individually designed houses set back from the road close together on a relatively regular building line behind landscaped front gardens. The land rises to the south west allowing long views to the north east of the spire of St Mary's Church and on to the North Downs. Trees to the north screen the houses from the A25 and form a green backdrop to the houses. The green character is further enhanced by grassed verges at the north eastern end and trees and shrubs in the landscaped front gardens. The low stone boundary walls are a unifying feature. There is a vista into the Conservation Area to the north and short views southwards over the parkland.





The two storey houses are in a variety of styles, some of which have been sympathetically altered, with hipped or half hipped tiled roofs some with forward facing gables which may be tile hung or clad in dark timber. Despite the variety in the designs and finishes the cul-de-sac has a cohesive character due to the even spacing, scale, height and set back of the buildings. Two later buildings adjoining the recreation ground blend into the streetscene.



Cranmer Road has a similar layout to St Mary's Drive with detached houses set close together on a regular building line, although the houses are more uniform in design. Houses at either end of the cul-de-sac enclose the views. Landscaped front gardens soften the townscape but the poor surfacing harms the character.



Riverhead Mews is a post 1990 development of terraced houses to the rear of Riverhead House accessed via St Mary's Drive. The traditionally styled two storey hipped roofed buildings with pitched porch canopies and tile hung upper storeys have an intimate, informal character, that is appropriate for this sensitive location adjoining the Conservation Area. There is a vista of St Mary's Church spire.

Locally Distinctive Positive Features

Individually designed mostly 2 storey detached houses are formally spaced on a regular building line with gaps between buildings Alterations have been sympathetic.

In St Mary's Drive, a green character is created by the landscaped front gardens, verges, glimpses between and over houses of back garden trees and tree belts and the topography allowing long views towards the North Downs.

Riverside Mews has an intimate, informal, traditional character that is appropriate for the sensitive location adjoining the Conservation Area.

There are vistas and short views from St Mary's Drive of St Mary's Church steeple, the Conservation Area and the parkland.

Negative Features

Poor surfacing in Cranmer Road

Traffic noise from the A25 Worships Hill

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings but any such development should meet the guidance included in this SPD.

In proposing new development within the St Mary's Drive Area Character Area:

Regular building lines and space between buildings should be respected

Mature trees and hedged boundaries which contribute to the character of the road should be retained

Views of the North Downs, St Mary's Church and recreation ground should be protected

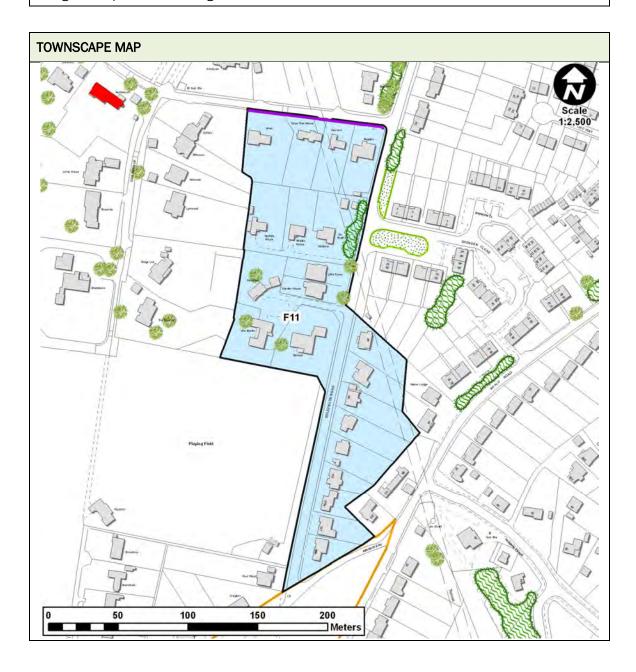
The setting of the Conservation Area should be protected or enhanced

F11 SOLEFIELDS

Comprising Solefields Road, Grassy Lane (part)

HISTORICAL CONTEXT

Solefields Road was developed on the east side in the 1930s with the west side and Grassy Lane being added piecemeal through the 1960's onwards.



Locally Distinctive Contextual Features	
Age of buildings	1930s to present day
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Various
Predominant boundary treatments	Low walled gardens with hedges and fences with some trees; high ragstone wall in Grassy Lane
Open space/ vegetation	Hedges and trees to front gardens





Individually designed detached houses are set back from Solefields Road on a regular building line. Groups of buildings are visible above hedged and walled front boundaries. The formal layout is created by the straight road with two footways and a regular building line and spacing between buildings.





A narrow drive leads away from Solefields Road to serve development behind the properties fronting the road (left). In addition a row of detached houses is arranged on a regular building line at right angles to the road (right). Both drives are no wider than access points to individual frontage properties. Such development has not adversely affected the character of the area.





Individually designed detached houses are set back from Grassy Lane (south side) on a regular building line. Groups of buildings are visible above a high ragstone wall front boundary.

Landscape



Playing fields to the western part of Solefields Road create a more open character. Boundary hedges and trees help soften the townscape

Boundary Treatment



The distinctive ragstone wall forms the front boundary to houses fronting Grassy Lane (south side) and encloses this side of the road.

Locally Distinctive Positive Features

Individually designed mostly 2 storey detached houses are formally spaced on a regular building line

A more open character is created by the playing fields to the west of Solefields Road

A high ragstone wall encloses the south side of Grassy Lane

Negative Features

Modern development can appear cramped on the site if built or extended without sufficient space between buildings or forward of the regular building line

Design Guidance

The arrangement of buildings and plots of this recent development gives little opportunity for development.

In proposing new development within the Solefields Road Area Character Area:

Regular building lines and space between buildings should be respected

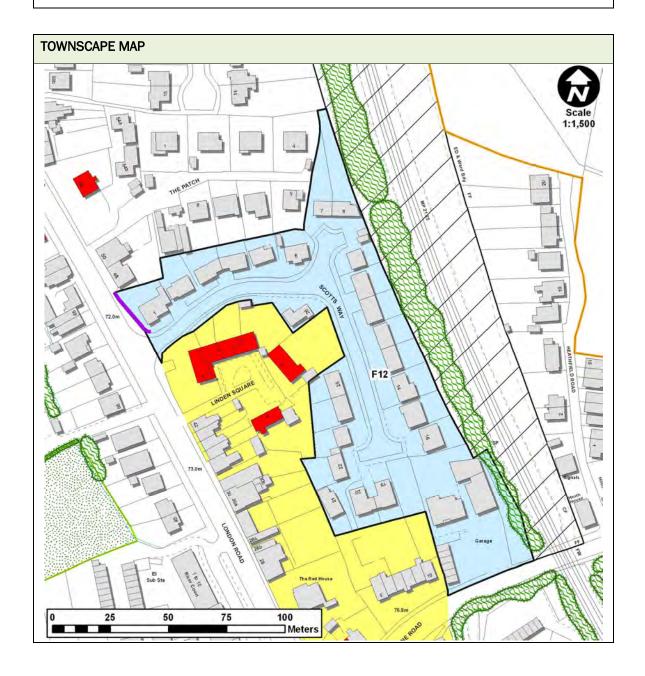
Mature trees, hedged and ragstone boundaries which contribute to the character of the roads should be retained

F12 - SCOTTS WAY

Comprising Scotts Way

HISTORICAL CONTEXT

An early 1970s backland development between the London Road and the railway line.



Locally Distinctive Contextual Features	
Age of buildings	Early 1970s
Type of buildings	Mainly detached and attached. Also semi-detached
Main uses	Residential
Building heights	One and two storeys
Prominent building materials	Brown brick, pastel paint, brown roof tiles
Predominant boundary treatments	Dwarf walls and some open plan
Open space/ vegetation	Tree belt to the east





Scotts Way is a curved cul-de-sac that slopes up from the east side of the London Road. The two storey mainly detached and attached houses are of uniform design and are closely spaced on similar sized plots on a relatively regular building line behind front gardens enclosed by dwarf walls.

The houses are of uniform design with brown brick elevations, many painted pastel shades, pitched brown tiled roofs with chimneys on the rear pitch, bow windows, flat porch canopies on brackets and shutters. The pastel shades and uniform designs create a distinctive and cohesive character. The access is enclosed on the south and west side by a wall and hedge. The area has a residential character with no through traffic but there is traffic noise from the London Road. The tree belt along the railway line is visible above and between the houses to the east.





At the southern end of the area, bungalows with gable ends face the road. The shutters and bow windows coordinate with the two storey properties. There is also some more recent infill which is on the same building line and respects the height of surrounding development although the decorative finishes are different.

Locally Distinctive Positive Features

Evenly spaced two storey mainly detached and attached properties and bungalows set back from the road formally set back on a regular building line behind dwarf walls and landscaped front gardens

Retention of uniform design, materials and details contributing to a cohesive and distinctive character

The tree belt to the east is visible between and over the houses

Negative Features

Traffic noise from the London Road

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings but any such development should meet the guidance included in this SPD.

In proposing new development within the Scotts Way Character Area:

Regular building lines and space between buildings should be respected

The harmonious palette of brown brick, pastel painted brickwork and brown tiled roofs should be respected

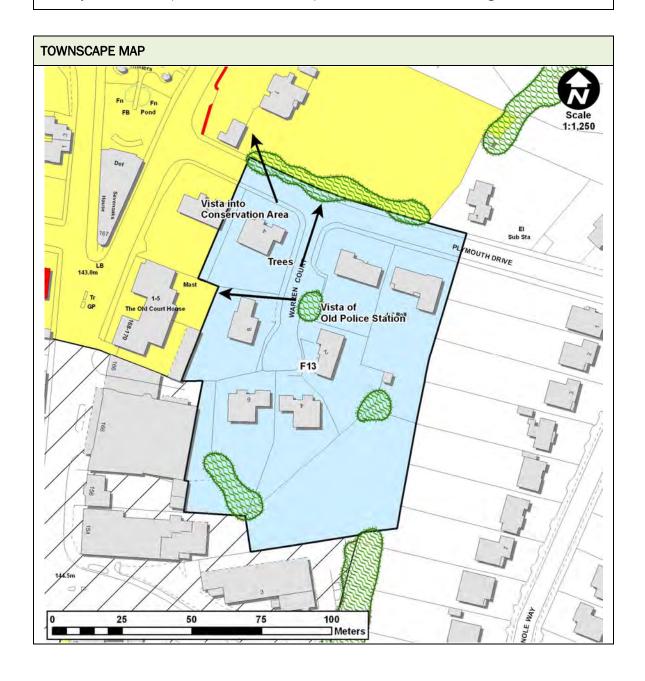
Mature trees and hedged boundaries which contribute to the character of the road should be retained

F13 - WARREN COURT

Comprising Warren Court

HISTORICAL CONTEXT

An early 1970s development to the rear of the police station in Sevenoaks High Street.



Locally Distinctive Contextual Features	
Age of buildings	Early 1970s
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Brown brick, brown roof tiles, some red roof tiles in Plymouth Drive
Predominant boundary treatments	Open plan and walls
Open space/ vegetation	Trees to the north, east and south





The area comprises four detached houses around a short cul-de-sac and three houses facing onto Plymouth Drive. The houses are set back from the road behind landscaped front gardens partially enclosed by shrubs and walls. They are brown and buff brick with shallow gabled brown or red tiled roofs and porches with flat roof attached garages. Surrounding trees partially screen the cul-de-sac from neighbouring commercial uses which are on higher ground. There is a vista to the northwest from Plymouth Drive into the Conservation Area and to the west from Warren Court of the Old Police Station.



Trees close the view to the north from Warren Court.

Locally Distinctive Positive Features

Two storey detached houses set back from the road behind partially enclosed landscaped front gardens

Vistas into the Conservation Area from Plymouth Drive and Warren Court

Trees partially screen adjoining commercial uses which are on higher ground to the south and west

Negative Features

No significant detractors

Design Guidance

The arrangement of buildings and plots of this recent development gives little opportunity for development.

In proposing new development within the Warren Court Character Area:

Mature trees which contribute to the character of the roads should be retained

The setting of The Vine Conservation Area should be protected or enhanced

F14 - WOODFIELDS

Comprising Woodfields

HISTORICAL CONTEXT

This development was constructed in the early 1970s on land formerly belonging to the Chipstead estate.



Locally Distinctive Contextual Features	
Age of buildings	Early 1970s
Type of buildings	Detached
Main uses	Residential
Building heights	One and two storeys
Prominent building materials	Red/brown brick with brown hung tiles, weatherboard and brown concrete tiled roofs
Predominant boundary treatments	Low brick walls, hedges and open plan
Open space/ vegetation	Hedges, landscaped front gardens



Woodfields is a straight cul-de-sac which slopes gently down to the south with an arm leading off to the east (left).

Individually designed detached houses are set back from the road on a relatively regular building line. Groups of buildings are visible above walled, hedged and treed front boundaries. The formal layout is created by the wide straight road with two footways and a regular building line and spacing between buildings.

The southern end of Woodfields is more open plan. Trees close the views to the south and north of Woodfields.





The one and two storey detached houses are of various designs with some repeats. They are constructed or red/brown brick with hung tiles, white painted render or weatherboard and medium to gentle pitched concrete tiled roofs (above left). The properties at the north end of Woodfields have chimneys. Some properties have gable ends facing the road and/or flat porch canopies supported on white metal posts. The bungalows are of various designs, some with wide gables facing the road with wide windows beneath.



The landscaped front gardens and specimen trees are a particular feature of the area. The green character is enhanced in Woodfields by views of trees to the south and north and glimpses towards the North Downs.

Locally Distinctive Positive Features

Evenly spaced 2 storey detached properties are formally set back on a regular building line behind landscaped front gardens which are enclosed by low walls and hedges or open plan.

Tree belts close the views to the south and north of Woodfields and are visible over and between the houses.

Glimpses of the North Downs from the eastern arm of Woodfields.

Specimen trees

Residential character with no through traffic

Negative Features

Poor surfacing

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings but any such development should meet the guidance included in this SPD.

In proposing new development within the Woodfields Character Area:

Regular building lines and space between buildings should be respected

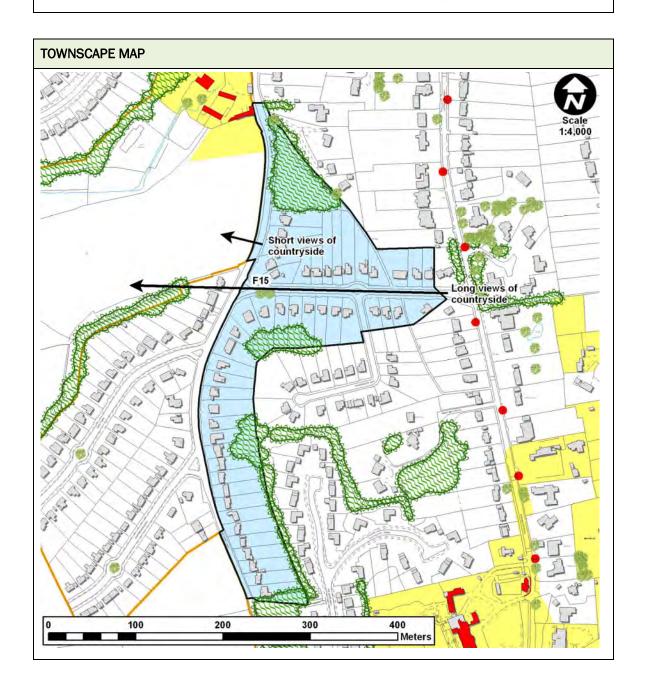
Mature trees and hedged boundaries which contribute to the character of the road should be retained

F15 REDLANDS ROAD/ BRITTAINS LANE

Comprising Redlands Road, Brittain's Lane

HISTORICAL CONTEXT

Redlands Road and properties along Btittain's Lane were constructed on open land adjoining as part of a westward expansion of the Sevenoaks urban area in the early 1960s.



Locally Distinctive Contextual Features	
Age of buildings	1960s
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Red/brown brick, pastel painted render, hung tiles, red/brown or brown plain tiled roofs
Predominant boundary treatments	Low walled gardens with hedges, shrubs and some trees
Open space/ vegetation	Hedges and trees to front gardens. Woodland off Brittain's Lane and views of adjoining countryside









Two storey detached houses are set back from the road on a regular building line. Groups of buildings are visible in Redlands Road (top) and Brittain's Lane (bottom) above walled, hedged and treed front boundaries. The formal layout is created by the wide road with two footways (and verges in Redlands Road) and a regular building line and spacing between buildings. Small ornamental trees are planted within the verge in Redlands Road. Repeated designs, many with hipped roofs, curved two storey tile hung bay or bow windows, brown brick ground floors, painted rendered first floors and attached or integral garages. The topography leads to a stepped roof line.

Traffic on Brittains Lane can affect the character of the street.





The houses in both streets have been significantly altered and extended with two storey side and front extensions. In general these alterations are sympathetic, have retained the distinctive characteristics of the buildings and have not adversely affected the character of the area.

Views





There are long views westwards of the countryside down Redlands Road (above left) and short views of the countryside which abuts the west side of Brittain's Lane which at this point marks the western edge of the Sevenoaks built up area (above right).

Landscape





There are a number of mature trees within the area including at the junction between Redlands Road and Btittain's Lane (above left). The woodland along Brittain's Lane marks the northern edge of the character area, sits opposite open countryside and is important to the setting of the adjoining Brittain's Farm Conservation Area.

Locally Distinctive Positive Features

2 storey detached houses of repeat designs are formally spaced on a regular building line with gaps between buildings

Retention of original designs, materials and details contributing to a cohesive character

Hedged and tree boundaries, verges and glimpses between and above the houses of back garden trees

Views to the west of countryside

Mature trees including at the junction between Redlands Road and Btittain's Lane and the woodland along Brittain's Lane

Hedged and tree boundaries

Negative Features

Traffic noise on Brittains Lane

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings but any such development should meet the guidance included in this SPD.

In proposing new development within the Redlands Road/ Brittain's Lane Character Area:

Regular building lines and space between buildings should be respected

The harmonious palette of red/brown brick, pastel painted render, red/brown or brown plain hung tiles and roof tiles should be respected

The characteristic designs and roofline should be respected

Traditional detailing should be retained

Mature trees and hedged boundaries which contribute to the character of the road should be retained

Views of the countryside should be protected

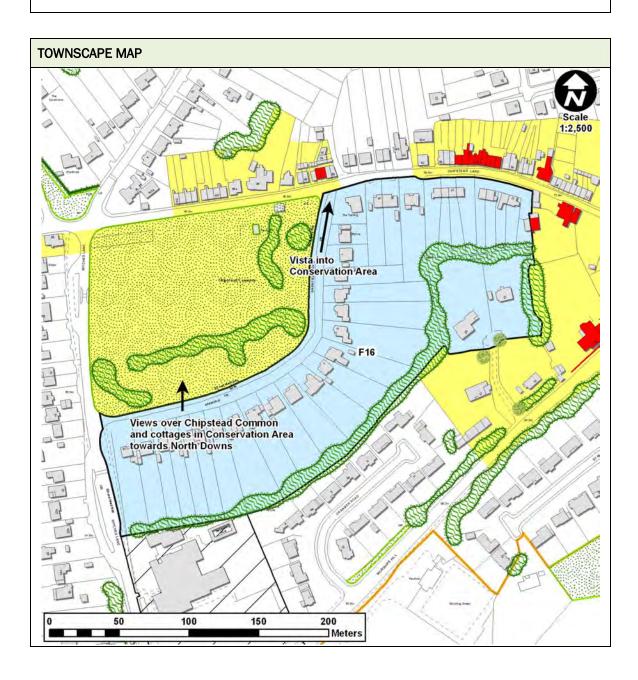
The setting of the Brittain's Farm Conservation Area should be protected or enhanced

F16 - BARNFIELD ROAD

Comprising Barnfield Road and Chipstead Lane (part)

HISTORICAL CONTEXT

This road was laid out on previously open land south of Chipstead Common in the inter-war period.



Locally Distinctive Contextual Features	
Age of buildings	1930s
Type of buildings	Mainly detached, some semi-detached and one terraced group
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Red/brown brick, brown roof tiles, hung tiles
Predominant boundary treatments	Hedges, fences and brick walls
Open space/ vegetation	Wide verge and overlooking Chipstead Common





Barnfield Road is a curved street running along the south side of Chipstead Common. It is bordered by a deep grass verge on the south side and a verge and posts on the north side. The houses are on a regular curved building line and are set back behind landscaped front gardens enclosed by hedges and some fences and walls. The curve of the hedges emphasises the sweep of the road. The street has an open, spacious green character.





The brown or red/brown brick houses are of various individual designs with hipped roofs and (usually) chimneys. Some properties have two storey bay windows and forward facing gables. Many have porches some of which are curved and recessed, others supported on wooden posts and brackets or brick pillars. The roofline is relatively even but varied. Decorative finishes include hung tiles, herringbone brickwork, white painted render, leaded windows and half timbering.



The views are a particular feature of this area. There are long views northwards across the Common of cottages in the Chipstead Common Conservation Area and beyond towards the North Downs. There is a vista at the eastern end of Barnfield Road of old cottages on Chipstead Lane (left). The inter-war development continues down the south side of Chipstead Lane and adjoins the Riverhead Conservation Area, the houses set back behind front gardens enclosed by a stone retaining wall. There are vistas to the west and east into the two Conservation Areas.



A more recent infill at the north end of Barnfield Road contrasts with the surrounding architecture. However, due to its position at the end of the road where there is a greater variety of styles and ages of buildings, it does not greatly affect the otherwise consistent character of the street.

Locally Distinctive Positive Features

Curved road lined by grass verges overlooking the trees and open space of Chipstead Common, creating an open, green character

Individually designed 2 storey detached houses are formally spaced on a regular building line

Retention of original 1930s designs, materials and details contributing to a cohesive and distinctive character. Features include hipped roofs, bow windows, chimneys, front facing gables, and porches. Decorative finishes include hung tiles, painted render, herringbone brick work and half timber.

Views and vistas

Negative Features

Some over-dominant dormer extensions

Design Guidance

The arrangement of buildings and plots in this area gives little opportunity for development.

In proposing new development within the Barnfield Road Character Area:

Regular building lines and space between buildings should be respected

Mature trees and hedged boundaries which contribute to the character of the roads should be retained

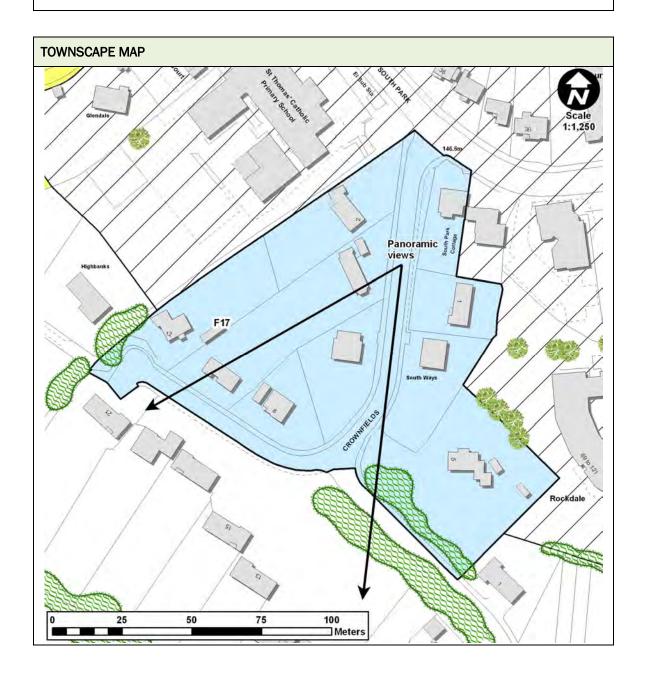
The setting of the adjoining Chipstead Common and Riverhead Conservation Areas should be protected or enhanced

F17 CROWNFIELDS

Comprising Crownfields

HISTORICAL CONTEXT

Crownfields was developed on an open field within the 1960s.



Locally Distinctive Contextual Features	
Age of buildings	1960s - 1970s
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Various
Predominant boundary treatments	Low walled gardens with hedges and fences with some trees
Open space/ vegetation	Hedges and trees to front gardens





Crownfields descends sharply to the south (above) with the southern part of the road flatter along the bottom of the valley (below). Individually designed two storey detached houses are set back from the road on an irregular building line. Front boundaries tend to be hedged and treed, partially screening the houses. The formal layout is created by the straight road with two footways and the set back of buildings from the road.

The houses at the corner of Crownfields and Valley Drive (above right) are well screened behind mature vegetation.





Landscape



The high point on Crownfields allows long panoramic views across intervening verdant development in the Kippington Conservation Area and Character Area.

Locally Distinctive Positive Features

Individually designed 2 storey detached houses are set back from the road

Long panoramic views across verdant development including the Kippington Conservation Area and Character Area

Negative Features

No significant detractors

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to, or redevelopment of, existing buildings but any such development should meet the guidance included in this SPD.

In proposing new development within the Crownfields Character Area:

Buildings should be set back from the road

Development should not significantly detract from panoramic views across the area to the south east

Mature trees and hedged boundaries which contribute to the character of the road should be retained

G FORMAL AVENUE CHARACTER AREAS



Individually designed mostly 2 storey detached houses are set well back along wide avenues with wide grass verges and pavements and are visible above walled, hedged and treed front boundaries. Houses are set on a regular building line behind landscaped front gardens with gaps between buildings. Houses are generally not built up to the side property boundaries resulting in landscaped space between buildings.

There is a verdant character to the roads created by the grass verges, boundary hedges, mature trees in the verges or front gardens and woodland or open space. The hedged and treed boundaries on both sides of the road contrast with the built form and soften the townscape. The mature native trees provide historic links back to the original farmland and make a significant contribution to the character of this area.



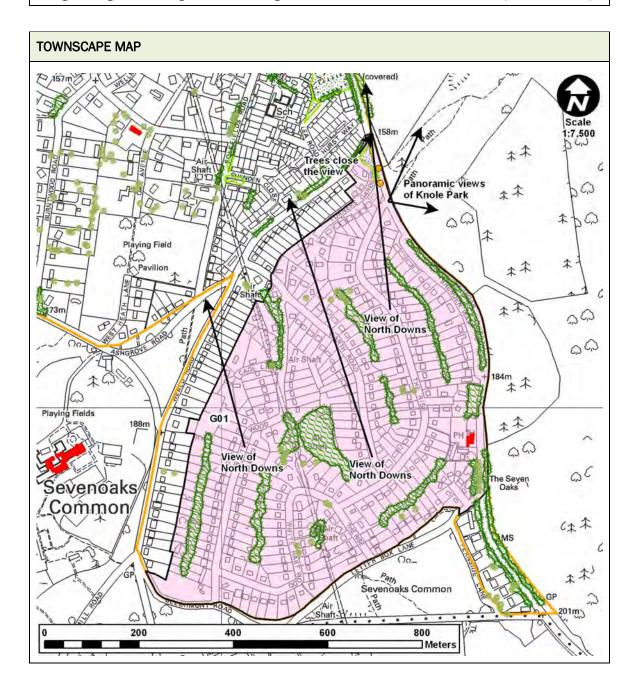
Example of Formal Avenue Layout

GO1 WHITE HART AREA

Comprising The Rise; Garth Road; Brattle Wood; White Hart Wood; Shenden Way; Turners Gardens; White Hart Close; Cade Lane; Tonbridge Road; Parkland Close; Letter Box Lane and Beechmont Road

HISTORICAL CONTEXT

Historically the area formed the edge of Whitehart Woods and was given over to fields and gravel pits. The area was part of the Sackville Estate but was laid out in the 1930s with plots sold individually. The railway tunnel travels underneath this area but is only revealed in brick airshafts along its length. Surviving historic buildings include the White Hart Public House (Grade 2 listed).



Locally Distinctive Contextual Features	
Age of buildings	1930s to present day
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys with some bungalows and three storey
Prominent building materials	Various
Predominant boundary treatments	Low walled gardens with hedges and some trees
Open space/ vegetation	The edge of the area is characterised by thick ancient woodland significantly limiting the views to the open countryside beyond. The area is bounded by the historic route of Tonbridge Road which retains some elements of former landscape. Remnant woodland survives within the estate. Hedges and tree boundaries to front and rear gardens trees which act as a backdrop to the houses.

Area Characteristics









The Rise (top left); Garth Road (top right); Brattle Wood (bottom left); White Hart Wood (bottom right) illustrate the predominant character of this area formed by individually designed detached houses set well back on a relatively regular building line along wide avenues with grass verges and pavements. Groups of buildings are visible above low walled, hedged and treed front boundaries. The formal layout is created by the wide roads with footways and verges and a relatively regular building line, with spacing between buildings.





Individually designed detached and two semi detached houses are set back from the west side of Shenden Way on an irregular building line. Groups of buildings of varying heights are visible above low walled, hedged and treed front boundaries. The eastern side of the street is formed by a tree belt which encloses the space and separates the road from the busy Tonbridge Road.





Turners Gardens is a cul de sac development of 17 detached houses built on a former nursery in the 1980s. The road is narrow and leads on to a shared surface access at the head of the cul de sac. The buildings, including garages are more prominent than in the rest of the area, with shallow front gardens and little boundary treatment.

The three cul-de-sacs Parkland Close (top right), White Hart Close (below left) and Cade Lane (below right) are less spacious in layout with narrow roads, no grass verges and buildings set closer to the roads. Groups of buildings are visible above hedged front boundaries. Trees play an important part in defining the entrance to these roads and visually enclosing and terminating the vista of Cade Lane.







A narrow informal hedge and tree-lined drive leads away from White Hart Wood to serve well screened backland development.







Two narrow drives serve detached properties set behind woodland off Letter Box Lane. The properties are relatively well concealed from the rural lane by the woodland.

Landscape









There is a high survival of former mature tree cover in front and rear gardens as well as some wooded areas originally forming part of the farmed and wooded Sackville Estate. The principal roads are bordered by grass verges and lined with boundary hedges and a mix of mature native trees and suburban planting - giving a verdant character to these roads illustrated by The Rise (top left); Brattle Wood (top right); Garth Road (bottom left); White Hart Wood (bottom right). The hedged and treed boundaries on both sides of the road contrast with the built form and soften the townscape. The mature native trees provide historic links back to the original farmland and make a significant contribution to the character of this area.



The tree belt forming the eastern side of Shenden Way provides part of the landscaped southern entrance to Sevenoaks, combining with trees on Tonbridge Road to form a verdant arched canopy.









The area is largely surrounded by countryside and the surrounding roads such as Letter Box Lane (below left) have a rural character. Where roads within the White Hart area meet the surrounding rural routes mature trees and more intensive native planting create a transition between the more formal suburban landscape to the informal rural character as shown at The Rise/ White Hart Wood (top left) and The Rise/ Tonbridge Road (top right).

Brattle Wood (bottom right) is a significant copse of historic woodland which remains within the area.



The treed amenity green space at the corner of Tonbridge Road/ Weald Road screens the entrance to Turners Gardens and reflects the verdant character of Tonbridge Road and Weald Road at this point.

Views









The undulating topography of the area allows views across roofs looking northwards towards the North Downs from The Rise (top and bottom right) and Garth Road (bottom left). Panoramic views of Knole Park are seen from Tonbridge Road near the junction with The Rise (top left) and provide a magnificent setting of historic landscape for this area and the town as a whole.

Townscape Feature



Turners Gardens is connected under the Tonbridge Road via a gate into Knole Park. The residents each hold a key to the gate through which it is thought a turnpike road was originally built into the Sackville Estate.

Boundary Treatment





A common front boundary feature for the area is a low brick wall, topped by hedging, enclosing the road space, defining the boundary between public and private space and reinforcing the character of an area

Detractors





House without the regular set back or low walled and hedged or hedged front boundary can appear dominant in the street scene and out of character with the area.



Closely abutting two storey houses on subdivided plots in a prominent location without adequate space between them or landscaped boundaries can appear out of character with the area.



Where visible, the introduction of detached garage buildings to the front of the house towards the front of the building curtilage can appear dominant in the street scene and change the verdant character to the roads where houses are set well back behind landscaped front gardens and walled, hedged and treed front boundaries.

If repeated too often, the loss of front gardens to paving which is visible from the road will urbanise the suburban character of the area.



Listed Building

The White Hart Public House

18th Century posting inn, three storeys, painted brick and stucco plinth. Late 18th Century addition to right with eaves, gutter and hipped tile roof. Various 18th Century sash windows with glazing bars.

Grade 2



Locally Distinctive Positive Features

Individually designed mostly 2 storey detached houses are set back from the road along a relatively regular building line with gaps between buildings

Verdant character to the roads created by grass verges, boundary hedges, mature trees in front gardens and in rear gardens visible above and between houses, as well as some wooded areas

The edge of the area is characterised by trees and woodland and the historic landscape of Knole Park

Trees on Tonbridge Road enclose and frame the southern entrance to Sevenoaks

Treed amenity green space at the corner of Tonbridge Road/ Weald Road

Views looking northwards towards the North Downs

Gated entrance and view to Knole Park

Low brick or stone wall boundaries topped by hedging, or hedged boundaries or hedged boundaries front and side

The White Hart Public House Grade 2 listed building

Negative Features

Some new development has not respected the characteristic set back from the road or allowed adequate spacing between buildings

Absence of walled and hedged or hedged front boundaries to a few properties

Loss of front gardens to paving which is visible from the road

Design Guidance

Some infill development and redevelopment has occurred in this character area and it is likely that there will be pressure for further such development. Some long back gardens have been developed with discrete backland development and further such development may prove acceptable but any such development should meet the guidance included in this SPD.

Many properties have been extended in the area and whilst the adaptation of existing buildings is likely to continue, there is a need to ensure that development does not appear cramped on the site or within the street scene by virtue of its scale, height mass and siting.

In addition, there has been pressure for large areas of car parking or garages but in judging such proposals the impact of the building on the character of front boundaries, gardens or the street scene should be carefully assessed.

In proposing new development within the White Hart Character Area:

Development should be set back from the road and respect the relatively regular building line

The scale, height and mass of new development should fit unobtrusively within its setting and should not appear cramped on the site or out of context with the character of the street

A side extension should not significantly infill the space between properties

Garages should be of a scale, form, materials and location that fit unobtrusively with the house, surrounding garden and the character of the street

Backland development should be served by narrow and hedge lined access drives

Mature trees and hedges or wall and hedge boundaries which contribute to the character of the area should be retained

The rural character of the roads at the edge of the character area should be retained

The listed building and its setting should be protected

The Rise/ Tonbridge Road amenity open space should be protected

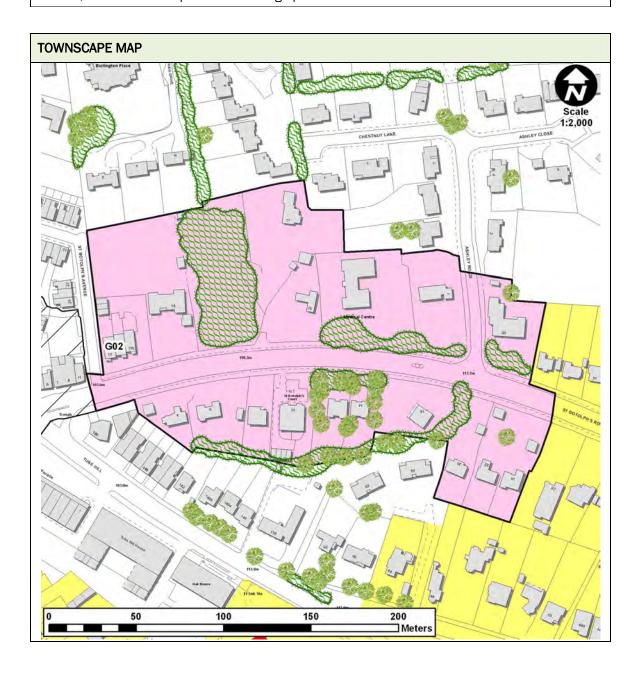
The views of the North Downs should be protected

GO2 ST. BOTOLPH'S ROAD

Comprising St. Botolph's Road

HISTORICAL CONTEXT

The 1895 Ordnance Survey Map shows fields and woods where St Botolph's Road and The Drive is situated today. The 1896 Ordnance Survey 1:2500 map shows St. Botolph's Road lined with trees. By 1901, most of the north side of St. Botolph's Road had been sold or leased, and the first houses were erected in 1904. House building continued during the 1920's and 1930's, with new development continuing up to recent times.



Locally Distinctive Contextual Features	-
Age of buildings	Early 1900s to present day
Type of buildings	Detached
Main uses	Residential and medical centre
Building heights	Two storeys some with attic rooms
Prominent building materials	Brick with render, timber framing and tile hanging
Predominant boundary treatments	Hedge with black painted railings
Open space/ vegetation	Mature tree lined avenue, woodland and hedged boundaries





The trees along St Botolph's are integral to the character of this area and the setting of the adjoining Conservation Area (The Vine Conservation Area). The character is enhanced by the generous width of the carriageway and the wide grass verges and pavements, and particularly the tree canopy formed by the impressive avenue of mature trees. Most of the trees are horse chestnuts but there are also a few beech, silver birch and some newly replanted specimens to replace those lost in the 1987 hurricane.

The hedged boundaries with black railings add to the verdant character of the road.

The woodland adjoining Bowerwood House adds significantly to the character of the tree lined road and terminates vistas along this curving part of the road.











Large individually designed detached houses are well spaced along the road. The houses are set well back from the road behind hedged and treed front gardens. Buildings are well screened and generally have a minimal impact on the street scene. The buildings vary in age, spanning the entire twentieth century, with most being erected in the 1920's and 1930's in styles. The character of this part of St. Botolph's Road is unified not by the buildings themselves, but the verdant vegetation and the discrete appearance of buildings. The properties to the south side of the road (top and bottom left) are generally placed higher than the level of the road, while those to the northern side (top and bottom right) are set at a lower level and partially obscured at road level.



Bowerwood House at number 15 is a prominent feature of the street scene although set below road level on the north side. It is understood to have been designed by Charles Cable, a much respected local architect, in 1922, in a well detailed, half-timbered Arts and Crafts derived style.





At the western edge of St Botolph's Road the character has been changed by more intensive redevelopment. Buildings become more prominent in the street scene by virtue of their height, mass and open frontage with little screening (top left) or mass and siting (top right).

Locally Distinctive Positive Features

Development generally well screened from the road by being well set back behind hedged and treed front gardens

Houses are generally not built up to the property boundary resulting in landscaped space between buildings

A tree lined avenue with grass verge flanked by substantial hedges, trees and woodland enclose the road

Arts and Crafts design themes are reflected in earlier properties

Negative Features

No significant detractors

Design Guidance

The dispersed nature of development leads to pressure to develop parts of the large gardens within the area and to subdivide or redevelop existing substantial plots.

In proposing new development within the St Botolph's Road Character Area:

Any development should be well screened from the road by being well set back behind hedged and treed front gardens

The scale and mass of new development should fit unobtrusively within its setting and should not appear cramped on the site or out of context with the character of the street

Mature trees and boundary hedges and railings which contribute to the character of the road should be retained

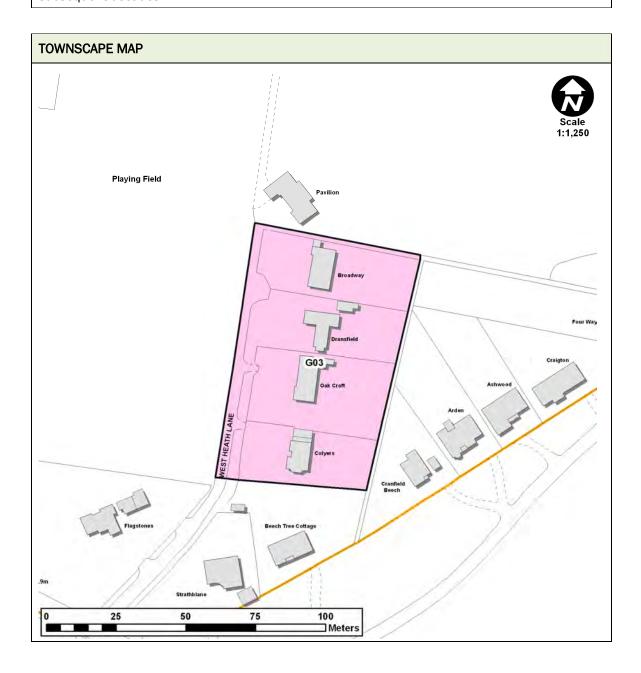
The setting of the adjoining Vine Conservation Area, including mature trees and Arts and Crafts house designs, should be protected or enhanced

GO3 WEST HEATH LANE

Comprising West Heath Lane

HISTORICAL CONTEXT

West Heath Lane was commenced in the 1930s with limited infill development added in subsequent decades.



Locally Distinctive Contextual Features	
Age of buildings	1930s to 1970s
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys and bungalow
Prominent building materials	Various
Predominant boundary treatments	Hedges with some trees
Open space/ vegetation	Verge at the edge of the road, hedges and trees to front gardens and open space to the west side



West Heath Lane comprises individually designed 2 storey detached houses formally arranged on a regular building line with space between buildings. The group of buildings is visible above hedged and treed front boundaries.

There is a verdant character to the roads created by the grass verge, boundary hedges, mature trees and open space. The formal layout is created by the straight road with verge and a regular building line, with spacing between buildings.



West Heath Lane has a more open character as the western side is flanked by playing fields.

Locally Distinctive Positive Features

Individually designed mostly 2 storey detached houses are formally spaced on a regular building line with gaps between buildings

Verdant character to the road created by grass verge, boundary hedges, mature trees in front gardens and playing fields

A more open character is created by the playing fields to the west

Negative Features

No significant detractors

Design Guidance

The arrangement of buildings and plots of this development gives little opportunity for development.

In proposing new development within the West Heath Lane Character Area:

The regular building line and space between buildings should be respected

Mature trees and hedged boundaries which contribute to the character of the roads should be retained

H INFORMAL LANE CHARACTER AREAS



Large individually designed detached houses are set well back from the road and are well screened and generally have a minimal impact on the street scene. The narrow, undulating or winding lanes are enclosed by hedges and substantial numbers of mature trees, often arching across the road to add to the sense of enclosure. Hedges and trees abut the lanes and development is generally well hidden by vegetation and narrow entrances. The verdant edges, discrete development and the informal highway layout, often without footpaths or kerbs, create an informal rural character to the lanes. Some of the informal lanes skirt the edge of Sevenoaks beyond which limited development is visible.

The character of the lanes is unified not by the buildings themselves, but the verdant landscape framework and the discrete appearance of buildings.

Mature trees are also prevalent between and behind buildings forming the backdrop and setting for development and a skyline feature.



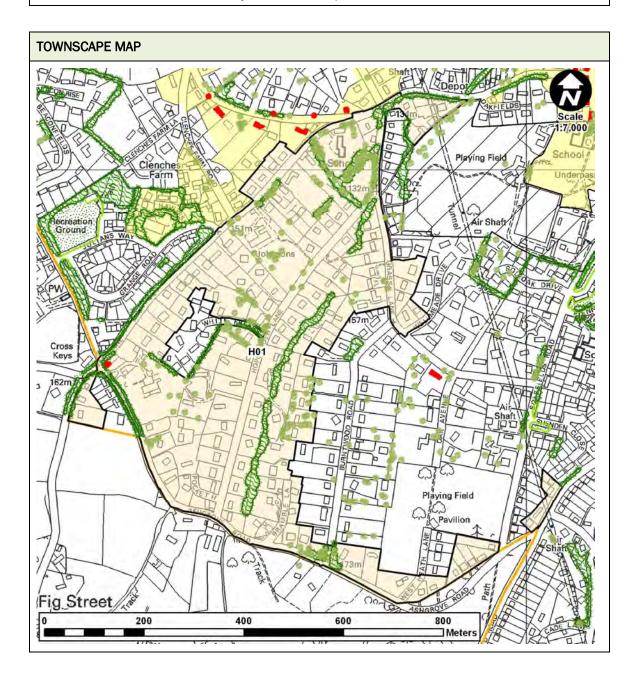
Example of Informal Lane Layout

HO1 HOPGARDEN LANE AREA

Comprising Hopgarden Lane; Little Julian's Hill; Pocket Hill; Ashgrove Road; Burntwood Grove; West Heath Lane; Oak Lane; Grassy Lane (west side), Weald Road (part)

HISTORICAL CONTEXT

Hop Garden Lane is an ancient route which has retained its original alignment and is part of a network of lanes in the area. Historically the area comprised open fields with hedgerows and trees some of which still survive today - criss-crossed by the lanes. Development was laid out from the 1930's onwards with many houses developed in the 1960s.



Locally Distinctive Contextual Features	
Age of buildings	1930s to present day
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys with a few bungalows and three storey properties
Prominent building materials	Various
Predominant boundary treatments	Tall dense hedges with mature trees
Open space/ vegetation	Trees and planting to front, side or rear gardens, hedging enclosing side gardens

Area Characteristics





Large individually designed generally 2 storey detached houses and bungalows are well spaced along Hopgarden Lane. The houses are set well back from the road behind hedged and treed front gardens. Buildings are well screened and generally have a minimal impact on the street scene. The character of the lane is unified not by the buildings themselves, but the verdant landscape framework and the discrete appearance of buildings.







Hopgarden Lane is enclosed by hedges and mature trees, several arching across the road to add to the sense of enclosure. The curve in the road foreshortens vistas and provides additional enclosure. The verdant edges and the single footpath create a rural character to this lane.

Mature trees are also prevalent on the upper slopes either side of Hopgarden Lane forming the backdrop and setting for development and a skyline feature.





Two areas of private open space are glimpsed along Hopgarden Lane through hedged and treed boundaries but are not generally predominant in the street scene. Trees within and surrounding the sites add to the generally verdant character of the area.



Houses on the western side of Hopgarden Lane are generally set on higher ground and can be more prominent in the street scene because of their elevation. A lack of mature hedging to the back edge of pavement changes the character of the lane. Garages and other buildings set close to, and visible from, the lane urbanise its character.









Oak Lane (above) and Ashgrove Road (below) are narrow, undulating and winding tree-lined lanes with no footways creating an informal rural character. Hedges and trees abut the lanes and development is generally well hidden by vegetation and narrow entrances. The curved, narrow, verdant lanes have a strong sense of enclosure. The character of the lanes is unified by the verdant landscape framework and the discrete appearance of buildings. The north western side of Oak Lane is part of the setting of the Kippington Conservation Area which is characterised by trees and shrubs which screen views of the houses from the road.

Development is set closer to the road and is slightly more prominent along the northern part of Oak Lane.









A number of narrow drives lead away from the main roads in this area: Little Julian's Hill (top left); Pocket Hill (top right); Bramble Lane (bottom left) and West Heath Lane (bottom right). These replicate the informal hedge and tree-lined characteristics of the principal roads with generally well screened development dispersed along a warren of small lanes.



Burntwood Grove, served from Burntwood Road, comprises discretely located detached houses set amongst mature trees. The development is approached through a hedge lined drive and some of the houses have hedged front gardens.



The eastern side of Grassy Lane represents a transition between the dispersed detached character of the rest of the area and the formal detached character of the western side of the road.

Large individually designed detached houses are well spaced along the steeply sloping road and set well back behind hedged and treed front gardens. The vegetation is less consistent than elsewhere in the area and the buildings are generally more visible.

Townscape Feature



Short length of Weald Road within this character area contains this Victorian terrace. Faced in ragstone with brick detailing around the windows, modest open porches and red tiled roof topped by two chimneys, this historic townscape feature adds significantly to the character of the area.

Detractors









The absence of mature hedging to the back edge of pavement, wide openings or substantial paved areas changes the character of the lanes.









Where visible, the introduction of bulky garage buildings to the front of the house towards the front of the building curtilage can change the character of the lanes which are characterised by well screened buildings set well back from the road behind hedged and treed front gardens and generally having a minimal impact on the street scene.

The informal rural lanes can become urbanised by kerbs, fencing or walls, street signs, lighting and overhead wires.

.



Listed Building

Nos 1 and 2 Ashgrove Road (Cross Keys Cottage)

18th Century cottage, previously one dwelling now divided into 2. 2 storeys, 3 windows. Old centre door and new side entrances to left and right. Brick ground floor painted white, tile hung above. Half hipped tiled roof with one gabled dormer to right.

Grade 2

Locally Distinctive Positive Features

Narrow and winding tree and hedge lined lanes with no footways or single footway create an informal rural character and a strong sense of enclosure

Large individually designed mostly 2 storey detached houses are well spaced and set well back from the road behind hedged and treed front gardens

Buildings are generally well screened by vegetation and narrow entrances and generally have a minimal impact on the street scene

Mature trees on the slopes either side of Hopgarden Lane forming the backdrop and setting for development and a skyline feature for the area

The character of the lanes is unified by the verdant landscape framework and the discrete appearance of buildings

Victorian terrace townscape feature

Listed building

Negative Features

Loss of mature hedge boundaries to the back edge of pavement, wide access openings or substantial paved areas adversely affect the character of the lanes

Where visible, the introduction of bulky garage buildings to the front of the house towards the front of the building curtilage can adversely affect the character of the area

Urbanisation of the lanes by kerbs, fencing or walls, street signs, lighting and overhead wires

Design Guidance

Some long back gardens have been developed with discrete backland development and further such development may prove acceptable subject to meeting the guidance of this SPD. There are also two areas of private open space in Hopgarden Lane which may be suitable for residential development but any such development should meet the guidance included in this SPD.

There has been pressure to redevelop some properties or for large two storey garages. In addition, the pressure for large areas for car parking may impact on the character of front boundaries and gardens.

In judging proposals, the fragile balance in favour of the landscape dominating the built form should be retained.

In proposing new development within the Hopgarden Lane Character Area:

Buildings should be well screened and well set back from the front boundary to avoid a significant impact on the rural character of the lanes

Garages should be of a scale, form, materials and location that fit unobtrusively with the house, surrounding garden and the street scene

Development should be served by narrow and hedge lined access drives

Mature trees and hedged boundaries which contribute to the character of a lane should be retained or reinstated

The rural character of the lanes at the edge of the character area should be retained

The character of the Victorian terrace townscape feature should be retained

The listed building and its setting should be protected

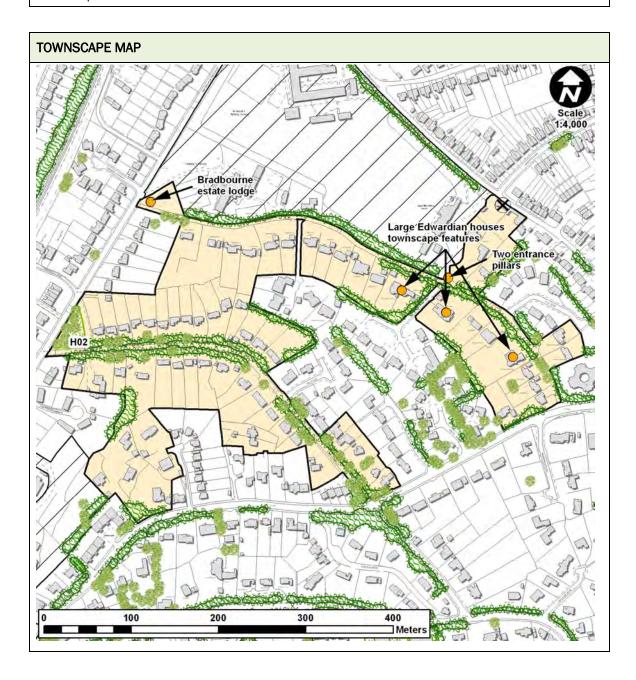
The setting of the adjoining Kippington Conservation Area should be protected or enhanced

HO2 LINDEN CHASE/ WOODSIDE ROAD

Comprising Linden Chase, Woodside Road

HISTORICAL CONTEXT

The area was formerly part of the original Bradbourne House Estate, and included nurseries, orchards, a planned informal landscape and began to be developed with large houses in the Victorian and Edwardian period. Much of the infilling of spaces between the large houses, and redevelopment occurred in the 1970s and 80s.



Locally Distinctive Contextual Features	
Age of buildings	Late 19th Century o present day
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Various
Predominant boundary treatments	Tall dense hedges with mature trees
Open space/ vegetation	Trees and planting to front, side or rear gardens. Amenity open space at the western entry to Woodside Road.

Area Characteristics









Individually designed detached houses are well spaced along Linden Chase (top) and Woodside Road (bottom). The houses are set back from the road behind hedged and treed front gardens. Buildings are well screened and generally have a minimal impact on the street scene. The narrow and winding tree and hedge lined lanes with no footpaths create an informal rural character and a strong sense of enclosure. The character of the lanes is unified not by the buildings themselves, but the verdant landscape framework and the discrete appearance of buildings.





A number of narrow drives lead away from the main roads in this area. The narrow access with hedged entrance (top left) replicates the informal hedge and tree-lined characteristics of the principal lanes with well screened development set well back from the road. Pineneedle Lane (top right) although narrow, has a more urban character with a single footway and fenced boundary. The narrow access and the remoteness of the houses ensure that the development does not significantly adversely affect the character of the area.













The narrow hedge and tree lined Linden Chase (overleaf top) and Woodside Road (overleaf middle and bottom) with no footway have an enclosed, verdant and informal rural character. The curved lanes foreshorten the vistas increasing the sense of enclosure. The hedged and treed front gardens line the roads and generally minimise the impact of development. The character of the road is unified by the verdant landscape framework, the informal road setting and the discrete appearance of buildings.



The treed amenity open space marks the western entrance to Woodside Road. The space adds to the verdant character of the lane, and to Bradbourne Park Road.

Townscape Features



The Bradbourne Estate single storey Lodge of white-painted render, red tiled roof with decorative ridge tiles and chimney and half timber detailing marks the western entrance to Linden Chase.



The pillars decorated with stone pineapple motifs mark a pedestrian entrance to the Adult Education Centre and form an interesting feature along Linden Chase.







Three grand Edwardian houses are located close to each other along Linden Chase: Pine Lodge (left), The Glen (centre), Tremont House (right). The scale, designs and materials of the houses are representative of the period and act as a reminder of the origins of the character area. These historic townscape features can be glimpsed between and above boundary hedges and add significantly to the character of the area.

Detractors





The open plan character of Lyle Park (above left) and The Glade (above right) is juxtaposed to the enclosed verdant rural character of the informal lanes of Linden Chase and Woodside Road which they abut.



The absence of mature hedging to the back edge of the lanes, wide openings or substantial paved areas changes the character of the lanes.





High fenced boundaries add an urban character which is not in keeping with the informal hedge and tree-lined characteristics of the lanes in the area.

Locally Distinctive Positive Features

Narrow and winding tree and hedge lined lanes with no footways create an informal rural character and a strong sense of enclosure

Individually designed 2 storey detached houses are well spaced and set back from the road behind hedged and treed front gardens

Buildings are generally well screened by vegetation and narrow entrances and generally have a minimal impact on the street scene

Mature trees form an important part of the character of the area

The treed amenity open space at the western entrance to Woodside Road

The character of the roads is unified by the verdant landscape framework and the discrete appearance of buildings

The townscape features in Linden Chase of the Bradbourne Estate Lodge; Edwardian houses Pine Lodge, The Glen and Tremont House and the pillars at the pedestrian entrance to the Adult Education Centre

Negative Features

Highly visible modern development prominent in the verdant street scene

Loss of mature hedge boundaries to the back edge of pavement, wide access openings or substantial paved areas adversely affect the character of the lanes

Urbanisation of the lanes by fencing or walls

Design Guidance

Some large back gardens have been developed with discrete backland development and further such development may prove acceptable. There is little potential for further infill development. There may be opportunities for the subdivision of large houses into flats although alterations to the property together with the impact of parking provision will have to be carefully considered in respecting the character of the area. Any such development should meet the guidance included in this SPD.

Some properties have been extended in the area and whilst the adaptation of existing buildings is likely to continue, there is a need to ensure that development does not appear cramped on the site or within the street scene by virtue of its scale, height, mass and location

In addition, there may be pressure for large areas for car parking or garages but in judging such proposals the impact of the building on the character of front boundaries, gardens or the street scene should be carefully assessed.

In judging proposals the careful balance at present in favour of the landscape quality of the area rather than the built form should be retained.

In proposing new development within the Linden Chase/ Woodside Road Character Area:

The rural character of the lanes should be retained

Buildings should be well screened and set back from the front boundary to avoid a significant impact on the rural character of the lanes

The scale, height and mass of new development should fit unobtrusively within its setting and should not appear cramped on the site or out of context with the character of the street

Garages should be of a scale, form, materials and location that fit unobtrusively with the house, surrounding garden and the character of the street

Backland development should be served by narrow and hedge lined access drives

Mature trees and hedged boundaries which contribute to the character of a road should be retained or reinstated

The treed amenity open space at the western entrance to Woodside Road should be protected

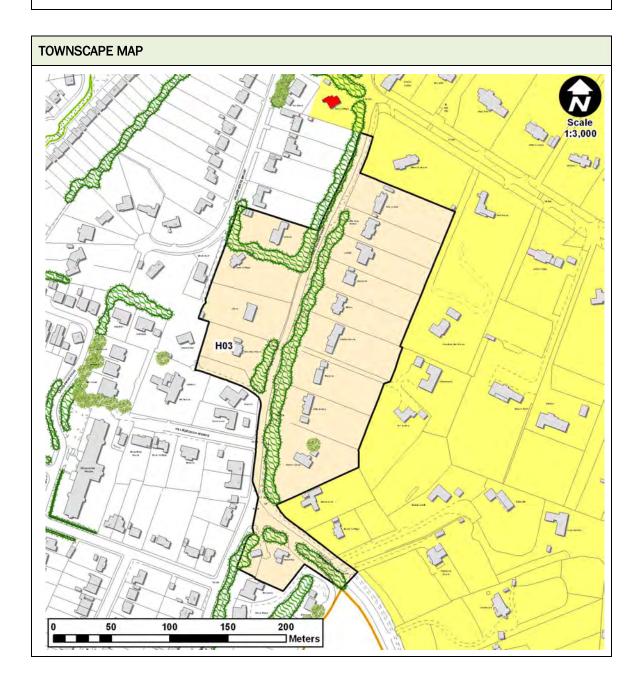
The character of the Bradbourne Estate Lodge; Edwardian houses Pine Lodge, The Glen and Tremont House and the pillars at the pedestrian entrance to the Adult Education Centre in Linden Chase should be protected

HO3 SEAL HOLLOW ROAD/ BLACKHALL LANE

Comprising Seal Hollow Road (part), Blackhall Lane

HISTORICAL CONTEXT

The north eastern part of the area was laid out in the 1930s, contemporary with the adjoining Wildernesse Estate, with further plots added in the 1970s and later. The Arts and Crafts design themes are reflected in the earlier properties.



Locally Distinctive Contextual Features	
Age of buildings	1930s to present day
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys some with attic rooms
Prominent building materials	Red/ orange or brown brick, red/ brown tile roofs
Predominant boundary treatments	Tall dense hedges
Open space/ vegetation	Trees and planting to front, side or rear gardens, hedging enclosing side/ rear gardens abutting the footway

Area Characteristics



Seal Hollow Road is a busy route which skirts around the eastern side of Sevenoaks (B2019) resulting in a more formal highway layout than the adjoining Wildernesse area. Nevertheless, the area shares the characteristics of a grass verge flanked by substantial hedges and trees which enclose the road and present a rural character. Street trees further enhance the rural character to the south of the area









Large individually designed detached houses, some with Arts and Crafts influences, are well spaced along the street. The houses are set well back from the road behind hedged and treed front gardens. Buildings are well screened and generally have a minimal impact on the street scene. The character of this part of Seal Hollow Road is unified not by the buildings themselves, but the verdant vegetation and the discrete appearance of buildings.





The trees at the corner of Blackhall Lane screen development and enclose the road space at this junction.

Locally Distinctive Positive Features

Development generally well screened from the road by being well set back behind hedged and treed front gardens

Houses are generally not built up to the property boundary resulting in landscaped space between buildings

A grass verge flanked by substantial hedges and trees enclose the road and present a rural character

Arts and Crafts design themes are reflected in earlier properties

Negative Features

Traffic along the B2019

Design Guidance

The dispersed nature of development leads to pressure to develop parts of the large gardens within the area and to subdivide or redevelop existing plots and further such development may prove acceptable but any such development should meet the guidance included in this SPD.

In addition, there may be pressure for large areas for car parking or garages but in judging such proposals the impact of the building on the character of front boundaries, gardens or the street scene should be carefully assessed.

In judging proposals the careful balance at present in favour of the landscape quality of the area rather than the built form should be retained.

In proposing new development within the Seal Hollow Road Character Area:

Buildings should be well screened and set back from the front boundary to avoid a significant impact on the rural character of the lanes

The scale, height and mass of new development should fit unobtrusively within its setting and should not appear cramped on the site or out of context with the character of the street

Garages should be of a scale, form, materials and location that fit unobtrusively with the house, surrounding garden and the character of the street

Mature trees and boundary hedges which contribute to the character of the road should be retained

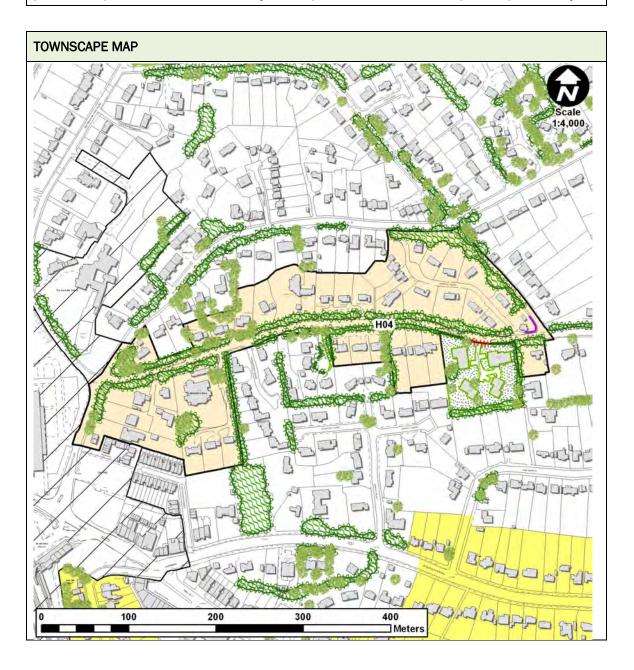
The setting of the adjoining Wildernesse Conservation Area, including mature trees and Arts and Crafts house designs, should be protected or enhanced

HO4 HITCHEN HATCH LANE

Comprising Hitchen Hatch Lane (part); Carrick Drive

HISTORICAL CONTEXT

The area was formerly part of the original Bradbourne House Estate, and included nurseries, orchards, a planned informal landscape, and a quarry. Large houses set in woodlands were built in the Victorian and Edwardian periods including Carrick Grange and Lodge house with further plots developed in the 1930s. Gradually, development has been infilled up to the present day.



Locally Distinctive Contextual Features	
Age of buildings	Late 1800s to present day
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Various
Predominant boundary treatments	Hedges with trees
Open space/ vegetation	Trees and hedge planting to front gardens

Area Characteristics









Individually designed detached houses are generally set back along an irregular building line and well spaced along Hitchen Hatch Lane. The houses are set back from the road behind hedged and treed front gardens. Buildings are generally well screened and even the properties set on the higher north side have a minimal impact on the street scene. The narrow and curved tree and hedge lined road with a single footway slopes down towards the south west and creates an informal character and a strong sense of enclosure. The character of most of the length of the road is unified not by the buildings themselves, but the verdant landscape framework, the informal road setting and the discrete appearance of buildings.





The narrow drives of Oakwood Drive (left) and Kincraig Drive (right) lead away from Hitchen Hatch Lane. The narrow access with hedged entrance replicates the hedge and tree-lined characteristics of the principal road with well screened development relatively unobtrusive in the street scene. The walled access entrances introduce an uncharacteristic urban feature within the landscape.









Carrick Drive is reached through metal gates adjoining the historic lodge house to Carrick Grange. The houses are set back from the drive road behind hedged and treed front gardens. Buildings are generally well screened and have a minimal impact on the street scene. The narrow and winding tree and hedge lined drive with no footways reflect the informal character and a strong sense of enclosure of Hitchen Hatch Lane. The character of the drive is unified not by the buildings themselves, but the verdant landscape framework, the informal road setting and the discrete appearance of buildings.





As Hitchen Hatch Lane bends sharply southwards, a group of tall gable fronted Victorian properties are set well back from the road behind mature vegetation.













The narrow Hitchen Hatch Lane with single footway and hedged and treed front boundaries reflects the character of the wider Bradbourne Estate. The Lane retains a verdant character for much of its length. Most access roads are narrow and hedge lined and have minimal impact on the character of the Lane. Nevertheless, the landscaped character of the road is twice interrupted by wide unenclosed access roads serving modern development which is prominent from the road.

Townscape Feature



The Victorian lodge house and stone wall to the former Carrick Grange mark the corner of Hitchen Hatch Lane and Woodside Road and the entrance to the character area. Built of ironstone with tiled roof and decorative bargeboards this is an important historic feature within the street scene and now marks the entrance to Carrick Drive.

Detractors





Unlike other developments served by narrow access drives, the wide unenclosed entrance and prominent clustered developments of Winchester Grove (left) and White Lodge Close (right) are in contrast to the enclosed and verdant character and unobtrusive development of Hitchen Hatch Lane from which it is viewed. These developments interrupt the character of Hitchen Hatch Lane.

Locally Distinctive Positive Features

Narrow and curved tree and hedge lined roads with single or no footway create an informal character and a strong sense of enclosure

Individually designed 2 storey detached houses are well spaced and set back from the road behind hedged and treed front gardens

Buildings are generally well screened by vegetation and narrow entrances and generally have a minimal impact on the street scene

Mature trees form an important part of the character of the area

The character of the roads is unified by the verdant landscape framework and the discrete appearance of buildings

The lodge house to the former Carrick Grange

Negative Features

Highly visible modern clustered development with standard highway and footway designs Urbanisation of the access drives by brick wall entrances

Design Guidance

The larger properties and gardens have been redeveloped and some large back gardens have been developed with discrete backland estate development. Whilst further development on this scale is unlikely, there may be potential for limited backland development and redevelopment and further such development may prove acceptable subject to meeting the guidance of this SPD.

In judging proposals, the fragile balance in favour of the landscape dominating the built form should be retained.

In proposing new development within the Hitchen Hatch Lane Character Area:

Buildings should be well screened and set back from the front boundary to avoid a significant impact on the rural character of the roads

Backland development should be served by narrow and hedge lined access drives

The scale, height and mass of new development should fit unobtrusively within its setting and should not appear cramped on the site or out of context with the character of the street

Garages should be of a scale, form, materials and location that fit unobtrusively with the house, surrounding garden and the character of the street

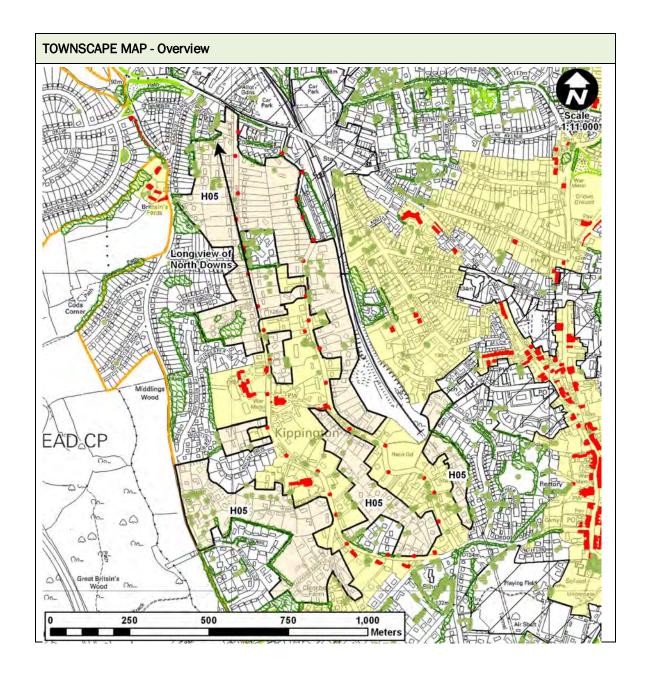
Mature trees and hedged boundaries which contribute to the character of a road should be retained or reinstated

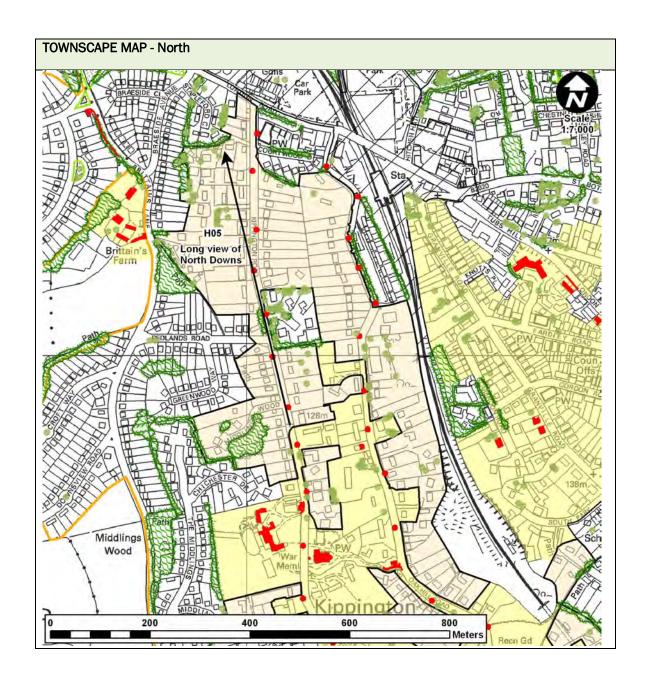
H05 KIPPINGTON ROAD AREA

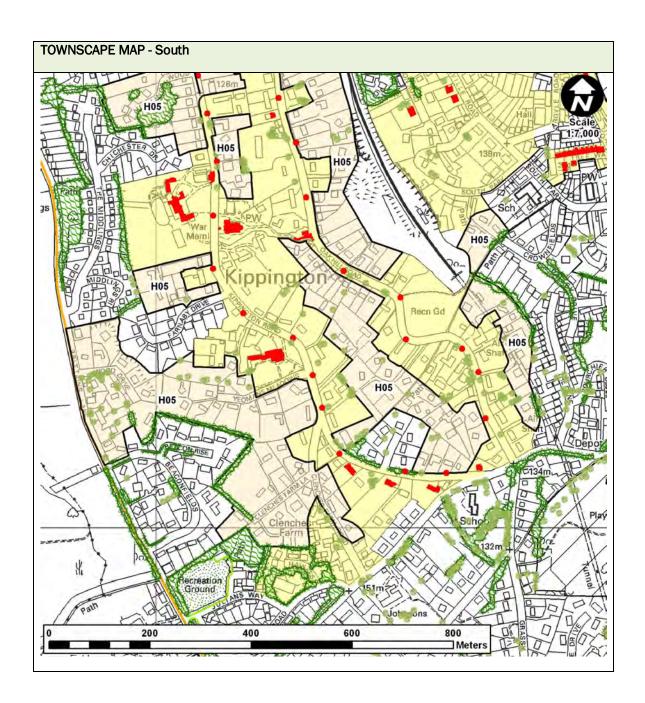
Comprising Kippington Road, Oakhill Road, Clenches Farm Road, Clenches Farm Lane, Yeoman's Meadows, Kippington Close, Middlings Wood, Brittains Lane, Wood Drive, off Brittains Lane South Park

HISTORICAL CONTEXT

The Kippington estate, surrounding Kippington House, used to stretch eastwards to the London Road, encompassing the area to the east of the railway the building of which had the effect of separating the area from the main town. The present Kippington House around which the area is centred was built in the 18th Century and Kippington Road follows the path of the original drive to the house. Beyond the boundaries of the Conservation Area, development since the war has been steady







Locally Distinctive Contextual Features	
Age of buildings	1930s to present day
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Various
Predominant boundary treatments	Tall dense hedges with mature trees
Open space/ vegetation	Trees and planting to front, side or rear gardens, hedging enclosing side gardens

Area Characteristics









Most of Oakhill Road is situated within the Kippington Conservation Area, including the entire road and bordering landscape south of No.34. It is pleasantly undulating with interesting curves and good hedgerows. The feeling of enclosure is strong despite its width. Within the character area, individually designed detached houses are generally set back from the road behind hedged and treed front gardens. Buildings are generally well screened and have a minimal impact on the street scene although limited development (including garages) on the south side of the middle section of the road is set closer to the road and is more prominent. The character of the road is unified not by the buildings themselves, but the verdant landscape framework, the informal road setting and the generally discrete appearance of buildings. The character area abuts the Conservation Area and is therefore important to its setting.









Most of Kippington Road is situated within the Kippington Conservation Area, including the entire road and bordering landscape south of No.47. Kippington Road is distinguished by its park-like surroundings and the estate which still centre around the original house. Individually designed detached houses are generally set back from the road behind hedged and treed front gardens with back garden trees also visible. Within the character area, buildings are generally well screened and have a minimal impact on the street scene although a limited number of houses are more prominent in the street scene through a lack of hedged boundary screening. The absence of mature hedging to the back edge of the road, wide openings or substantial paved areas changes the character of the roads. The character of the roads is unified not by the buildings themselves, but the verdant landscape framework, the informal road setting and the generally discrete appearance of buildings. The character area abuts the Conservation Area and is therefore important to its setting.









A number of narrow drives lead away from the main roads in this area to serve backland development. The narrow access drives off Kippington Road (top) and Oakhill Road (bottom) with hedged entrance replicates the informal hedge and tree-lined characteristics of the principal roads with well screened development set well back from the road. The narrow access and the remoteness of the houses (below) ensure that the development is unobtrusive in the street scene.





















A number of narrow lanes lead away from the main roads in this area. The lanes are enclosed by tall dense hedges and mature trees with generally well screened development set back from the road. The narrow, enclosed gravelled access and the unobtrusive nature of development creates an informal rural character.

Clenches Farm Lane (top) is relatively straight, whilst the other lanes Yeoman's Meadows (middle) and Clenches Farm Road (bottom) are curved, giving an additional sense of enclosure.

The narrow access drive off Yeoman's Meadows with hedged entrance replicates the informal hedge and tree-lined characteristics of the area with well screened development set well back from the road. The narrow access and the remoteness of the houses ensure that the development is unobtrusive in the street scene.







Brittains Lane is a narrow lane marking the western edge of Sevenoaks. The lane is enclosed by tall dense hedges and mature trees with generally well screened development set back from the road. The narrow, enclosed and curved lane and the unobtrusive nature of development creates an informal rural character.





Wood Drive is a narrow lane with a single footway with hedged and treed boundaries which generally partially screen the houses. The use of walls and the formally edged road make this drive.













The northern sections of Oakhill Road (top) and Kippington Road (middle and bottom) are located within the character area. The narrow hedge and tree lined roads with no footway at this point have an enclosed, verdant and informal rural character. The curved Oakhill Road foreshortens the vista and feels more enclosed than the straight length of Kippington Road within the character area. The hedged and treed front gardens line the roads and generally minimise the impact of development. The character of the road is unified by the verdant landscape framework, the informal road setting and the discrete appearance of buildings.

Views



Extensive views of the North Downs complement the verdant character of Kippington Road and help enclose the vista.

Townscape Features



The typical Victorian single storey Beech Lodge of red brick, red tiled roof and half timber detailing sits unobtrusively in the street scene and marks the northern entrance to Kippington Road.

Detractors





Where visible, the introduction of bulky garage buildings to the front of the house towards the front of the building curtilage can change the character of the lanes which are characterised by well screened buildings set well back from the road behind hedged and treed front gardens and generally having a minimal impact on the street scene.





Brick walls and fenced boundaries as illustrated by the Middlings Wood cul de sac (above left) and the high fenced access serving development off Clenches Farm Lane (above right,) add an urban character which is not in keeping with the informal hedge and tree-lined characteristics of other lanes in the area.

Listed Buildings

Street lighting is provided by a series of listed gas lamp standards circa 1890. Cast iron.



Grade 2

Locally Distinctive Positive Features

Narrow and winding tree and hedge lined lanes with no footways or single footways create an informal rural character and a strong sense of enclosure

Large individually designed 2 storey detached houses are well spaced and set back from the road behind hedged and treed front gardens

Buildings are generally well screened by vegetation and narrow entrances and generally have a minimal impact on the street scene

Mature trees form an important part of the character of the area

The character of the roads is unified by the verdant landscape framework and the discrete appearance of buildings

The typical Victorian single storey Beech Lodge at the northern entrance to Kippington Road.

Traditional listed street lamps

Negative Features

Highly visible development prominent in the verdant street scene

Loss of mature hedge boundaries to the back edge of pavement, wide access walled openings or substantial paved areas adversely affect the character of the lanes

Urbanisation of the lanes by fencing or walls

Design Guidance

Some large back gardens have been developed with discrete backland development and further such development may prove acceptable subject to meeting the guidance included in this SPD. There is some potential for further infill development but any such development should meet the guidance included in this SPD

Many properties have been extended in the area and whilst the adaptation of existing buildings is likely to continue, there is a need to ensure that development does not appear cramped on the site or within the street scene by virtue of its scale, mass and location

In addition, there has been pressure for large areas for car parking or garages but in judging such proposals the impact of the building on the character of front boundaries, gardens or the street scene should be carefully assessed.

In judging proposals, the fragile balance in favour of the landscape dominating the built form should be retained.

In proposing new development within the Kippington Road Character Area:

The rural character of the lanes of the character area should be retained

Buildings should be well screened and set back from the front boundary to avoid a significant impact on the rural character of the lanes

The scale, height and mass of new development should fit unobtrusively within its setting and should not appear cramped on the site or out of context with the character of the street

Garages should be of a scale, form, materials and location that fit unobtrusively with the house, surrounding garden and the character of the street

Development should be served by narrow and hedge lined access drives

Mature trees and hedged boundaries which contribute to the character of a road should be retained or reinstated

The character of Beech Lodge should be protected

The listed street lamps should be protected

The views of the North Downs should be protected

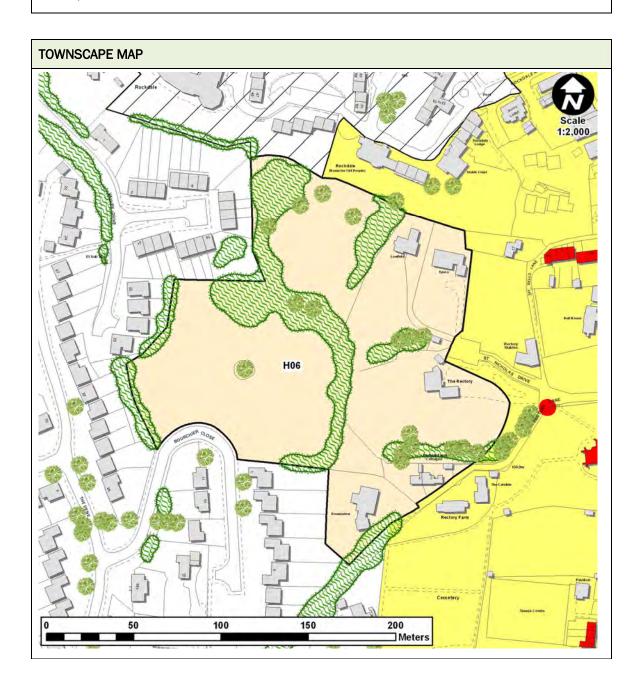
The setting of the adjoining Kippington Conservation Area should be protected or enhanced

H06 RECTORY LANE

Comprising Rectory Lane, St. Nicholas Drive

HISTORICAL CONTEXT

Rectory Lane has historically served the Rectory but not until the early 20th Century has development been introduced into the fields and orchards which surrounded St Nicholas Church.



Locally Distinctive Contextual Features	
Age of buildings	Early 20th Century to present day
Type of buildings	Detached and institutional
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Red brick and roof tiles
Predominant boundary treatments	Hedges and ragstone wall
Open space/ vegetation	Trees surrounding the car park and hedges and trees to the front, side or rear gardens

Area Characteristics

Rectory Lane is a narrow informal lane lined by a ragstone wall and hedge. Within a few hundred metres of the High Street this lane still retains a rural character.

Views of the church tower can be seen from Rectory Lane.







Rectory Lane is part of the Town Centre Conservation Area and the limited number of houses to the north west form part of the setting of the Conservation Area. The red brick semi detached houses are set close to the lane and have seen some modernisation in the form of replacement windows and flat roof garage. Further single detached house is more discretely set back from the lane behind a hedge.



St Nicholas Drive is narrow and lined by a ragstone wall and hedges. Land falls away steeply to the north with detached houses partially concealed by the narrow entrances, the set back from the lane, the topography and the hedged and treed front boundaries. This well treed area forms part of the setting of the High Street Conservation Area.



The large car park is surfaced by grit and screened by hedges, mature planting and a ragstone wall.

The rectory is partially visible on the northern boundary.



The mature landscape belt around the car park is important in enclosing the space, providing a screen for development beyond and as part of the rural western setting to the church.

Locally Distinctive Positive Features

Narrow hedge and ragstone wall lined lanes with no footways create an informal rural character

Detached houses are partially concealed by the set back from St Nicholas Drive, narrow entrances, the topography and the hedged and treed front boundaries

The mature landscape belt around the car park is important in enclosing the space, providing a screen for development and as part of the setting to the church

Views of the church tower from Rectory Lane

Negative Features

Flat roof garage on Rectory Lane

Design Guidance

In recent decades, development has been introduced into the open areas which surrounded the western side of St Nicholas Church. There are some parcels of land within this character area where some sensitive development may prove acceptable but any such development should meet the guidance included in this SPD.

In proposing new development within the Rectory Lane Character Area:

Buildings should be of a scale, form, materials and location that fit unobtrusively within the area and should be well screened and well set back from the front boundary to avoid a significant impact on the rural character of the lanes

Development should be served by narrow and hedge lined access drives

Mature trees and the ragstone and hedged boundaries which contribute to the character of a lane should be retained or reinstated

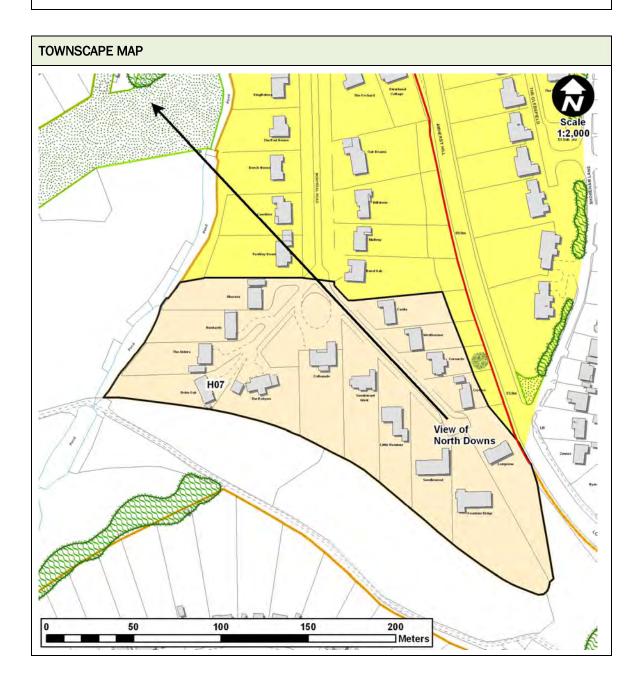
The setting of the adjoining Town Centre Conservation Area should be protected or enhanced

HO7 MONTREAL ROAD

Comprising Montreal Road (part)

HISTORICAL CONTEXT

Montreal Road dates to the 1930s. Various plots at the northern end of the road were bought and developed by Burroughs de Carle Jackson between 1931 and 1937. Development was extended south in the 1960s and gradually, development has been infilled.



Locally Distinctive Contextual Features	
Age of buildings	1930s to 1970s
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Various
Predominant boundary treatments	Tall dense hedges with mature trees
Open space/ vegetation	Trees and planting to front gardens

Area Characteristics









Individually designed detached houses are set back behind hedged and treed front gardens on a stepped building line along Montreal Road. The houses are generally well screened by narrow entrances and hedged boundaries and have a minimal impact on the street scene. The character of the lane is unified not by the buildings themselves, but the verdant landscape framework, the informal road setting and the generally discrete appearance of buildings.





The wish-bone shaped southern portion of Montreal Road is a narrow tree and hedge lined lane with verges and no footways and is less formal than the open and mature tree lined avenue to the north within the Riverhead Conservation Area. Nevertheless, the development respects the character of the conservation area and forms part of its setting. The road surface and landscaped edging creates an informal rural character.

Views



Views of the North Downs are seen above roofs from the south eastern arm of the lane.

Detractors



The introduction of brick walls and substantial areas of hard surfacing changes the informal rural character of the road.

Locally Distinctive Positive Features

Narrow tree and hedge lined lane with no footways create an informal rural character

Large individually designed 2 storey detached houses are set back from the road behind hedged and treed front gardens

Buildings are generally well screened by vegetation and narrow entrances and generally have a minimal impact on the street scene

Mature trees form an important part of the character of the area

The character of the roads is unified by the verdant landscape framework and the discrete appearance of buildings

Views of the North Downs

Negative Features

The introduction of brick walls and substantial areas of hard surfacing adversely affect the character of the lane

Design Guidance

Plots have been infilled over the years leaving little scope for further development.

In addition, there may be pressure for large areas of hard surfacing for car parking or garages but in judging such proposals the impact of the building on the character of front boundaries, gardens or the street scene should be carefully assessed.

In judging proposals, the fragile balance in favour of the landscape dominating the built form should be retained.

In proposing new development within the Montreal Road Character Area:

Buildings should be well screened and set back from the front boundary to avoid a significant impact on the rural character of the road

The scale, height and mass of new development should fit unobtrusively within its setting and should not appear cramped on the site or out of context with the character of the lane

Garages should be of a scale, form, materials and location that fit unobtrusively with the house, surrounding garden and the character of the street

Mature trees and hedged boundaries which contribute to the character of a road should be retained or reinstated

The views of the North Downs should be protected

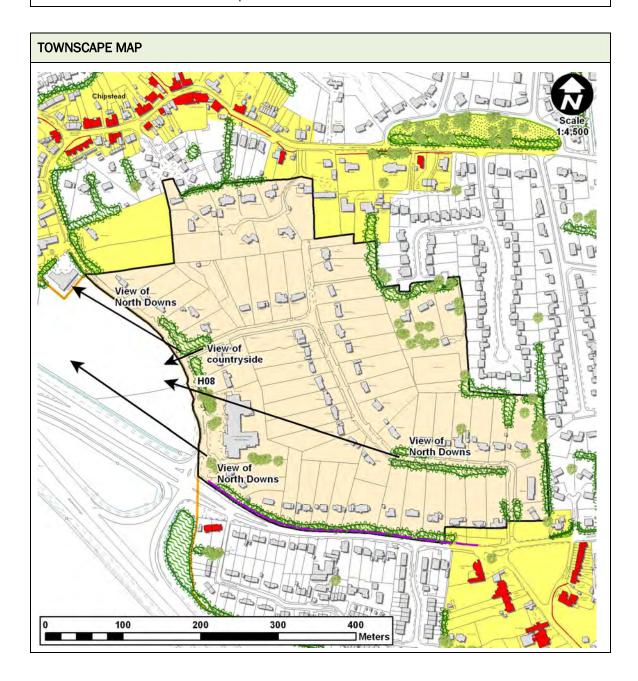
The setting of the adjoining Conservation Area should be protected or enhanced

H08 PACKHORSE ROAD

Comprising Packhorse Road, Westerham Road, The Old Carriageway, The Old Garden and Homedean Road (part)

HISTORICAL CONTEXT

Historically, Packhorse Road was where the packhorses plying the London to Hastings route were kept. Packhorse Road and this section of Westerham Road were laid out in the 1920s but the main development took place in the 1930s and has gradually been infilled to the present day. The houses were built in the former grounds of Chipstead Place whose main entrance was at the junction of Packhorse Road and the A25. Some houses back on to the former Chipstead Place tennis courts which now house Chipstead Tennis Club.



Locally Distinctive Contextual Features	
Age of buildings	1920s to present day
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys with some bungalows
Prominent building materials	Red brick with tile hanging and half timber features
Predominant boundary treatments	Tall dense hedges with mature trees and low ragstone wall along part of Westerham Road.
Open space/ vegetation	Trees and planting to front gardens

Area Characteristics









Individually designed detached houses are set back behind hedged and treed front gardens on a regular building line along Packhorse Road. The houses are generally well screened by narrow entrances and hedged boundaries and have a minimal impact on the street scene. The character of the lane is unified not by the buildings themselves, but the verdant landscape framework, the informal road setting and the generally discrete appearance of buildings.









Packhorse Road is a narrow tree and hedge lined lane with verges and no footways and creates an informal rural character. Landscape corridors mark both entrances to the road (top and bottom left).

Hedges and trees both sides of the road provide a verdant landscape framework which helps unify the character of the road





Individually designed detached houses on Westerham Road are set well back from the road and are accessed from narrow drives ensuring that the properties are unobtrusive behind a landscaped frontage. This part of the character area abuts the Bessels Green Conservation Area.





Many accesses are narrow and landscaped along Westerham Road (above left) providing a strong hedge and tree line to enclose the road and substantially screening houses set well back from the road.

To the north the land rises above the road, buildings are set forward, and landscaping is less prolific (top right) making properties more visible and intrusive in the rural lane. This part of the character area abuts the Chipstead Conservation Area.



Although the footprint of the nursing home is larger than surrounding development, the property is located at the junction of two important roads where increased scale can be justified. The larger footprint is also broken up by the design, stepped building and roof lines and materials and will be screened by landscaping which allows the building to more successfully respond to the character of this part of the road.





Westerham Road provides a strong hedge and tree line to enclose the road and substantially screen houses to the east and north which are set well back from the road. The northern part of the road has no footway and an informal edge complementing its rural character. As the road becomes the A25, footways are present.

Views



Views of the North Downs are seen above roofs to the north west.





There are views north eastwards from Westerham Road across open countryside to the North Downs

Detractors



The introduction of brick walls and substantial areas of hard surfacing changes the informal rural character of the road.





The absence of mature hedging to the back edge of verge, wide openings or substantial hard surfaced areas changes the character of the lanes to a more suburban appearance.

Locally Distinctive Positive Features

Narrow tree and hedge lined roads with no footways create an informal rural character

Large individually designed 2 storey detached houses are generally set back from the road behind hedged and treed front gardens

Buildings are generally well screened by vegetation and narrow entrances and generally have a minimal impact on the street scene

Mature trees form an important part of the character of the area

The character of the roads is unified by the verdant landscape framework and the discrete appearance of buildings

Views of the North Downs

Negative Features

The absence of mature hedging to the back edge of verge and the introduction of brick walls and substantial areas of hard surfacing adversely affect the character of the roads

Traffic noise

Design Guidance

Plots have been infilled over the years leaving little scope for further such development. Some properties have long back gardens and discrete backland development may prove acceptable subject to meeting the guidance in this SPD.

Some properties have been extended in the area and whilst the adaptation of existing buildings is likely to continue, there is a need to ensure that development does not appear cramped on the site or within the street scene by virtue of its scale, mass and location

In addition, the pressure for large areas for car parking or garages may impact on the character of front boundaries and gardens.

In judging proposals, the fragile balance in favour of the landscape dominating the built form should be retained.

In proposing new development within the Packhorse Road Character Area:

Buildings should be well screened and set back from the front boundary to avoid a significant impact on the rural character of the road

The scale, height and mass of new development should fit unobtrusively within its setting and should not appear cramped on the site or out of context with the character of the street

A side extension should not completely infill the space between properties or dominate the original building

Garages should be of a scale, form, materials and location that fit unobtrusively with the house, surrounding garden and the character of the street

Backland development should be served by narrow and hedge lined access drives

Mature trees and hedged boundaries which contribute to the character of a road should be retained or reinstated

The views of the North Downs should be protected

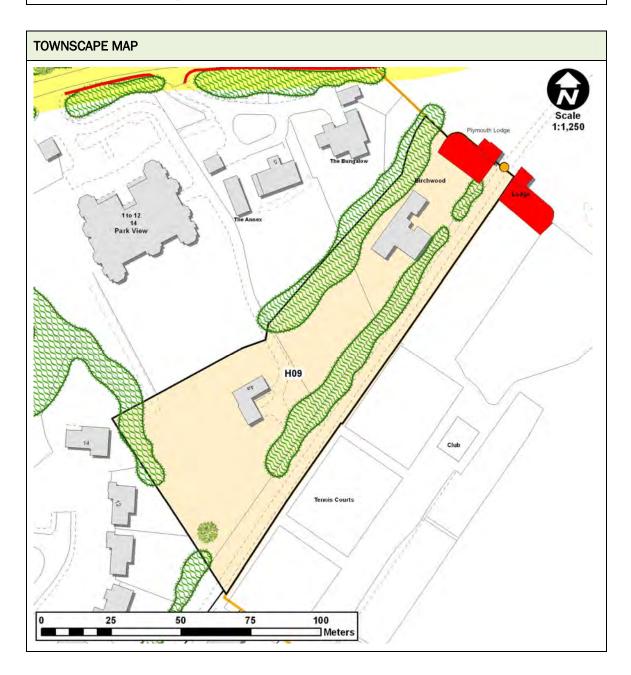
The setting of the adjoining Chipstead Conservation Area should be protected or enhanced

H09 KNOLE ESTATE ROAD

Comprising Knole Estate Road (off Plymouth Drive)

HISTORICAL CONTEXT

The drive is part of the Knole Estate access drive leading to Plymouth Lodge, gateway and screen walls constructed in the early 19th Century. Modern development has been constructed in the past three decades along the drive.



Locally Distinctive Contextual Features	
Age of buildings	1980s to present day
Type of buildings	Detached
Main uses	Residential
Building heights	Three storeys and a bungalow
Prominent building materials	Various
Predominant boundary treatments	Tall dense hedges with mature trees
Open space/ vegetation	Trees and planting to front and rear gardens





The character of the area is of a straight, narrow informal gravelled lane with grass verges and no footways. A hedged and treed boundary adds to the verdant character. Tennis courts front the lane to the south east.

A pair of modern three storey detached houses front the lane and their mass, location and height mean that they dominate the entrance to this character area. The character of the lane is otherwise dominated by hedged and tree boundaries and mature trees within the back gardens of the adjoining character area.

The pair of listed battlement lodges and gates form an important townscape feature which terminate the vista from this lane.

Listed Building

Plymouth Lodge, entrance gateway and screen walls

Pair of early 19th Century battlemented lodges connected in centre by ornamental gates.

Each lodge contains one small square building of one storey and battlement parapet. Built of random stone with ashlar dressings

Grade 2



Locally Distinctive Positive Features

Narrow and straight tree and hedge lined lane with no footways create an informal character Mature trees form an important part of the character of the area

The listed pair of battlement lodges and gates

Negative Features

Highly visible development prominent in the verdant street scene

Design Guidance

A large house has been redeveloped as two large properties and there may be some potential for further infill development but any such development should meet the guidance included in this SPD.

In judging proposals, the fragile balance in favour of the landscape dominating the built form should be retained.

In proposing new development within the Knole Estate Road Character Area:

The informal, verdant character of the lane should be retained

Buildings should be well screened and set back from the front boundary to avoid a significant impact on the character of the lane

The scale, height and mass of new development should fit unobtrusively within its setting and should not appear cramped on the site or out of context with the character of the lane

Mature trees and hedged boundaries which contribute to the character of the lane should be retained

The listed building and its setting should be protected

H10 TONBRIDGE ROAD

Comprising Tonbridge Road

HISTORICAL CONTEXT

Tonbridge Road is an ancient route which has retained its original alignment. Early development appeared along this route in the Victorian period but some redevelopment of the original buildings occurred from the 1970s onwards.



Locally Distinctive Contextual Features	
Age of buildings	Late 19th Century to 1970s
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Various
Predominant boundary treatments	Tall dense hedges with mature trees
Open space/ vegetation	The area is bounded by the historic route of Tonbridge Road which retains some elements of former landscape. The ancient woodland of Sevenoaks Common to the rear.



The tree belt forming the front boundaries of properties on Tonbridge Road provides part of the landscaped southern entrance to Sevenoaks, combining with trees on Tonbridge Road to form a verdant arched canopy.





Large individually designed detached houses are well spaced along Tonbridge Road. The houses are set well back from the road behind hedged, fenced and treed front gardens. Buildings to the south of this area are set above the road. All buildings are well screened and generally have a minimal impact on the street scene. The character of the road is unified not by the buildings themselves, but the verdant landscape framework and the discrete appearance of buildings.

Locally Distinctive Positive Features

Large individually designed mostly 2 storey detached houses are well spaced and set well back from the road behind hedged and treed front gardens

Buildings are generally well screened by vegetation and narrow entrances and generally have a minimal impact on the street scene

Trees on Tonbridge Road create a rural character and a strong sense of enclosure and frame the southern entrance to Sevenoaks

The character of the road is unified by the verdant landscape framework and the discrete appearance of buildings

Negative Features

No significant detractors

Design Guidance

Some Victorian properties were redeveloped in the 1970s but there is little scope for further development.

In judging proposals, the fragile balance in favour of the landscape dominating the built form should be retained.

In proposing new development within the Tonbridge Road Character Area:

Buildings should be well screened and well set back from the front and rear boundary to avoid a significant impact on the rural character of the area

Development should be served by narrow and hedge lined access drives

Mature trees and hedged boundaries which contribute to the character of a lane should be retained or reinstated

H11 SEAL HOLLOW ROAD (NEAR BAYHAM ROAD)

Comprising Seal Hollow Road (near Bayham Road)

HISTORICAL CONTEXT

Houses were introduced next to the former Quarry to the south of the area and within Quarry Wood to the north in the 1960s and 70s.



Locally Distinctive Contextual Features	
Age of buildings	1960s and 70s
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Various
Predominant boundary treatments	Tall dense hedges with mature trees
Open space/ vegetation	Trees and planting throughout the area





The mature trees which line the eastern side of Seal Hollow Road and form the front boundary to properties contain the public space (top left). The landscape also terminates the vista from Bayham Road (top right).

The curved road has two narrow footpaths on either side but is dominated by the verdant landscape framework which creates a rural character.





Individually designed detached houses are set amongst the landscape which dominates the buildings. The land rises to the east but the houses are set down long drives behind hedged and treed front gardens. Buildings are well screened and have a minimal impact on the street scene. The character of the area is unified not by the buildings themselves, but the verdant landscape framework and the discrete appearance of buildings.

Locally Distinctive Positive Features

Curved and landscape-dominated section of road with narrow footways creates an informal rural character and a strong sense of enclosure

Large individually designed 2 storey detached houses are well spaced and set well back from the road behind hedged and treed front gardens

The landscape dominates the buildings which are well screened by vegetation and narrow entrances and have a minimal impact on the road

The character of the road is unified by the verdant landscape framework and the discrete appearance of buildings

Negative Features

No significant detractors

Design Guidance

The limited number of houses in this area has increased gradually over the decades. Some large gardens may have potential for discrete development subject to meeting the guidance of this SPD.

In judging proposals, the fragile balance in favour of the landscape dominating the built form should be retained.

In proposing new development within the Seal Hollow Road Character Area:

Buildings should be well screened and well set back from the front boundary to avoid a significant impact on the rural character of the road

The scale, height and mass of new development should fit unobtrusively within its setting and should not appear cramped on the site or out of context with the character of the road

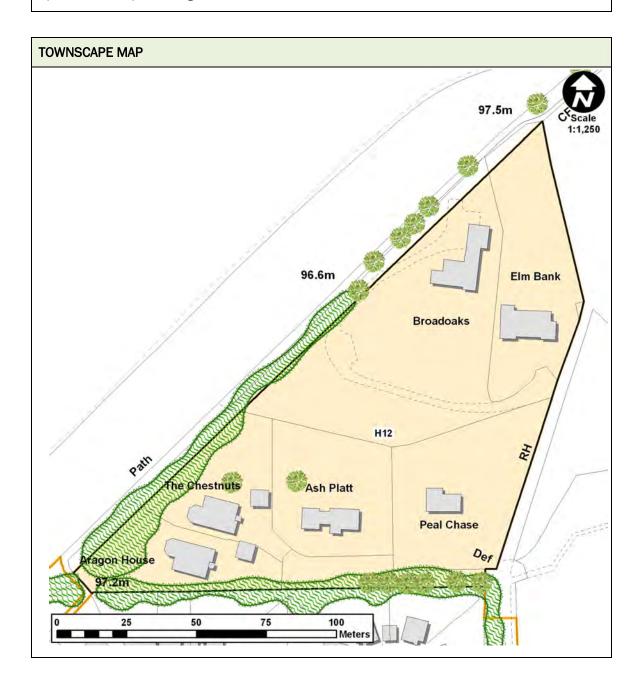
Mature trees and hedged boundaries which contribute to the character of the road should be retained

H12 ASH PLATT ROAD

Comprising Ash Platt Road

HISTORICAL CONTEXT

Sporadic development began in the 1930s but further houses have been added in later decades.



Locally Distinctive Contextual Features	
Age of buildings	Early 1930s to present day
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Various
Predominant boundary treatments	Tall dense hedges with mature trees
Open space/ vegetation	Trees and planting surrounding houses





The northern section of Ash Platt Road is a narrow hedge and tree lined informal lane with no footpaths (top left). Individually designed detached houses are set amongst the landscape which dominates the buildings. The houses are set down long drives behind hedged and treed front gardens. Buildings are well screened and have a minimal impact on the lane. The character of the lane is unified not by the buildings themselves, but the verdant landscape framework and the discrete appearance of buildings.





Locally Distinctive Positive Features

Narrow and curved tree and hedge lined lane creates an informal rural character and a strong sense of enclosure

Large individually designed 2 storey detached houses are well spaced and set well back from the lane within hedged and treed gardens

The landscape dominates the buildings which are well screened by vegetation and narrow entrances and have a minimal impact on the lane

The character of the road is unified by the verdant landscape framework and the discrete appearance of buildings

Negative Features

No significant detractors

Design Guidance

The number of houses in this area has increased gradually over the decades. Some large gardens may have potential for discrete development subject to meeting the guidance of this SPD.

In judging proposals, the fragile balance in favour of the landscape dominating the built form should be retained.

In proposing new development within the Ash Platt Road Character Area:

Buildings should be well screened and well set back from the front boundary to avoid a significant impact on the rural character of the lane

The scale, height and mass of new development should fit unobtrusively within its setting and should not appear cramped on the site or out of context with the character of the lane

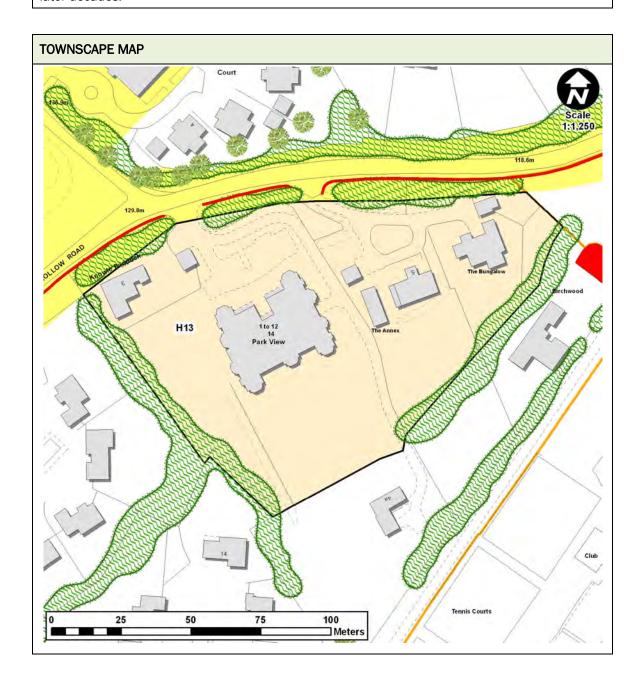
Mature trees and hedged boundaries which contribute to the character of a lane should be retained or reinstated

H13 SEAL HOLLOW ROAD (NEAR PARK LANE)

Comprising Seal Hollow Road (near Park Lane)

HISTORICAL CONTEXT

Houses were first developed in the early 1900s and further limited development has occurred in later decades.



Locally Distinctive Contextual Features	
Age of buildings	Early 1900s to present day
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Various
Predominant boundary treatments	Tall dense hedges with mature trees
Open space/ vegetation	Trees and planting throughout the area





Individually designed detached houses are set amongst the landscape which dominates the buildings. The land rises to the east but the houses are set down long drives behind hedged and treed front gardens. Buildings are well screened and have a minimal impact on the street scene. The character of the area is unified not by the buildings themselves, but the verdant landscape framework and the discrete appearance of buildings.





Seal Hollow Road and the adjoining vegetation are included within the Vine Conservation Area. The mature trees which line the road and form the front boundary to properties contain the public space.

The curved road has a narrow footpath on one side but is dominated by the verdant landscape framework which creates a rural character.

Locally Distinctive Positive Features

Curved and landscape-dominated section of road with narrow footway creates an informal rural character and a strong sense of enclosure

Large individually designed 2 storey detached houses are well spaced and set well back from the road behind hedged and treed front gardens

The landscape dominates the buildings which are well screened by vegetation and narrow entrances and have a minimal impact on the road

The character of the road is unified by the verdant landscape framework and the discrete appearance of buildings

Negative Features

No significant detractors

Design Guidance

The limited number of houses in this area has increased gradually over the decades. Some large gardens may have potential for discrete development subject to meeting the guidance of this SPD.

In judging proposals, the fragile balance in favour of the landscape dominating the built form should be retained.

In proposing new development within the Seal Hollow Road Character Area:

Buildings should be well screened and well set back from the front boundary to avoid a significant impact on the rural character of the road

The scale, height and mass of new development should fit unobtrusively within its setting and should not appear cramped on the site or out of context with the character of the road

Mature trees and hedged boundaries which contribute to the character of the road should be retained

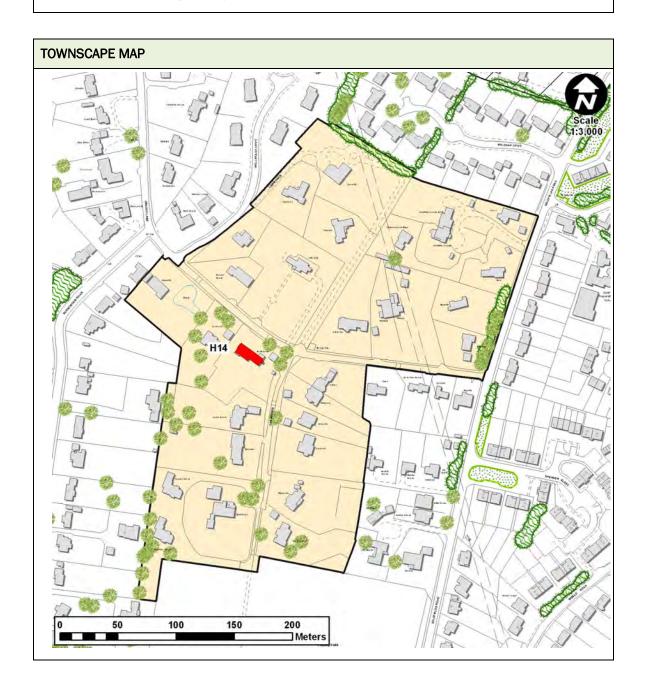
The setting of the Vine Conservation Area should be protected or enhanced

H14 OAK AVENUE AREA

Comprising Oak Avenue, Grassy Lane (part)

HISTORICAL CONTEXT

The area to the north of Grassy Lane and Oak Avenue were initially laid out above the railway line in the 1930s and have gradually been redeveloped and infilled up to the present day.



Locally Distinctive Contextual Features	
Age of buildings	1930s to present day
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Various
Predominant boundary treatments	Tall dense hedges with mature trees
Open space/ vegetation	Trees and planting to front boundaries and within gardens









Individually designed detached houses are set back behind hedged and treed front boundaries along Grassy Lane. The houses are generally well screened by narrow entrances and hedged boundaries and have a minimal impact on the street scene. Hedges and trees abut the lane which has a strong sense of enclosure. The character of the lane is unified not by the buildings themselves, but the verdant landscape framework, the informal road setting and the generally discrete appearance of buildings.

The narrow, hedge and tree lined access drive off Grassy Lane to backland development replicates the informal hedge and tree-lined characteristics of the principal lane with well screened development unobtrusive in the street scene.











Individually designed detached houses are set closer to the lane along Oak Avenue behind hedged and treed front boundaries and are slightly more prominent in the street scene. Nevertheless, the houses are generally well screened by narrow entrances and hedged boundaries and have a minimal impact on the street scene. The character of the lane is unified not by the buildings themselves, but the verdant landscape framework, the informal road setting and the generally discrete appearance of buildings.

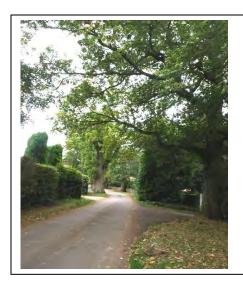




Narrow access drives off Oak Avenue lead to backland development which is not obtrusive in the street scene. The hedge and tree lined access replicates the informal hedge and tree-lined characteristics of the principal lane. If not landscaped, the pillared and walled entrances can form an urban feature in an otherwise rural lane.









Grassy Lane (top) and Oak Avenue (bottom) are narrow tree and hedge lined lanes with verges and no footways and create an informal rural character. The south side of the eastern end of Grassy Lane is enclosed by a ragstone wall which encloses more formally arranged houses and is within a separate character area. Nevertheless, hedges and trees line both sides of the roads for most of their length and provide a verdant landscape framework which helps unify the character of the area.

Townscape Feature

The traditional lamp post in Grassy Lane adds a distinctive feature to Grassy Lane.



Detractors





The introduction of brick walls and substantial areas of hard surfacing changes the informal rural character of the lane.





Where visible, the introduction of bulky garage buildings to the front of the house towards the front of the building curtilage can change the character of the lanes which are characterised by well screened buildings set back from the road behind hedged and treed front gardens and generally having a minimal impact on the street scene. The introduction of brick walls and substantial areas of hard surfacing also changes the informal rural character of the lane.

Listed Building

Northdown, Grassy Lane

House. 1924. Arts and Crafts style. Rendered with some timber framing, brickwork and tile hanging. Hipped roof with three tall chimney stacks. Symmetrical building of two storeys and attics with five windows to front elevation all wooden casements with leaded lights.

Grade 2



Locally Distinctive Positive Features

Narrow tree and hedge lined lanes with no footways create an informal rural character

Large individually designed 2 storey detached houses are generally set back from the road behind hedged and treed front gardens

Buildings are generally well screened by vegetation and narrow entrances and generally have a minimal impact on the street scene

Mature trees form an important part of the character of the area

The character of the roads is unified by the verdant landscape framework and the discrete appearance of buildings

Listed building

Traditional lamp post townscape feature

Negative Features

The introduction of brick walls and substantial areas of hard surfacing adversely affect the character of the lanes

Where visible, the introduction of bulky garage buildings to the front of the house towards the front of the building curtilage can adversely affect the character of the lanes

Design Guidance

Plots have been infilled and redeveloped over the years. Some long back gardens have been developed with discrete backland development. Further such development may prove acceptable subject to meeting the guidance of this SPD.

In addition, there may be pressure for large areas for car parking or garages but in judging such proposals the impact of the building on the character of front boundaries, gardens or the street scene should be carefully assessed.

In judging proposals, the fragile balance in favour of the landscape dominating the built form should be retained.

In proposing new development within the Oak Avenue Area Character Area:

Buildings should be well screened and well set back from the front boundary to avoid a significant impact on the rural character of the lanes

The scale, height and mass of new development should fit unobtrusively within its setting and should not appear cramped on the site or out of context with the character of the street

Garages should be of a scale, form, materials and location that fit unobtrusively with the house, surrounding garden and the street scene

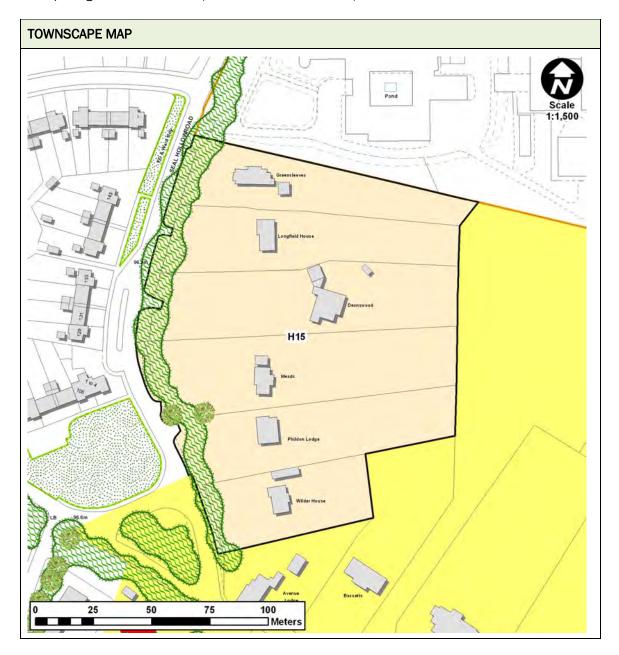
Backland development should be served by narrow and hedge lined access drives

Mature trees and hedged boundaries which contribute to the character of a lane should be retained or reinstated

The listed building and its setting should be protected

H15 SEAL HOLLOW ROAD (NEAR WILDERNESSE AVENUE)

Comprising Seal Hollow Road (near Wildernesse Avenue)



Locally Distinctive Contextual Features	
Age of buildings	1930s - 1960s
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Various
Predominant boundary treatments	Tall dense hedges with mature trees
Open space/ vegetation	Trees and planting throughout the area





The mature trees enclose the eastern side of Seal Hollow Road and form the front boundary to properties. The curved road has no footpath on the eastern side which, with the verdant landscape framework, creates a rural character to this side of the road. This area forms part of the setting of the strongly landscaped Wildernesse Conservation Area.

The western side of the road has a contrasting more urban character.





Individually designed detached houses are set amongst the landscape which dominates the buildings. The houses are set down long narrow drives behind hedged and treed front gardens. Buildings are well screened and have a minimal impact on the street scene. The character of the area is unified not by the buildings themselves, but the verdant landscape framework and the discrete appearance of buildings.

Locally Distinctive Positive Features

Landscape dominated area east of the road which creates an informal rural character

Large individually designed 2 storey detached houses are well spaced and set well back from the road behind hedged and treed front gardens

The landscape dominates the buildings which are well screened by vegetation and narrow entrances and have a minimal impact on the road

The character of the road is unified by the verdant landscape framework and the discrete appearance of buildings

Negative Features

No significant detractors

Design Guidance

The limited number of houses in this area has increased gradually over the decades. Some large gardens may have potential for discrete development subject to meeting the guidance of this SPD.

In judging proposals, the fragile balance in favour of the landscape dominating the built form should be retained.

In proposing new development within the Seal Hollow Road Character Area:

Buildings should be well screened and well set back from the front boundary to avoid a significant impact on the rural character of the road

The scale, height and mass of new development should fit unobtrusively within its setting and should not appear cramped on the site or out of context with the character of the road

Garages should be of a scale, form, materials and location that fit unobtrusively with the house, surrounding garden and the character of the street

Backland development should be served by narrow and hedge lined access drives

Mature trees and hedged boundaries which contribute to the character of the road should be retained

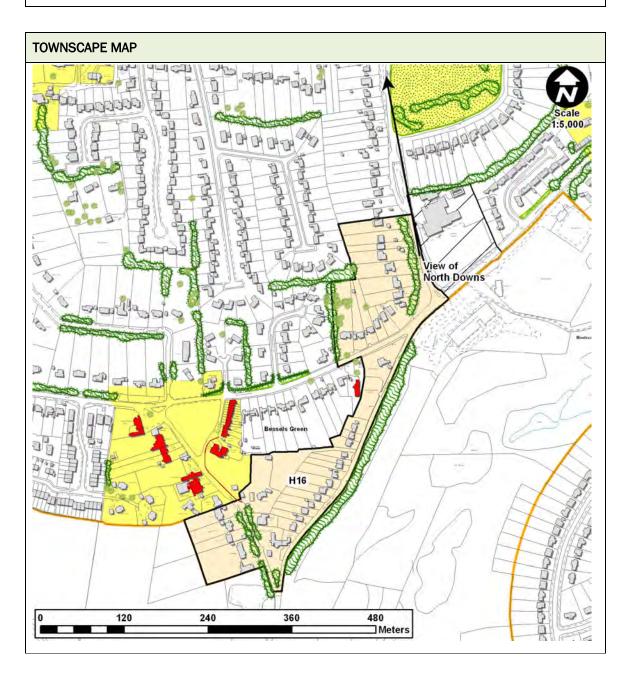
The setting of the Wildernesse Conservation Area should be protected or enhance

H16 COLD ARBOUR ROAD AREA

Comprising Cold Arbour Road, Bessels Green Road, Westerham Road (part), Witches Lane (part)

HISTORICAL CONTEXT

Bessels Green Road is an ancient route leading to Bessels Green. Cold Arbour Road was not constructed until the late 1800s around the Montreal Estate. Development on Cold Arbour Road, Westerham Road and Witches Lane was laid out mainly in the 1930's, whereas the houses south of the Conservation Area on Bessels Green Road were not constructed until the 1970s.



Locally Distinctive Contextual Features	
Age of buildings	1930s to 1970s
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys and bungalows
Prominent building materials	Various
Predominant boundary treatments	Tall dense hedges with mature trees
Open space/ vegetation	Trees, hedging and planting to front gardens





Cold Arbour Road is enclosed by hedges and mature trees, several arching across the road to add to the sense of enclosure. The curve in the road foreshortens vistas and provides additional enclosure. The narrow road, the absence of a footpath and verdant edges create a rural character to most parts of this road.





A central group of properties (above left) are prominent in Cold Arbour Road with red tiled hipped roofs and gable ends facing the road, red/ orange brick or white rendered houses set back from the road on a stepped building line to follow the curve in the road. The houses are not set behind hedged and treed front gardens. Along other parts of the road, buildings are well screened and generally have a minimal impact on the street scene (above right) and the landscape dominates.





The southern section of Witches Road (above left) retains an informal verdant character with properties set well back from the road, behind mature trees and hedges.





Bessels Green Road is enclosed by hedges and mature trees. The narrow road, the absence of a footpath and verdant edges create an enclosed rural character to most parts of this road. The curve in the road foreshortens vistas and provides additional enclosure. Buildings are visible above hedges but the landscape dominates the character of this road and forms an important part of the approach to, and setting of, the Bessels Green Conservation Area.



The treed open space at the corner of Westerham Road and Witches Lane frames the entrance to Witches Lane and helps screen the properties behind. The space has been somewhat urbanised by highway markings and signs.

Boundaries



The wall on the east side of Cold Arbour Road encloses the Montreal Estate and is an historic feature which adds to the character of the lane.

Detractor



The absence of mature hedging to the back edge of pavement, changes the character of the Cold Arbour Road for part of its length.

Locally Distinctive Positive Features

Narrow curved tree and hedge lined lanes with no footways create an informal rural character and a strong sense of enclosure

2 storey detached houses are set back from the road behind hedged and treed front gardens

Buildings are generally well screened by vegetation and narrow entrances and generally have a minimal impact on the street scene

The treed open space at the corner of Westerham Road and Witches Lane

The verdant landscape framework generally dominates the buildings

The historic wall on the east side of Cold Arbour Road

Negative Features

Loss of mature hedge boundaries to the back edge of pavement adversely affects the character of the lanes

Design Guidance

Some properties in the area have long back gardens where some discrete backland development may prove acceptable subject to meeting the guidance in this SPD.

In judging proposals, the fragile balance in favour of the landscape dominating the built form should be retained.

In proposing new development within the Cold Arbour Road Character Area:

The rural character of the lanes should be retained

Buildings should be well screened and set back from the front boundary to avoid a significant impact on the rural character of the lanes

The scale, height and mass of new development should fit unobtrusively within its setting and should not appear cramped on the site or out of context with the character of the street

Garages should be of a scale, form, materials and location that fit unobtrusively with the house, surrounding garden and the character of the street

Development should be served by narrow and hedge lined access drives

Mature trees and hedged boundaries which contribute to the character of a lane should be retained or reinstated

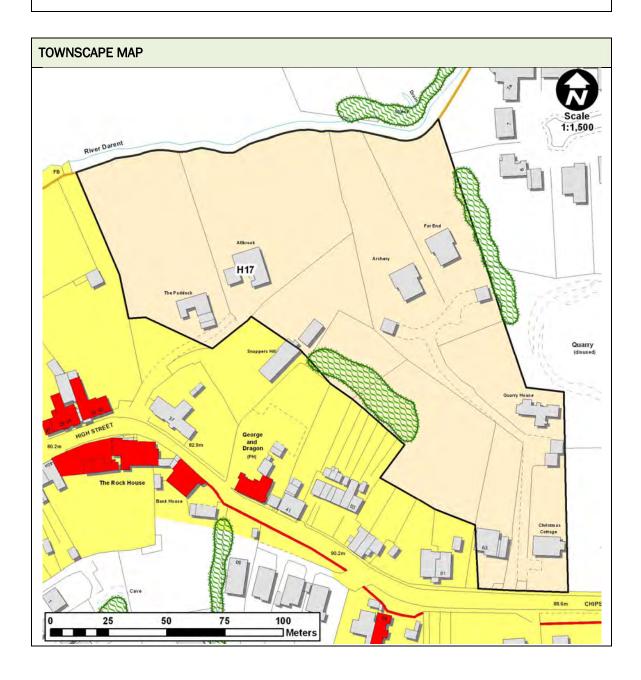
The setting of the adjoining Conservation Area should be protected or enhanced

H17 OFF CHIPSTEAD LANE

Comprising Chipstead Lane (part)

HISTORICAL CONTEXT

Quarry House and an access drive were built in the 1960s and other frontage and backland development was developed in the subsequent decades.



Locally Distinctive Contextual Features	
Age of buildings	1960s to present day
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Red/brow or yellow brick, red tile hanging and white render
Predominant boundary treatments	Open plan or low walls
Open space/ vegetation	Trees within the garden areas









The short section of Chipstead Lane lies next to the Chipstead Conservation Area and the houses in landscaped gardens to the north west form part of the setting of the Conservation Area. The area comprises two properties fronting Chipstead Lane (above left) and a limited number of detached houses informally arranged along a narrow access road with no footpaths. Walls and fences urbanise the informal character. Only Quarry House is visible from Chipstead Lane (above). Clusters of mature trees add to the informal character of the area.

Locally Distinctive Positive Features

Narrow hedge and tree lined lane with no footways creates an informal rural character

Detached houses are mostly concealed from Chipstead Lane

Mature landscape

Negative Features

Walls and fences lining the access

Design Guidance

In recent decades, limited discrete backland development has been introduced into the open areas north of Chipstead Lane and whilst the area is not likely to change significantly in the future, further such development or redevelopment may prove acceptable subject to meeting the guidance included in this SPD.

In judging proposals, the fragile balance in favour of the landscape dominating the built form should be retained.

In proposing new development within the Chipstead Lane Character Area:

The scale, height and mass of new development should fit unobtrusively within its setting and should not appear cramped on the site or out of context with the character of the street

Mature trees which contribute to the character of the area should be retained

The setting of the adjoining Chipstead Conservation Area should be protected or enhanced

I OPEN PLAN CHARACTER AREAS

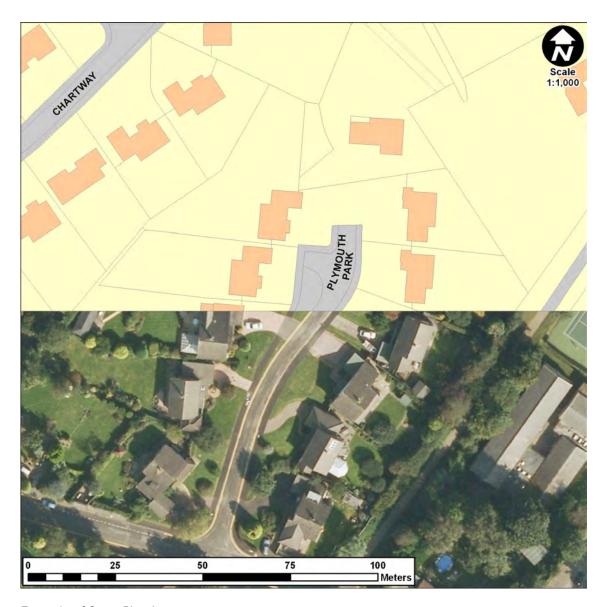


The housing developments comprise mainly detached or semi-detached two storey properties with integral or attached garages evenly spaced along curved roads and cul-de-sacs of uniform widths. The developments were designed principally to make easy access by car.

The distinctive feature of these areas is the open plan character with the houses generally set behind open lawns and driveways which are not enclosed. There are few areas of public open space, community facilities or other uses.

The buildings are constructed in red/brown or buff coloured brick and are generally decorated with hung tiles. Wide white painted casement windows with a distinctive horizontal emphasis are a general characteristic. Windows and doors appear to be randomly distributed within elevations without aligning vertically or horizontally with each other. Significant openings make the buildings appear less robust. Properties characteristically have a shallow roof pitch with brown concrete roof tiles and no chimneys. Many properties have porches and single storey bay or bow windows. In some developments, the properties are of uniform design, whilst others are more varied. The buildings show few local references in terms of materials or design and there are no local landmarks. Landscaping features such as trees or shrubs provide some reference points.

These character areas are generally quiet and well-maintained with a peaceful residential ambience. They are generally set back from major roads with little through or fast moving traffic and ample off-street parking.



Example of Open Plan Layout

IO1 - NURSERY PLACE

Comprising Nursery Place and The Old Garden

HISTORICAL CONTEXT

These cul-de-sac developments were constructed in the 1970s on the former estate land of Chipstead Park. The Old Garden and Nursery Place were built on the Chipstead Place Nursery and sand pits. Previously this section of Chipstead Lane was a private drive through the estate with no public access.



Locally Distinctive Contextual Features	
Age of buildings	Early 1970s
Type of buildings	Detached
Main uses	Residential
Building heights	One and two storeys
Prominent building materials	Buff and brown brick, brown roof tiles, concrete hung tiles, dark timber, white painted render
Predominant boundary treatments	Open plan
Open space/ vegetation	Open grassed frontages, some partially enclosed by dwarf walls. Trees to the north and west.





The Old Garden and the entrance to Nursery Place represent the first phase of development. The two storey houses and chalet bungalows are regularly spaced on an uneven building line behind landscaped front gardens some partially enclosed by dwarf walls. Garden trees enhance the character. There are some repeated designs, but the rooflines and building designs are very varied. Some of the buff or brown brick properties have hipped roofs, some wide asymmetric gables facing the road whilst on others the roof slopes down to the first storey at the front. Wide dormers further complicate the roofline. The buildings have been extended and adapted which has further increased the variety of designs and materials. The view is enclosed to the north and the south by a dense belt of trees which enhances the character of the street. The trees to the north are within the Chipstead Conservation Area.

A wall enclosing the south side of the street provides a link with the old walled gardens of Chipstead Place.





Nursery Place is a later phase of development. The houses are more uniform in style with shallow brown gabled roofs, brown brick elevations and extensive glazing with distinctive stair windows. The gardens are unenclosed and the set back is greater than in The Old Garden. The view is closed to the south by tall trees and garden trees also contribute to the green character. The street has a more consistent character.

Locally Distinctive Positive Features

Tree belts close the views to the north and south and contribute to the green character. The houses are set back behind landscaped unenclosed or partially enclosed front gardens with trees which enhance the open, green character.

Wall in The Old Garden

Quiet residential character

Negative Features

No significant detractors but these developments generally lack visual unity or local references in terms of materials or design and are generally lacking in landmarks and reference points

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be opportunities to enhance the area either through retrofitting some buildings not built to current energy efficiency standards (for example with new cladding, solar panels and added insulation) or through the creation of individual buildings of interest or additional landscape features. There may be merit in using such improvements to uplift indistinctive, standardised architecture and add a new distinctiveness to an area. Landmark buildings can lift a design from the ordinary and may be justified on the basis of a sound urban design appraisal of their context and a perceived environmental uplift to the quality of the area. Any landmark building would need to be consistent with the scale and character of the surrounding residential area.

In proposing new development within the Nursery Place Character Area:

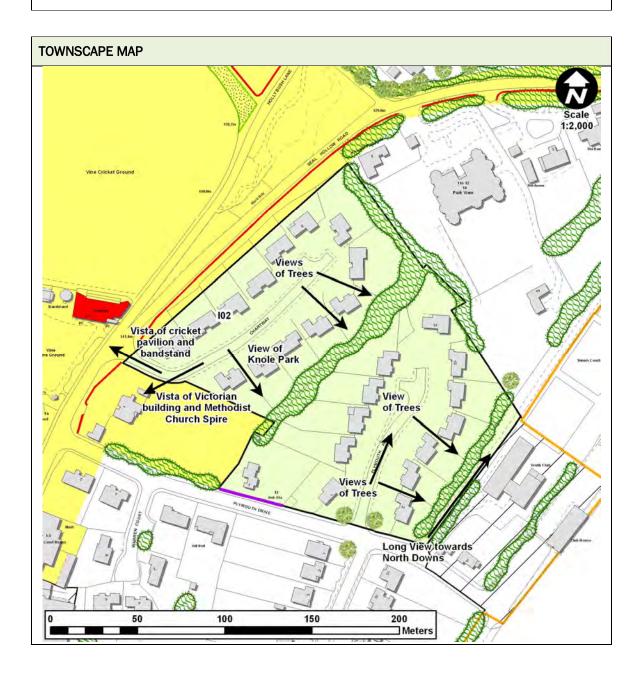
Individual buildings should be of a high standard of intrinsic design quality Mature trees which contribute to the character of the area should be retained The setting of Chipstead Conservation Area should be protected or enhanced

102 - PLYMOUTH PARK

Comprising Plymouth Park and Chartway

HISTORICAL CONTEXT

These two cul-de sacs were constructed in the early 1970s. Plymouth Park occupies previously open land adjoining a historic access to Knole Park. Chartway occupies the site of a late Victorian house of the same name.



Locally Distinctive Contextual Features	
Age of buildings	1970s
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Red, brown and buff brick, brown concrete roof tiles, white weatherboard effect and stone cladding
Predominant boundary treatments	Open plan
Open space/ vegetation	Deep front lawns planted with some trees and shrubs. Tree belts form backdrop to the buildings.





The houses are on relatively wide plots, set back from the road behind deep unenclosed lawns with some trees and shrubs. Spaces between the houses allow glimpses through of trees and occasionally longer views over Knole Park. Tree belts form a backdrop to the houses contributing to the inward-looking, quiet residential character. There is no through traffic and the absence of on-street parking further contributes to the open character of the streets.





The houses in Plymouth Park and Chartway are of a variety of interspersed repeated designs which have been sympathetically modified through time. They are constructed of red, brown and yellow brick with some hung tiles, weatherboard effect and stone cladding on the elevations. The roofs are relatively shallow pitch with plain brown concrete tiles and small chimneys. A number of properties have wide front facing gables, some of which are asymmetric, the roofline sweeping down to the first storey. Many have flat roofed porches and attached garages.



In Chartway there are views into The Vine Conservation Area of the adjoining late Victorian house, the Methodist Church Spire and of the Bandstand and Pavilion of the historic Vine Cricket Ground and help orientate the area with the rest of the town. There are also long views to the south east over the recreation ground and Knole Park. There is a view of the North Downs from the access to Knole Park east of Plymouth Park.

The entrance is enclosed by plain board fences.



To the Southeast of Plymouth Drive there is a historic driveway to Knole Park, enclosed by trees on both sides with a long view towards the North Downs.

Locally Distinctive Positive Features

Open, spacious character created by unenclosed frontages, set back of buildings, relatively wide plots, spacing between houses and the sloping topography

Tree belts visible above and between the houses forming a backdrop to the development and contributing to the leafy character

Views of the conservation area from Chartway and some longer views over the Recreation Ground and Knole Park. View towards North Downs from Knole Park access.

Stone wall in Plymouth Drive

Quiet, residential character

Negative Features

Some poor surfacing in Chartway

These developments generally lack visual unity or local references in terms of materials or design and are generally lacking in landmarks and reference points

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time. There may be opportunities to enhance the area either through retrofitting some buildings not built to current energy efficiency standards (for example with new cladding, solar panels and added insulation) or through the creation of individual buildings of interest or additional landscape features. There may be merit in using such improvements to uplift indistinctive, standardised architecture and add a new distinctiveness to an area. Landmark buildings can lift a design from the ordinary and may be justified on the basis of a sound urban design appraisal of their context and a perceived environmental uplift to the quality of the area.

In proposing new development within the Plymouth Park Character Area:

Individual buildings should be of a high standard of intrinsic design quality

Mature trees which contribute to the character of the area should be retained

Views of the recreation ground, Knole Park and the North Downs should be protected

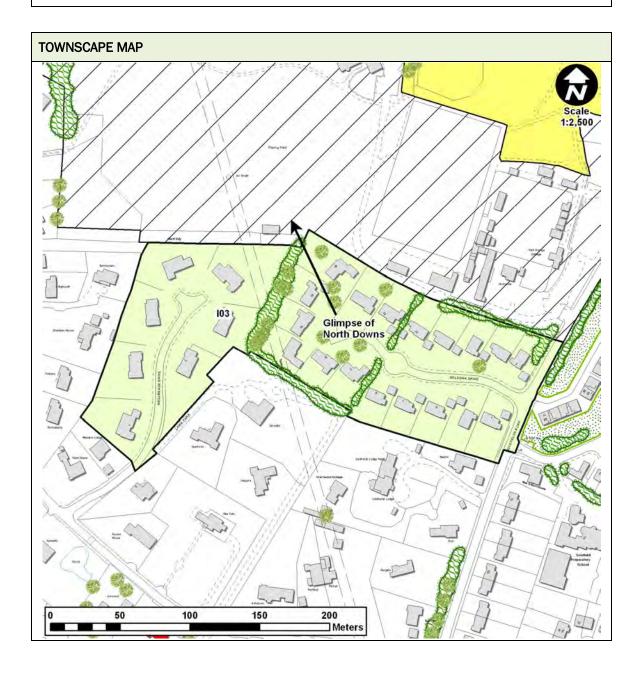
The setting of The Vine Conservation Area should be protected or enhanced

103 - SOLEOAK DRIVE

Comprising Soleoak Drive and Wellmeade Drive

HISTORICAL CONTEXT

Soleoak Drive was built post 1990 on the site of two 1930s houses. Wellmeade was constructed in the early 1970s on a wedge of open land.



Locally Distinctive Contextual Features	
Age of buildings	1970s +
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Brown/orange and brown brick, red hung tiles, brown plain roof tiles, white weatherboard
Predominant boundary treatments	Open plan
Open space/ vegetation	Deep front lawns planted with some trees and shrubs. Tree belts form backdrop to the buildings.





The detached houses in Soleoak Drive (above left and right) are set back from the road on relatively wide plots behind unenclosed lawns with large, mature trees and shrubs. The houses are individually designed of orange brown brick with brown plain tiled hipped and half hipped roofs, many with hung tiles on upper stories and some painted render. Half timber provides a contrast. The windows have white frames. The street has a spacious, character enhanced by the elevated position and glimpses between the houses of trees and longer views to the north.



The western section of Soleoak Drive is visually separated from the eastern section by a hedge marking the former boundary between the two gardens on which the development is sited. The access road is paved beyond this point and the houses are clustered around the access enclosing the view with glimpses between and over the houses of trees and the North Downs. A prominent tree is a particular feature. A variety of designs and materials are used.





Wellmeade Drive (above left and right) is an older development accessed via a curving, dipping road which, together with the tree belt to the south east, contributes to the inward looking, private character. The low, wide 1970s houses have brown tiled roofs with sections sweeping forward to ground floor level. Several properties have distinctive tapering chimney stacks and single storey forward projections. They are set in wide plots behind grassed landscaped frontages. Mature trees enclose the development.

Locally Distinctive Positive Features

Open, spacious character created by unenclosed frontages, set back of buildings, relatively wide plots, spacing between houses and, in Soleoak Drive, the sloping topography and glimpses of long views

Tree belts visible above and between the houses forming a backdrop to the development and contributing to the leafy character. Tall, mature trees within the developments are a key feature

Quiet, residential character

Negative Features

No significant detractors but these developments generally lack visual unity or local references in terms of materials or design and are generally lacking in landmarks and reference points

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time. There may be opportunities to enhance the area either through retrofitting some buildings not built to current energy efficiency standards (for example with new cladding, solar panels and added insulation) or through the creation of individual buildings of interest or additional landscape features. There may be merit in using such improvements to uplift indistinctive, standardised architecture and add a new distinctiveness to an area. Landmark buildings can lift a design from the ordinary and may be justified on the basis of a sound urban design appraisal of their context and a perceived environmental uplift to the quality of the area.

In proposing new development within the Soleoak Drive Character Area:

Individual buildings should be of a high standard of intrinsic design quality

Mature trees which contribute to the character of the area should be retained

104 - HIGHLANDS PARK

Comprising Highlands Park

HISTORICAL CONTEXT

Highlands Park was constructed post 1980 on former farmland.



Locally Distinctive Contextual Features	
Age of buildings	1980s+
Type of buildings	Detached and attached.
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Buff or red/orange brick, hung tiles and weatherboard effect.
Predominant boundary treatments	Open plan
Open space/ vegetation	Grassed treed open spaces within the development. Tree belts to the north and east.



The houses are set behind deep open plan front gardens and arranged around grassed open spaces with mature trees. The houses are partly obscured by the topography and trees creating a verdant and spacious character. The land rises towards the west and there are views of trees and Seal church to the east assisting legibility in the area. Trees are visible between the houses northwards.



The elevations are buff or orange/red brick with hung tiles or white weatherboard effect on the upper storeys. The shallow gabled roofs are of brown tiles. The properties have white framed neo-Georgian style windows and wide monopitch tiled porch canopies supported on white pillars. The garages are detached or integral.

The common design themes and materials give the development a cohesive character.

Locally Distinctive Positive Features

Consistent designs, materials and building heights contribute to coherent character.

Quiet residential character with no through traffic

Deep open plan front gardens, grassed open space, mature trees and tree belts to the north and east contribute to the spacious, verdant character

View eastwards of trees and Seal church

Negative Features

Poor surfacing

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time. There may be pressure for extensions to properties.

In proposing new development within the Highlands Park Character Area:

The common design themes and materials should be respected

Mature trees and open spaces which contribute to the character of the area should be retained

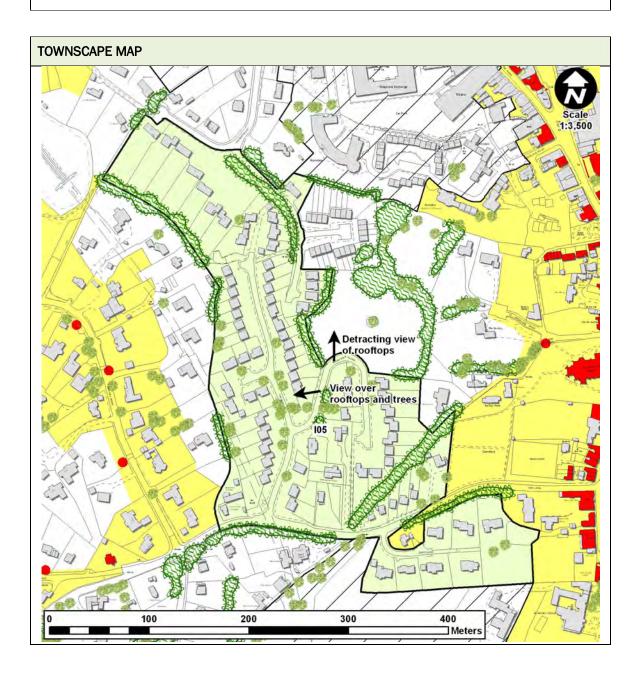
The view of Seal Church should be protected

105 - THE DENE AREA

Comprising The Dene, Bourchier Close, Crownfields, Valley Drive and Oak Lane (part)

HISTORICAL CONTEXT

Crownfields and Valley Drive were completed by the early 1970s. The Dene was developed post 1990 on former waterworks land. Thomas Bourchier was Archbishop of Canterbury and lived at Knole House in the 15th Century.



Locally Distinctive Contextual Features	
Age of buildings	Early 1970s to 1990s
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Brown, buff and red/brown brick, white weatherboard, white cornices and brown roof tiles.
Predominant boundary treatments	Open plan
Open space/ vegetation	Open grassed frontages. Trees belts to rear of houses. Individual trees and hedges within the developments.





The setting of the area is undulating and verdant. The Dene dips and curves with grassed frontages on either side planted with trees. Tree belts frame the development and are visible between and over the houses.





Bourchier Close is physically separated from The Dene by a curving access road which rises up the hillside. It is enclosed by hedges and panel fences with views westwards of trees and rooftops.





The two storey detached houses are of a variety of interspersed repeated designs in a Neo-classical style many with 12 light sash symmetrical windows, central doorways, pedimented porches supported on white pillars and decorative cornices on the garages (above right). The properties have relatively shallow brown tiled gabled roofs. Some have white weatherboard. Shutters on the first floor central window are a repeated feature. Five properties are situated to the south of the entrance to The Dene with bay windows and forward projecting garages and are set on a staggered building line (above left).



In the vicinity of Bourchier Close there has been some more recent construction which creates more variety in the townscape.



In Crownfields the detached houses are situated on wide plots on an uneven building line behind deep grassed open plan frontages with trees (see left). The end of the cul-de-sac is enclosed by trees and a tree belt forms a backdrop to the development, visible over and between the houses. Further trees enclose the entrance to Valley Drive. This part of the character area has a green, open residential character.

Townscape Feature



The small tower west of the entrance to The Dene is a reference to the former water works and forms an interesting historic townscape feature.



At the southern end of Valley Drive, properties of uniform design with striking black wooden first floor projections form an interesting contrast.



At the northern end of The Dene there is a small clustered development of two storey brick houses (some rendered) with hipped or half hipped roofs some with forward facing gables which nestles on the lowest land forming a discrete unified enclave.

Locally Distinctive Positive Features

Houses set back from the road behind open frontages.

Each street has a vaied character through house designs, plot widths and the impact of topography and layout

Tree belts visible above and between the houses form a backdrop to the development creating a verdant setting. This is enhanced by the grassed open frontages and mature trees and hedges within the development.

The topography creates changing vistas and a few longer views over rooftops from the more elevated parts. Buildings nestle in the landscape.

The small tower west of the entrance to The Dene

Quiet, residential character

Negative Features

No significant detractors

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time. There may be opportunities to enhance the area either through retrofitting some buildings not built to current energy efficiency standards (for example with new cladding, solar panels and added insulation) or through the creation of individual buildings of interest or additional landscape features. There may be merit in using such improvements to uplift indistinctive, standardised architecture and add a new distinctiveness to an area. Landmark buildings can lift a design from the ordinary and may be justified on the basis of a sound urban design appraisal of their context and a perceived environmental uplift to the quality of the area.

In proposing new development within the Dene Area Character Area:

Individual buildings should be of a high standard of intrinsic design quality

Mature trees which contribute to the character of the area should be retained

The character of the small tower west of the entrance to The Dene should be retained

106 - FILMER LANE

Comprising Filmer Lane (part)

HISTORICAL CONTEXT

Filmer Lane was constructed in the early 1970s on previously open land.



Locally Distinctive Contextual Features	
Age of buildings	1970s
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Brown and buff brick, pastel painted render, plain brown roof tiles and hung tiles, weatherboard effect.
Predominant boundary treatments	Open plan
Open space/ vegetation	Open plan grassed front gardens, some with hedges to the side. Tree belt to the north.



The houses are set back behind unenclosed landscaped gardens some separated by hedges. There are glimpses over and between the houses of trees and the tree belt to the north is a particular feature. From the northern end of the street there are views south over tree tops. Some surfacing is in poor condition.



The elevations are buff or brown brick with pastel painted render on some properties and red/orange or brown hung tiles or white weatherboard effect on the upper storeys. The houses have brown plain tiled pitched roofs with small chimney stacks on the ridge. Many properties have front porch extensions with pitched roofs and wide monopitch canopies.

Locally Distinctive Positive Features

Variations in design and finishes add interest to the street scene

Tree belt to the north and view of trees to the south. Glimpses of trees between and over the houses

Quiet residential character with no through traffic

Negative Features

Some poor surfacing. These developments lack visual interest or local references in terms of materials or design. They tend to be single use (residential estates) with uniform road layouts and generally lacking in landmarks and reference points.

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time. There may be opportunities to enhance the area either through retrofitting some buildings not built to current energy efficiency standards (for example with new cladding, solar panels and added insulation) or through the creation of individual buildings of interest or additional landscape features. There may be merit in using such improvements to uplift indistinctive, standardised architecture and add a new distinctiveness to an area. Landmark buildings can lift a design from the ordinary and may be justified on the basis of a sound urban design appraisal of their context and a perceived environmental uplift to the quality of the area.

In proposing new development within the Filmer Lane Character Area:

Individual buildings should be of a high standard of intrinsic design quality

Mature trees which contribute to the character of the area should be retained

107 - QUAKER CLOSE

Comprising Quaker Close

HISTORICAL CONTEXT

This cul-de-sac was built in the early 1970s on the site of a former quarry within the grounds of the listed early 20th Century Seal Hollow House.



Locally Distinctive Contextual Features	
Age of buildings	Early 1970s
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Buff brick, concrete green or brown hung tiles and brown roof tiles.
Predominant boundary treatments	Open plan
Open space/ vegetation	Open grassed frontages. Trees to the east and west.





The houses are set back behind landscaped open front gardens with the exception of the older listed Seal Hollow House, which is a townscape feature, which is set behind a white painted picket fence. Tall trees frame the development to the west and east. There is a vista of the listed buildings to the north.

The buff brick houses have green or brown tile hung sections on the upper storeys and gabled brown tiled roofs with small chimneys. They have flat roofed porch canopies extending across the front of the building and flat roofed attached garages. Alterations and extensions have been undertaken.

Listed Buildings

Seal Hollow House, Quaker Close

Two storey 1908 house of white roughcast with tile roof, gables to front (one timber framed) and rear, porch and mullioned windows.

Grade 2



Locally Distinctive Positive Features

Tree belts visible above and between the houses forming a backdrop to the development and contributing to the green character

Listed Seal Hollow House is a townscape feature

Vista of listed buildings

Quiet residential character

Negative Features

No significant detractors but these developments generally lack visual unity or local references in terms of materials or design and are generally lacking in landmarks and reference points

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time. There may be opportunities to enhance the area either through retrofitting some buildings not built to current energy efficiency standards (for example with new cladding, solar panels and added insulation) or through the creation of individual buildings of interest or additional landscape features. There may be merit in using such improvements to uplift indistinctive, standardised architecture and add a new distinctiveness to an area. Landmark buildings can lift a design from the ordinary and may be justified on the basis of a sound urban design appraisal of their context and a perceived environmental uplift to the quality of the area.

In proposing new development within the Quaker Close Character Area:

Individual buildings should be of a high standard of intrinsic design quality

Mature trees which contribute to the character of the area should be retained

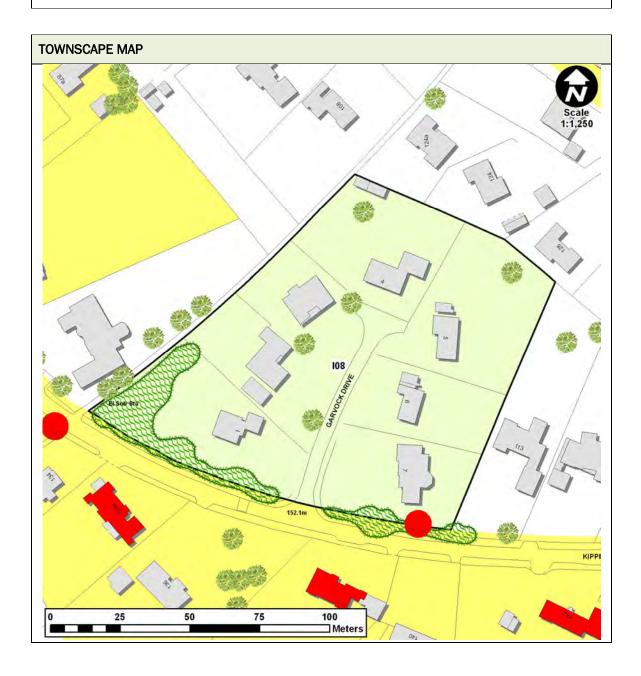
The listed building and its setting should be protected

108 - GARVOCK DRIVE

Comprising Garvock Drive

HISTORICAL CONTEXT

An early 1970s development on the site of a late Victorian house named Garvock, situated within Kippington Park. Garvock Drive comes off Kippington Road, a private road which follows the line of the original drive to Kippington House.



Locally Distinctive Contextual Features	
Age of buildings	Early 1970s +
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Brown brick, brown roof tiles, white framed windows.
Predominant boundary treatments	Open plan except at northern end
Open space/ vegetation	Landscaped frontages, trees within gardens, some hedges. Tree belts frame the development.



Garvock Drive has an informal character with the houses widely spaced and set back from the road behind open grassed frontages with trees and shrubs. The houses at the north end are partially enclosed by hedges.







The one-two storey houses form an eclectic group in a variety of styles and materials with the only unifying elements being their relatively low height, wide spacing and set back behind landscaped frontages. They have been extended and modified over time.



The extensive front garden of number 7 is enclosed by post and rail fencing and hedge creating an enclosed frontage onto Kippington Road which is in keeping with the character of that road. A hedge and tall trees face onto Kippington Road to the west of the entrance partially screening Garvock Drive and helping to preserve the parkland setting of Kippington Conservation Area.

Tall trees to the rear of the houses and within gardens enhance the character of the area.

Locally Distinctive Positive Features

Private, residential character

Trees visible above and between the houses form a backdrop to the development and contribute to the green character. Landscaped front gardens and mature trees enhance the development.

Hedges, trees and post and rail fence partially screen the development and help to preserve the setting of the Kippington Conservation Area and the character of Kippington Road.

Negative Features

Poor surfacing.

These developments generally lack visual unity or local references in terms of materials or design and are generally lacking in landmarks and reference points

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time. There may be opportunities to enhance the area either through retrofitting some buildings not built to current energy efficiency standards (for example with new cladding, solar panels and added insulation) or through the creation of individual buildings of interest or additional landscape features. There may be merit in using such improvements to uplift indistinctive, standardised architecture and add a new distinctiveness to an area. Landmark buildings can lift a design from the ordinary and may be justified on the basis of a sound urban design appraisal of their context and a perceived environmental uplift to the quality of the area.

In proposing new development within the Garvock Drive Character Area:

Individual buildings should be of a high standard of intrinsic design quality

Mature hedges and trees which contribute to the character of the area should be retained

The setting of Kippington Conservation Area should be protected or enhanced

109 - BEACONFIELDS

Comprising Beaconfields and Beacon Rise

HISTORICAL CONTEXT

Constructed on the site of two Edwardian houses and a hotel around 1970.



Locally Distinctive Contextual Features	
Age of buildings	Late 1960s - early 1970s
Type of buildings	Detached
Main uses	Residential
Building heights	One - two storeys
Prominent building materials	Red/brown and brown brick, cream painted render, hung tiles, stone cladding and brown tiled roofs.
Predominant boundary treatments	Open plan
Open space/ vegetation	Landscaped frontages, trees within gardens, some hedges. Tree belts frame the development.





The houses are set back from the road on an uneven building line behind deep unenclosed or partially enclosed front gardens. Clipped hedges follow the curves of the road and landscaped gardens and mature trees contribute to the verdant character. Tree belts enclose the views on all sides. The curving streets and undulating topography create changing vistas.





The two storey detached houses have buff or red/brown brick elevations with hung tiles, painted render or stone cladding, relatively shallow pitch brown tiled roofs, many with shallow forward facing gables and narrow chimney stacks to the side and attached flat roof double garages. The properties have flat or pitched roof porches and wide white framed windows. The properties have been sympathetically altered and extended introducing more variety to the designs but the openness of the layout has been retained.





There has been some more recent infill development on the east side of the area including a two storey house and bungalows. Although the materials and design differ from the earlier houses, they blend into the townscape retaining the low scale and open character.

Locally Distinctive Positive Features

Tree belts visible above and between the houses form a backdrop to the development and contribute to the green character. Clipped hedges, which emphasise the sweeping curves, mature trees and planting enhance the development. Vegetation and topography create changing vistas.

Residential character

Negative Features

Some poor surfacing

Traffic noise from the A21

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time. There may be opportunities to enhance the area either through retrofitting some buildings not built to current energy efficiency standards (for example with new cladding, solar panels and added insulation) or through the creation of individual buildings of interest or additional landscape features. There may be merit in using such improvements to uplift indistinctive, standardised architecture and add a new distinctiveness to an area. Landmark buildings can lift a design from the ordinary and may be justified on the basis of a sound urban design appraisal of their context and a perceived environmental uplift to the quality of the area.

In proposing new development within the Beaconsfields Character Area:

Individual buildings should be of a high standard of intrinsic design quality

Mature trees and hedges which contribute to the character of the area should be retained.

I10 - WHITEFRIARS

Comprising Whitefriars

HISTORICAL CONTEXT

A post 1990 backland development off Hopgarden Lane on former garden land.



Locally Distinctive Contextual Features	
Age of buildings	Post 1990
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Variety of brown, red/brown and red brick, brown or orange plain roof tiles, hung tiles.
Predominant boundary treatments	Open plan
Open space/ vegetation	Landscaped frontages, trees within gardens, some hedges. Tree belts frame the development.





The character of the area is enhanced by the landscaping. The development is set back from Hopgarden Lane along a curved access road (above right). Tree lined verges and brick and wood panel garden boundaries enclose the road. This verdant entrance enhances the area contributing to the private residential character and maintains the character of Hopgarden Lane.

The houses are set back at angles to the road or facing onto shared accesses behind unenclosed or partially enclosed front gardens, some with low brick walls. The landscaped gardens and mature trees contribute to the verdant character. Tree belts enclose the views to the north and partially screen the development to the south west. To the east there is a longer view over trees and rooftops. The curving street, vegetation and sloping topography create changing vistas.





The two storey detached houses are individually designed incorporating a range of materials including brown, buff and red bricks, red or brown plain roof tiles, white painted or dark wood window frames, and decorative finishes including half timber, hung tiles, stone facing, contrast and herringbone brickwork. One property has neo-classical styling with white pillars supporting the porch and a flat roof side extension. The unifying features are the height and scale of the properties and the spacious open plan plots.

Locally Distinctive Positive Features

The curved landscaped access road enhances the private residential character of the development and maintains the character of Hopgarden Lane.

Individually designed properties

Tree belts visible above and between the houses form a backdrop to the development and contribute to the green character. Landscaped front gardens, mature trees and planting enhance the development. The vegetation, curving layout and topography create changing vistas.

Long view to the east over trees and rooftops

Negative Features

The tree screen could be reinforced to the south west

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time. There may be opportunities to enhance the area through the creation of individual buildings of interest or additional landscape features. Landmark buildings can lift a design from the ordinary and may be justified on the basis of a sound urban design appraisal of their context and a perceived environmental uplift to the quality of the area.

In proposing new development within the Whitefriars Character Area:

Individual buildings should be of a high standard of intrinsic design quality

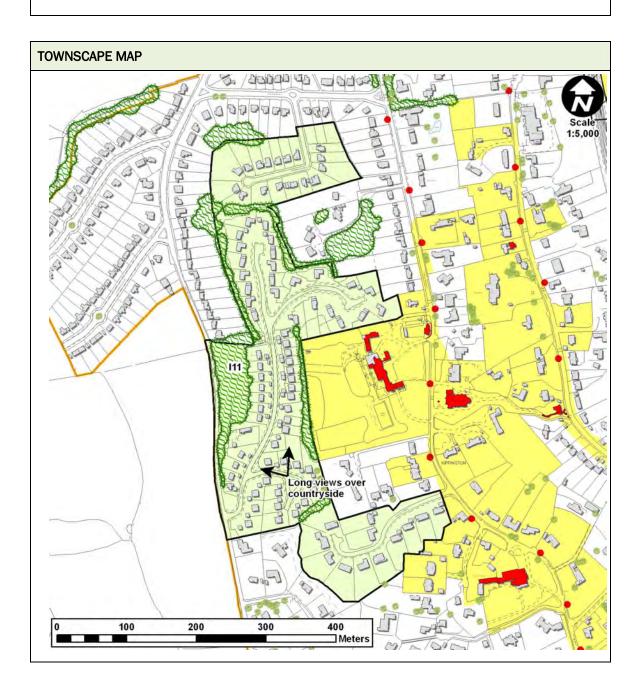
Mature trees and hedges which contribute to the character of the area should be retained

I11 - THE MIDDLINGS AREA

Comprising The Middlings, Chichester Drive, Greenwood Way and Middlings Rise.

HISTORICAL CONTEXT

Constructed in the early 1970s on the site of a former community home and Middlings Wood.



Locally Distinctive Contextual Features	
Age of buildings	Early 1970s
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys and chalet bungalows
Prominent building materials	Red, buff and brown brick, white weatherboard effect, hung tiles and brown tiled roofs.
Predominant boundary treatments	Open plan
Open space/ vegetation	Open grassed frontages with mature trees and shrubs. Verges in parts. Tree belt to the west.









The area has a verdant character created by the grassed frontages, verges, hedges, mature trees and shrubs, tree belts visible to the rear and between houses and the long views over open countryside. There are many chestnut trees from an old chestnut plantation. The undulating topography and curving street layout create changing vistas and views. Trees to the back of the Middlings and Middlings Rise form part of the setting of the Kippington Conservation Area.





The house styles and plot width vary in each street. The houses are constructed of red, brown or buff brick with shallow pitch brown tiled roofs and attached garages. The northern section of the Middlings (above left) comprises two storey tile hung houses with wide frontages set on a relatively regular building line. The middle section of the road comprises slightly smaller houses on narrower plots. In Chichester Drive (below left) the larger houses are arranged at angles to the road on irregular undivided plots and in Middlings Rise (above right) chalet bungalows with distinctive asymmetric roofs nestle into the hillside.

Views





The land rises sharply to the west permitting long views eastwards (above left) and southwards (above right) over open countryside from Middlings Rise, protected by the low height of the chalet bungalows. There is a footpath through Middlings Wood to Brittains Lane.

Locally Distinctive Positive Features

Tree belts visible above and between the houses form a backdrop to the development and contribute to the green character. Grassed frontages, verges, hedges, mature trees and planting enhance the development. The curving streets, vegetation and topography create changing vistas and views.

There are long views to the south and east from Middlings Rise

Residential character with no through traffic

Negative Features

Some poor surfacing

Traffic noise from the A21

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time. There may be opportunities to enhance the area either through retrofitting some buildings not built to current energy efficiency standards (for example with new cladding, solar panels and added insulation) or through the creation of individual buildings of interest or additional landscape features. There may be merit in using such improvements to uplift indistinctive, standardised architecture and add a new distinctiveness to an area. Landmark buildings can lift a design from the ordinary and may be justified on the basis of a sound urban design appraisal of their context and a perceived environmental uplift to the quality of the area.

In proposing new development within the Middlings Area Character Area:

Individual buildings should be of a high standard of intrinsic design quality

Mature trees and hedges which contribute to the character of the area should be retained

Views to the south and east from Middlings Rise should be protected

The setting of Kippington Conservation Area should be protected or enhanced

I12 - SERPENTINE COURT

Comprising Serpentine Court and Lansdowne Road (part)

HISTORICAL CONTEXT

A post 1990 development on former playing fields and garden land.



Locally Distinctive Contextual Features	
Age of buildings	Post 1990
Type of buildings	Detached
Main uses	Residential and nursing home
Building heights	Two storeys
Prominent building materials	Brown, red/brown and buff brick, half timbering, hung tiles, roof tiles.
Predominant boundary treatments	Open plan
Open space/ vegetation	Landscaped frontages and trees within gardens. Hedge/trees along northern boundary. Adjoins playing fields. Hedge enclosing Lansdowne Road.





The five detached two storey houses (above left) are set back from a short paved cul-de-sac and shared access behind grassed frontages planted with trees and shrubs. Curved brick walls enclose the entrance. Grassed verges and the hedge enclosing the playing field contribute to the green character. The houses are of individual designs with a variety of traditional decorative finishes including hung tiles, half timbering and contrast brickwork. The gabled tiled roofs have front facing gables and/or pitched dormer windows. The development has an open residential character with no long views.

The long frontage of the nursing home (above right) and its brick boundary wall and hedge enclose Lansdowne Road on the east side. The building is constructed of red/brown brick with white painted render first storey and a brown tiled gabled roof. A wide forward facing gable end with semi circular porch and balcony breaks up the façade. Small pitched dormer windows provide interest in the roofline. The low height blends well with surrounding housing in this elevated position. The brick wall and hedge maintains the enclosed character of Lansdowne Road.

Locally Distinctive Positive Features

The brick walls and hedge/trees enclosing the access to Serpentine Court enhance the private residential character of the development and maintain the character of Lansdowne Road

Individually designed properties with a variety of traditional decorative details

Open character within Serpentine Court created by unenclosed frontages, set back of buildings, relatively wide plots and spacing between houses

The hedge, landscaped front gardens, mature trees and planting enhance the development

The wide façade and low height of the nursing home and the brick walls and hedges maintain the enclosed character of Lansdowne Road and blend with surrounding housing

The gable, porch and balcony break up the façade and provide interest in the roofline

Negative Features

No significant detractors

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Serpentine Court Character Area

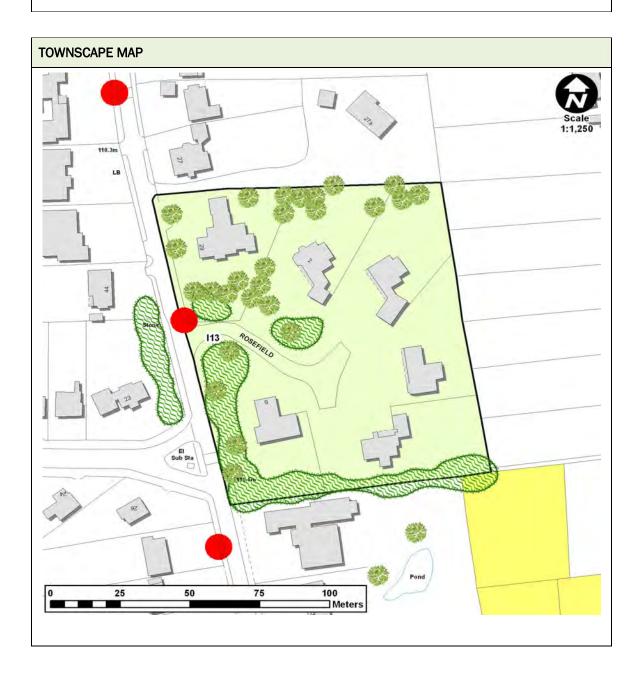
Mature trees and hedges which contribute to the character of the area should be retained

113 - ROSEFIELD

Comprising Rosefield

HISTORICAL CONTEXT

A cul-de-sac development built on the site of a late Victorian mansion named Rosefield which was demolished in the early 1970s.



Locally Distinctive Contextual Features	
Age of buildings	Early 1970s
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Brown brick with stone clad
Predominant boundary treatments	Open plan
Open space/ vegetation	Mature trees and hedges



Rosefield is a cul-de-sac development of detached 1970s houses set in a curve around the access road behind very deep grassed and landscaped open or partially enclosed frontages, creating an informal, open, green character. The entrance from Kippington Road is curved and enclosed by mature trees and hedges, which screen the development and maintain the historic verdant character of Kippington Road. The houses are two storey with brown brick with stone clad elevations, shallow pitched roofs and wide forward facing gables, with single storey garages to the side and large areas of glazing.





Locally Distinctive Positive Features

Hedges and trees screen the development and help to preserve the verdant, historic character of Kippington Road

Trees visible above and between the houses form a backdrop to the development and contribute to the green character. Deep, landscaped frontages and mature trees enhance the development.

Private, residential character

Negative Features

No significant detractors but these developments generally lack visual unity or local references in terms of materials or design and are generally lacking in landmarks and reference points

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time. There may be opportunities to enhance the area either through retrofitting some buildings not built to current energy efficiency standards (for example with new cladding, solar panels and added insulation) or through the creation of individual buildings of interest or additional landscape features. There may be merit in using such improvements to uplift indistinctive, standardised architecture and add a new distinctiveness to an area. Landmark buildings can lift a design from the ordinary and may be justified on the basis of a sound urban design appraisal of their context and a perceived environmental uplift to the quality of the area.

In proposing new development within the Rosefield Character Area:

Individual buildings should be of a high standard of intrinsic design quality

Mature trees and hedges which contribute to the character of the area should be retained

114 - PINENEEDLE LANE AREA

Comprising Pineneedle Lane, Blair Drive and The Glade

HISTORICAL CONTEXT

These developments were constructed on garden land in the early 1970s.



Locally Distinctive Contextual Features	
Age of buildings	Early 1970s
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Various
Predominant boundary treatments	Open plan
Open space/ vegetation	Trees



Pineneedle Lane leads off south of Linden Chase whilst The Glade leads off north from Woodside Road. The entrance to Pineneedle Lane (left) is long and narrow, strongly enclosed by high fences and trees with a vista of a striking 1970s property on lower ground with a backdrop of trees closing the view. The Glade by contrast is a short cul-de-sac with the first property adjoining Woodside Road.





Pineneedle Lane comprises individually designed properties on wide open plots set behind landscaped grassed areas which create a verdant setting (below left). The site is flat, low-lying and surrounded by trees which contribute to the sense of place. The houses on the south side have wide forward facing asymmetric gables with windows of various dimensions including floor to ceiling single pane windows, flat roofed porches and a variety of decorative finishes including white paint, and painted or natural vertical timbers (above left and right). Those to the north, have wide timber facades, shallow gabled tiled roofs and white balconies (below right). The striking house designs and spacious layout gives the lane a unique character.

To the west of Pineneedle Lane there are two open plan properties down a gated access.









The Glade is a more conventional cul-de-sac layout with the houses spaced out on an uneven building line behind landscaped open plan front gardens. The houses are of individual designs in red/brown or brown brick with brown tiled roofs and forward facing gables.





In Blair Drive, the yellow and brown brick neo-Georgian style houses are set back behind landscaped front gardens and driveways on the west side of the access road. The set back, spaces between houses, trees and other soft landscaping contribute to an open character. Trees are visible above and between the houses and landscaping along the southern boundary helps to maintain the green character of Mount Harry Road.

Locally Distinctive Positive Features

Tree belts visible above and between the houses form a backdrop to the developments Residential character with no through traffic

Negative Features

The open plan character of The Glade is juxtaposed to the character of the informal lane Woodside Road which it abuts

These developments generally lack visual unity or local references in terms of materials or design and are generally lacking in landmarks and reference points

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time. There may be opportunities to enhance the area either through retrofitting some buildings not built to current energy efficiency standards (for example with new cladding, solar panels and added insulation) or through the creation of individual buildings of interest or additional landscape features. There may be merit in using such improvements to uplift indistinctive, standardised architecture and add a new distinctiveness to an area. Landmark buildings can lift a design from the ordinary and may be justified on the basis of a sound urban design appraisal of their context and a perceived environmental uplift to the quality of the area.

In proposing new development within the Pineneedle Lane Area Character Area:

Individual buildings should be of a high standard of intrinsic design quality

Mature trees which contribute to the character of the area should be retained and enhanced

115 - LYLE PARK

Comprising Lyle Park

HISTORICAL CONTEXT

The area north of Hitchen Hatch Lane comprising agricultural land, Mount Harry and Barrack Wood was laid out with large houses along curving streets in the late 19th Century. This cul-desac development was constructed on the site of the demolished late Victorian Lyle Court in the early 1970s.



Locally Distinctive Contextual Features	
Age of buildings	Early 1970s
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Brown and buff brick, stone cladding, hung tiles, brown roof tiles and weatherboard.
Predominant boundary treatments	Open plan
Open space/ vegetation	Hedges, grassed frontages and planting within the area. Trees form a backdrop and enclose views.



The entrance to Lyle Park rises and curves off to the north from Linden Chase. The houses are arranged either side of the street on relatively wide plots and an uneven building line, behind open grassed frontages and driveways of various depths. The view to the east is enclosed by trees. There is a view to the south over trees and rooftops. The houses are of brown and buff brick in various styles with some repeated, with gabled tiled roofs and some forward facing gables. Decorative finishes include hung tiles, stone cladding and white weatherboard. The open plan character is juxtaposed to the adjoining Linden Chase.





Locally Distinctive Positive Features

Tree belts visible above and between the houses form a backdrop to the development

Views are enclosed by trees

Residential character with no through traffic

Negative Features

The open plan character is juxtaposed to the adjoining informal lane character of Linden Chase

These developments generally lack visual unity or local references in terms of materials or design and are generally lacking in landmarks and reference points

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time. There may be opportunities to enhance the area either through retrofitting some buildings not built to current energy efficiency standards (for example with new cladding, solar panels and added insulation) or through the creation of individual buildings of interest or additional landscape features. There may be merit in using such improvements to uplift indistinctive, standardised architecture and add a new distinctiveness to an area. Landmark buildings can lift a design from the ordinary and may be justified on the basis of a sound urban design appraisal of their context and a perceived environmental uplift to the quality of the area.

In proposing new development within the Lyle Park Character Area:

Individual buildings should be of a high standard of intrinsic design quality

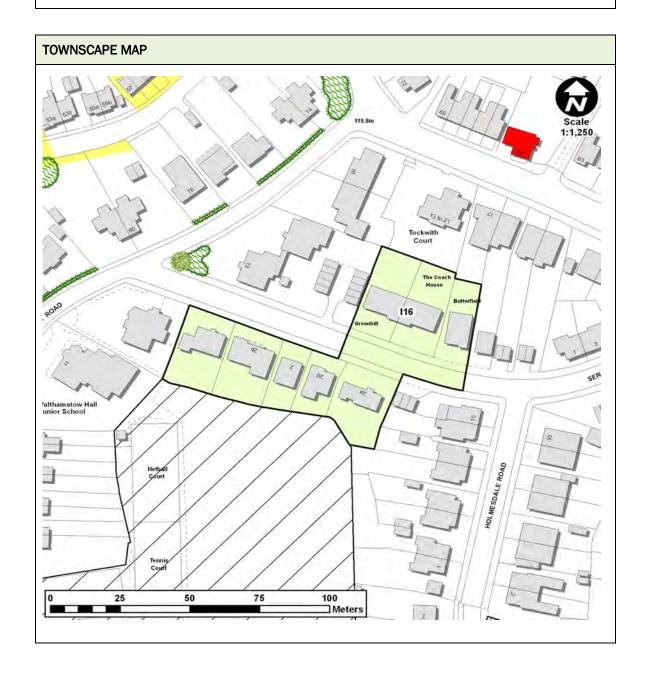
Mature trees which contribute to the character of the area should be retained and enhanced

116 - SERPENTINE ROAD

Comprising Serpentine Road (part)

HISTORICAL CONTEXT

This is 1970s/80s infill development.



Locally Distinctive Contextual Features	
Age of buildings	1970-1985
Type of buildings	Detached and semi-detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Red/brown brick, brown roof tiles, hung tiles.
Predominant boundary treatments	Open plan, some dwarf walls, fences and hedges.
Open space/ vegetation	Some hedges. Open space to the south of the area.





This is an infill development of detached and semi-detached two storey houses set amongst a Victorian/ Edwardian Character Area. The houses are set back on an even building line behind front gardens or driveways which are open plan or partially enclosed by dwarf walls, fences and hedges. The houses are constructed of red/brown brick and are of various styles with hipped or gabled brown tiled roofs. Some properties have the upper storey in the roof with dormer windows.

Locally Distinctive Positive Features

Houses set back on an even building line behind landscaped front gardens

Negative Features

The open plan character is juxtaposed to the adjoining Victorian/ Edwardian Character Area and lack local references in terms of materials or design

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time. There may be opportunities to enhance the area either through retrofitting some buildings not built to current energy efficiency standards (for example with new cladding, solar panels and added insulation) or through the creation of individual buildings of interest or additional landscape features. There may be merit in using such improvements to uplift indistinctive, standardised architecture and add a new distinctiveness to an area. Landmark buildings can lift a design from the ordinary and may be justified on the basis of a sound urban design appraisal of their context and a perceived environmental uplift to the quality of the area.

In proposing new development within the Serpentine Road Character Area:

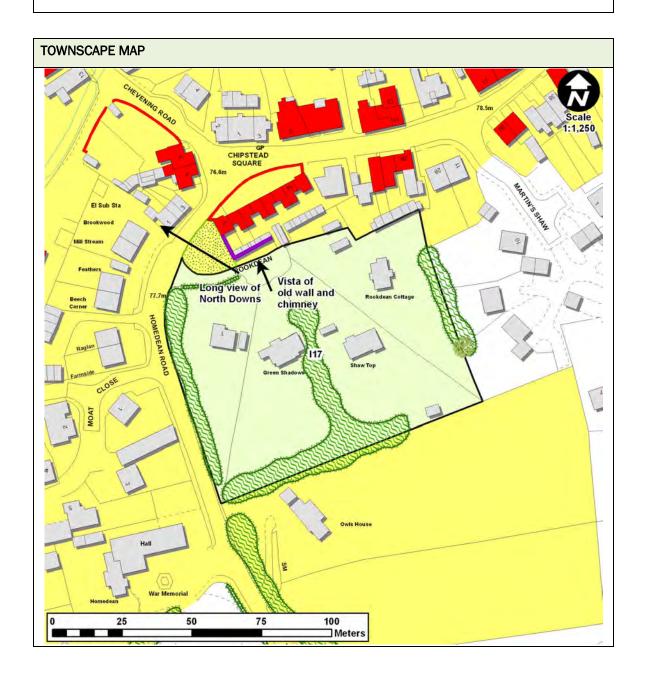
Individual buildings should be of a high standard of intrinsic design quality and respect the cohesive character of the adjoining character area

117 - ROOKDEAN

Comprising Rookdean

HISTORICAL CONTEXT

A small 1960s development on land that previously formed part of the Chipstead Place estate.



Locally Distinctive Contextual Features	
Age of buildings	1960s
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Brick of various shades, roof tiles and painted render.
Predominant boundary treatments	Part open, par hedges and shrubs.
Open space/ vegetation	Long front gardens. Adjoins small green open space.



The four individually designed detached houses are situated on the south and east side of a short shared access off Homedean Road. A grass open space then verge and mellow stone and brick wall form the northern boundary. The houses are set back in a curve behind deep landscaped front gardens with mature trees, which are partially enclosed by hedges and shrubs, creating a very green character. Trees and hedges screen the houses from Homedean Road, protecting the historic character of the adjoining Chipstead Conservation Area. The houses are constructed of various shades of brick with white rendered sections and hipped or gabled brown tiled roofs with forward facing gables.









There are vistas to the north (see left) and west (see below) into the Chipstead Conservation Area.



Locally Distinctive Positive Features

Landscaped access enclosed by a verge and old stone wall to the north

Vistas of roofscape in the Chipstead Conservation Area to the north and of the Conservation Area to the west

Verdant character

Screened from Homedean Road and the Conservation Area by hedge and trees

Negative Features

Road noise from the M25 and M26 to the west and north

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time. There may be opportunities to enhance the area either through retrofitting some buildings not built to current energy efficiency standards (for example with new cladding, solar panels and added insulation) or through the creation of individual buildings of interest or additional landscape features. There may be merit in using such improvements to uplift indistinctive, standardised architecture and add a new distinctiveness to an area. Landmark buildings can lift a design from the ordinary and may be justified on the basis of a sound urban design appraisal of their context and a perceived environmental uplift to the quality of the area.

In proposing new development within the Rookdean Character Area:

Individual buildings should be of a high standard of intrinsic design quality

Mature trees which contribute to the character of the area should be retained

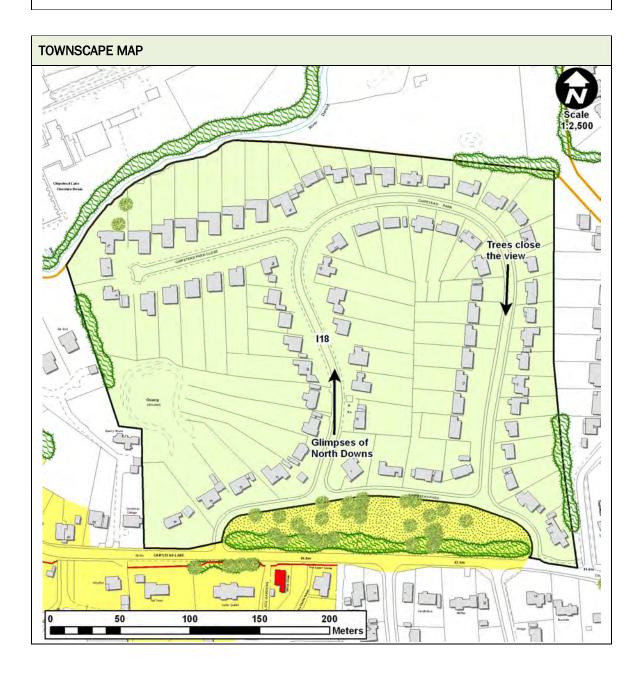
The setting of Chipstead Conservation Area should be protected or enhanced

118 - CHIPSTEAD PARK

Comprising Chipstead Park

HISTORICAL CONTEXT

The area was laid out in the mid 1960s - 1970s on former quarry land belonging to Chipstead Place.



Locally Distinctive Contextual Features	
Age of buildings	1960-1970s
Type of buildings	Detached
Main uses	Residential
Building heights	One – two storeys
Prominent building materials	Various brick, hung tiles, weathboard.
Predominant boundary treatments	Open plan with some dwarf walls and hedges.
Open space/ vegetation	Treed open space adjoins to the south. Tree belt to the north.





Chipstead Park forms a loop off a loop with an arm leading off to the west. It is separated from Chipstead Lane by open space with trees which close the views to the south. This open space lies within the Chipstead Conservation Area. The curving streets and undulating topography create changing views and vistas with occasional long views northwards over trees towards the North Downs. The houses are set back on a curved building line behind front gardens which are open plan or partially enclosed by hedges and dwarf walls. The scheme incorporates both two storey houses and bungalows, with bungalows particularly along the northern edge to protect the views. The area has an open, green character. There is no through traffic but there is noise from the M26 to the north.





The houses are of various designs with some repeats and are constructed in various shades of brick with white weatherboard, hung concrete tiles and painted render. The roofs are generally shallow and gabled, some with wide gables facing the road. There are also hipped and mansard roofs.

Locally Distinctive Positive Features

Residential character with no through traffic

The undulating topography and curving streets create changing views and vistas.

There are views from the higher points northwards over trees towards the North Downs

A tree belt within the Chipstead Conservation Area closes views to the south

Negative Features

Traffic noise from the M26 to the north

These developments generally lack visual unity or local references in terms of materials or design and are generally lacking in landmarks and reference points

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time. There may be opportunities to enhance the area either through retrofitting some buildings not built to current energy efficiency standards (for example with new cladding, solar panels and added insulation) or through the creation of individual buildings of interest or additional landscape features. There may be merit in using such improvements to uplift indistinctive, standardised architecture and add a new distinctiveness to an area. Landmark buildings can lift a design from the ordinary and may be justified on the basis of a sound urban design appraisal of their context and a perceived environmental uplift to the quality of the area. Any landmark building would need to be consistent with the scale and character of the surrounding residential area.

In proposing new development within the Chipstead Park Character Area:

Individual buildings should be of a high standard of intrinsic design quality

Mature trees which contribute to the character of the area should be retained

Views of the North Downs should be protected

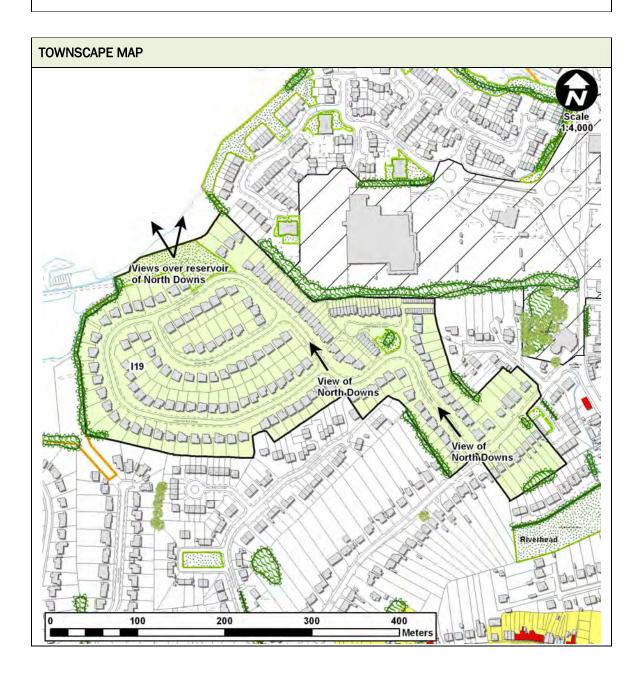
The setting of Chipstead Conservation Area should be protected or enhanced

119 - CHESTERFIELD DRIVE AREA

Comprising Chesterfield Drive and Stanhope Way

HISTORICAL CONTEXT

This area was laid out in the late 1970s on the site of former works associated with the gravel pit.



Locally Distinctive Contextual Features	
Age of buildings	1960-1970s
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Brown and red brick, black and white weatherboard and hung tiles.
Predominant boundary treatments	Open plan
Open space/ vegetation	Grassed open space by lakeside. Smaller grassed open spaces and landscaped front gardens. Tree belts to the west, east and south.





Chesterfield Drive is a loop development with a short cul de sac leading off it. The houses are on a relatively regular building line behind relatively shallow open plan front gardens and driveways. The detached two storey houses are regularly spaced and are of various repeated designs.





The eastern part of the area includes terraced properties of uniform design set behind open plan frontages at slight angles to the road (above left). The horizontal banding of timber and white render provides interest in the elevations.

The detached houses are of a variety of repeated designs which incorporate red or brown brick, hung tiles and black weatherboard. The roofs are gabled, many with shallow gable ends facing the road. Some properties have distinctive asymmetric roof lines (above right).

Views





The sloping topography and curving streets create changing views. Long views are generally closed by surrounding tree belts, but at the northern corner the landscape suddenly open outs and there are long views over an open space, lake and across countryside to the North Downs (above left and right). There are also glimpses of trees over and between the houses.

Locally Distinctive Positive Features

The eastern part of the area includes terraced properties of uniform design with horizontal banding of timber and white render

Long views from the north corner over the green open space and lake towards the North Downs. This is a particular feature of the development

There are glimpses of trees over and between the houses

Residential character with no through traffic

Negative Features

Traffic noise from the M26 to the north

These developments generally lack visual unity or local references in terms of materials or design and are generally lacking in landmarks and reference points

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time. There may be opportunities to enhance the area either through retrofitting some buildings not built to current energy efficiency standards (for example with new cladding, solar panels and added insulation) or through the creation of individual buildings of interest or additional landscape features. There may be merit in using such improvements to uplift indistinctive, standardised architecture and add a new distinctiveness to an area. Landmark buildings can lift a design from the ordinary and may be justified on the basis of a sound urban design appraisal of their context and a perceived environmental uplift to the quality of the area. Any landmark building would need to be consistent with the scale and character of the surrounding residential area.

In proposing new development within the Chesterfield Drive Area Character Area:

Individual buildings should be of a high standard of intrinsic design quality

The unity of design and materials of the terraced properties should be respected

Mature trees and open spaces which contribute to the character of the area should be retained The views of the North Downs should be protected

120 - SPRINGSHAW CLOSE

Comprising Springshaw Close and Yew Tree Close

HISTORICAL CONTEXT

Springshaw Close was built in the early 1970s on former woodland belonging to Chipstead Place. Yew Tree Close is more recent infill.



Locally Distinctive Contextual Features	
Age of buildings	1970s
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Brown brick, white painted render and hung tiles.
Predominant boundary treatments	Open plan
Open space/ vegetation	Tree belt to the east.





Springshaw Close (above) is an L-shaped cul-de-sac development leading from the north side of Westerham Road. The detached two storey houses are set back behind unenclosed or partially enclosed front gardens on plots of different width. The gardens in Yew Tree Close are more enclosed (below left). The houses are individually designed with hipped or gabled roofs, some with forward facing symmetric or asymmetric gables or roofs extending down to ground floor level. Decorative finishes include white painted render and hung tiles. The white paint brightens the streetscape. Several properties have tall, feature chimneys. The view is closed by trees to the east.

The entrance to Yew Tree Close forms part of the setting of the Bessels Green Conservation Area. There is a vista into the Conservation Area (below right).





Locally Distinctive Positive Features

A tree belt closes the view to the east in Springshaw Close

Residential character with no through traffic

Negative Features

Traffic noise from the A25 Westerham Road

These developments generally lack visual unity or local references in terms of materials or design and are generally lacking in landmarks and reference points

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time. There may be opportunities to enhance the area either through retrofitting some buildings not built to current energy efficiency standards (for example with new cladding, solar panels and added insulation) or through the creation of individual buildings of interest or additional landscape features. There may be merit in using such improvements to uplift indistinctive, standardised architecture and add a new distinctiveness to an area. Landmark buildings can lift a design from the ordinary and may be justified on the basis of a sound urban design appraisal of their context and a perceived environmental uplift to the quality of the area. Any landmark building would need to be consistent with the scale and character of the surrounding residential area.

In proposing new development within the Springshaw Close Character Area:

Individual buildings should be of a high standard of intrinsic design quality

Mature trees which contribute to the character of the area should be retained

The setting of Bessels Green Conservation Area should be protected or enhanced

121 - WATERCRESS DRIVE

Comprising Watercress Drive and Watercress Close

HISTORICAL CONTEXT

The Greatness area was developed after estate land was donated to the town council in the 1920s. Watercress Drive and Close lie to the north of this area and were built after 1990. It is named after the watercress beds which were on this low lying site.



Locally Distinctive Contextual Features	
Age of buildings	1990+
Type of buildings	Detached and semi-detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Buff and pink/brown brick, orange hung tiles.
Predominant boundary treatments	Open plan
Open space/ vegetation	Open grassed frontages. Tree belts to south and north. Recreation ground to the north of the area.





Watercress Crive is a slightly curved street connected at either end to Farm Lane and Queen's Drive. Watercress Close is a cul-de-sac development to the rear. The building line is at a slight angle to the road, so that the unenclosed grassed frontages and concrete driveways become deeper towards the north west. The uniform buff brick or pink/brown houses are hung with orange tiles and have dark brown window frames and brown tiled pitched roofs. The uniform building designs and a harmonious range of limited materials create a cohesive character.

The south side of the road is enclosed by trees, giving the area a private character. To the north a belt of trees forms a back drop to the development. There is access to a recreation ground to the north of the area.

Locally Distinctive Positive Features

The low site and tree belts create a private character with no long views.

Uniform building designs create a cohesive character

Residential character with little through traffic

Negative Features

Traffic noise from the M26 to the north

Poor quality surfacing and landscaping

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Watercress Drive Character Area:

The harmonious palette of buff and pink/brown brick, orange hung tiles and brown tile roofs should be respected

Mature trees which contribute to the character of the area should be retained

122 - PONTOISE CLOSE

Comprising Pontoise Close

HISTORICAL CONTEXT

Constructed in the early 1970s on former woodland and sandpits. The Close is named to commemorate the Sevenoaks Pontoise twinning.



Locally Distinctive Contextual Features	
Age of buildings	Early 1970s
Type of buildings	Semi-detached, some detached
Main uses	Residential
Building heights	Two storeys and bungalows
Prominent building materials	Buff and brown brick, white weatherboard effect, hung tiles and brown tiled roofs.
Predominant boundary treatments	Open plan
Open space/ vegetation	Open space to the south and north. Open grassed frontages with trees and shrubs. Verges in parts. Tree belt to the west and north.







This loop development of semi-detached two storey houses and bungalows has a quiet residential character with no through traffic. The buildings are of a variety of designs and materials. The west side comprises brown brick tile hung houses with chimneys. The east side is constructed of buff brick with flat roof front projections and white weatherboard. The roofs are pitched, some with wide shallow gables facing the road. At the southern end a row of bungalows is situated on the higher ground.





The landscape setting is a particular feature of the area. To the north east there is an extensive grass recreation area and playground framed by remnant woodland (above left and right). A belt of trees runs along the raised railway line to the west of the area, visible over and between the houses (top right). There are glimpses of the North Downs to the north east.

Soft landscaping within the scheme including grassed open plan frontages and planted verges (right) also enhance the character.



Locally Distinctive Positive Features

Tree belts visible above and between the houses form a backdrop to the development and contribute to the green character. Grassed frontages, verges and planting enhance the development.

There are short views across the recreation ground and glimpses of the North Downs Residential character with no through traffic

Negative Features

Poor surfacing

Intermittent train noise

These developments generally lack visual unity or local references in terms of materials or design

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time. There may be opportunities to enhance the area either through retrofitting some buildings not built to current energy efficiency standards (for example with new cladding, solar panels and added insulation) or through the creation of individual buildings of interest or additional landscape features. There may be merit in using such improvements to uplift indistinctive, standardised architecture and add a new distinctiveness to an area. Landmark buildings can lift a design from the ordinary and may be

justified on the basis of a sound urban design appraisal of their context and a perceived environmental uplift to the quality of the area.

In proposing new development within the Pontoise Close Character Area:

Individual buildings should be of a high standard of intrinsic design quality

Mature trees and open space which contribute to the character of the area should be retained

Views of the recreation ground should be protected

123 LAKE VIEW ROAD AREA

Comprising Robyns Way (part), Lake View Road, Madison Way and Crawshay Close

HISTORICAL CONTEXT

In the 19th Century this land formed part of the Bradbourne Estate. Robyns Way was begun in the interwar period. The other streets and all the buildings in this area date from the 1960s and 1970s.



Locally Distinctive Contextual Features	
Age of buildings	1960 - 1970s, some 1950s
Type of buildings	Semi-detached and some detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Buff and brown brick, hung tiles, hung timber, brown roof tiles
Predominant boundary treatments	Open plan
Open space/ vegetation	Bradbourne Lakes and trees to the north. Tree belts to the west and south.





Lake View Road (left) slopes down gently westward. It has a verdant character with the houses set back behind landscaped open plan front gardens with specimen trees. To the north, the trees surrounding Bradbourne Lakes are visible over and between the houses forming a verdant backdrop and trees flank the eastern entrance to the road on the south side. The houses in Lake View Road are on irregular width plots on a slightly irregular building line. Robyns Way has a less verdant character with the houses more evenly spaced on a regular building line. Robyns Way and the cul-de-sacs leading off it, nestle on low lying ground with tree belts enclosing the view on all sides (above right showing the view of Robyns Way and Madison Way from Mount Close).





The houses are of various designs, with relatively steeply pitched or half hipped brown tiled roofs and brick elevations. Sections of the elevations are painted or hung with tiles or vertical timbers. In Lake View Road three pairs of semi detached houses have distinctive cut out rooflines and tall narrow chimneys (above left). In Crawshay Close (above right) and Madison Way (below left and right) cul-de-sacs the houses are more widely spaced.







At the western end of Robyns Way, there is a small open space where an arch leads under the railway line.



Facing onto Upper Lambarde Road, there are three properties dating from the 1950s which have brick ground floors and white painted rendered upper storeys under hipped, tiled roofs, set back behind hard surfaced front gardens enclosed by brick walls.

Locally Distinctive Positive Features

Tree belts visible above and between the houses form a backdrop to the developments Verdant character of east end of Lake View Road

Residential character with little through traffic

Negative Features

Some poor surfacing

Train noise

These developments generally lack visual unity or local references in terms of materials or design and are generally lacking in landmarks and reference points

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time. There may be opportunities to enhance the area either through retrofitting some buildings not built to current energy efficiency standards (for example with new cladding, solar panels and added insulation) or through the creation of individual buildings of interest or additional landscape features. There may be merit in using such improvements to uplift indistinctive, standardised architecture and add a new distinctiveness to an area. Landmark buildings can lift a design from the ordinary and may be justified on the basis of a sound urban design appraisal of their context and a perceived environmental uplift to the quality of the area.

In proposing new development within the Lake View Road Character Area:

Individual buildings should be of a high standard of intrinsic design quality

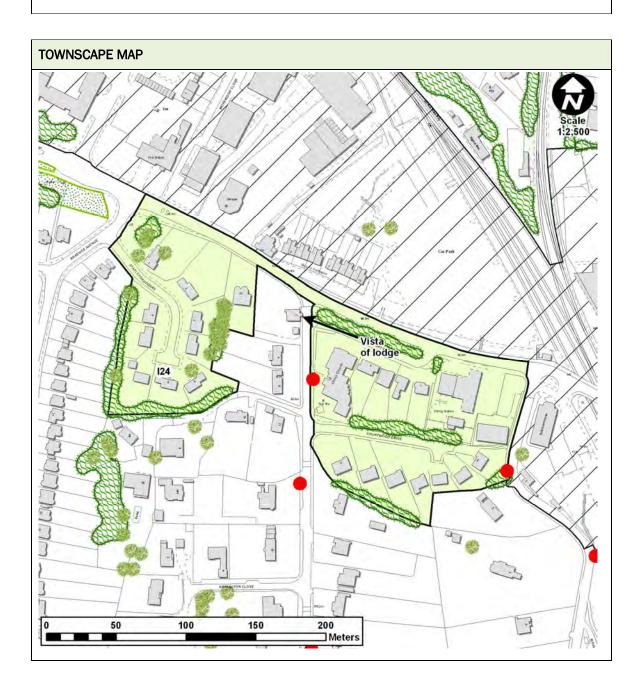
Mature trees and open space which contributes to the character of the area should be retained

124 - COURTWOOD DRIVE AREA

Comprising Courtwood Drive, Stapleford Court, Littlecourt Road and London Road (part)

HISTORICAL CONTEXT

These infill developments off London Road took place on former garden land between 1960 and 1985.



Locally Distinctive Contextual Features	
Age of buildings	1960 - 1980s
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Various brick, hung tiles, half timber.
Predominant boundary treatments	Open plan
Open space/ vegetation	Littlecourt Road is set back behind a treed frontage.





This area incorporates three separate open plan developments. Courtwood Drive (above right) is a straight cul-de-sac leading off Kippington Road and Stapleford Court (above left) is a curved cul-de-sac off Braeside Avenue. Littlecourt Road constructed in the 1960s is a service road leading off the London Road, with a narrow treed band separating the houses from the road. In all three developments, the detached two storey houses are set back behind open grassed or hard surfaced frontages but the designs and materials vary.

The houses in Courtwood Drive are set above and at angles to the road and are of uniform design with red/brown brick elevations and gabled tiled roofs, flat roofed porches and tall staircase windows.

In Stapleford Court, the houses are red or yellow brick with neo-georgian details including symmetrical multipaned windows, hipped Roman tiled roofs and pillars. The yellow brick contrasts with the neighbouring red brick properties in Braeside Avenue.

In all streets, trees are visible above and between the properties.

In Littlecourt Road, the houses have hipped roofs and rendered painted upper storeys incorporating half timber details.







The cul-de-sacs have a residential character except for Littlecourt Road which has a more mixed character with the URC church and a garage adjoining to the north and south. There is a vista of the Kippington Lodge townscape feature to the north.

Locally Distinctive Positive Features

Each development has a coherent and different character created by repeated designs and materials

Trees partially screen Littlecourt Road from the London Road and enclose the east side of Courtwood Drive. Trees are visible behind the properties in all streets.

Cul-de-sacs with no through traffic

Negative Features

Traffic noise from the London Road

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Courtwood Drive Area Character Area:

Harmonious palettes of materials within Courtwood Drive, Stapleford Court and Littlecourt Road should be respected

Mature trees which contribute to the character of the area should be retained

J BUNGALOWS CHARACTER AREAS



Bungalows became a popular form of development initially in the 1930s but also formed a component part of larger estates. The majority of these bungalows date from the 1930s and the 1960s/1970s.

The design of the bungalows changed in these two periods with the earlier bungalows generally being squarer and having more elaborate rooflines, hipped roofs, porches and more design detail than the later buildings which tend to be plainer and more rectangular in design with gabled roofs. The bungalows often have front gardens enclosed by low walls and hedges. Despite these differences, where bungalows predominate, even where the building style is different, the character of the area tends to be similar as the single storey buildings create an open, relatively uniform townscape.



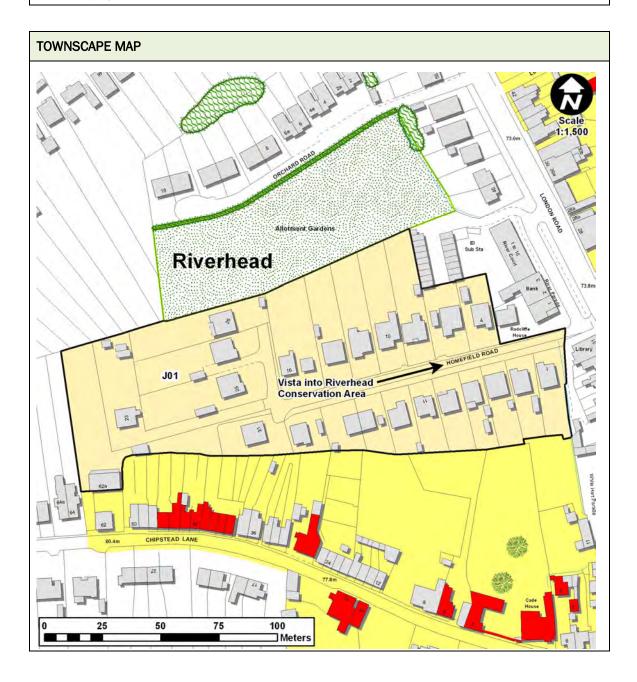
Example of Bungalow Development Layout

JO1 - HOMEFIELD ROAD

Comprising Homefield Road

HISTORICAL CONTEXT

Homefield Road was begun in the interwar period and completed by the early 1960s on previously agricultural land.



Locally Distinctive Contextual Features	
Age of buildings	1930s - 1965
Type of buildings	Detached
Main uses	Residential
Building heights	One storey with some two storeys
Prominent building materials	Red/brown brick, brown roof tiles.
Predominant boundary treatments	Hedges, brick walls and wooden fences.
Open space/ vegetation	Landscaped front gardens.





Homefield Road is a private, gated I-shaped cul-de sac. The eastern end (above left) is more urban in character with a wide pavement and there are flats, parking areas and shops to the north side of the road. The western section (above right), beyond the barrier, is more informally laid out with no pavements, some verges and landscaping in the form of hedges, shrubs and garden trees. This section has a particularly private, quiet residential character despite its proximity to the centre of Riverhead. The land rises gently to the west and there is a vista eastwards into the Riverhead Conservation Area.

The properties are mainly inter-war and 1960s bungalows in a variety of designs with red/brown brick elevations (some painted) and hipped brown tiled roofs with forward facing gables. Some have been extended into the roof. The variety of garden boundaries including hedges, wooden fences and low brick walls contributes to the informal character. The low scale prevents any harmful impact on the neighbouring Conservation Area.





At the western end of the street, there are several two storey properties (above right) and bungalows on wider plots (above left) in an informal mix of styles.

Locally Distinctive Positive Features

Evenly spaced houses set back on a regular building line behind landscaped front gardens enclosed by hedges, walls and fences

Consistent low building height with some two storey buildings at western end. The low building height prevents impact on the neighbouring Conservation Area.

Vista into the Conservation Area

Private, residential character despite proximity to Riverhead Centre

Negative Features

Road noise close to the London Road and from the A21/M25 to the west

Design Guidance

The close siting of development means there is limited opportunity for further development, although there may be pressure to extend the bungalows.

In proposing new development within the Homefield Road Character Area:

The regular building line should be respected

The setting of the Riverhead Conservation Area should be protected or enhanced

J02 SANDILANDS

Comprising Sandilands

HISTORICAL CONTEXT

The cul de sac was developed in the 1960's.



Locally Distinctive Contextual Features	
Age of buildings	1960's
Type of buildings	Detached
Main uses	Residential
Building heights	One storey
Prominent building materials	White render and brown roof tiles
Predominant boundary treatments	Dwarf walls
Open space/ vegetation	Verges along Sandilands, shrubs to front gardens and views of the North Downs.









The bungalows are set back from the wide road and verge on a regular building line with long views to the North Downs resulting in a wide unenclosed space in contrast to the narrow curved entrance (above right). Hipped roofs further reduce the scale of development. The bungalows are laid out in symmetrical pairs in an alternate 'L' shaped plan form. White render and brown roof tiles are repeatedly used materials. Eye brow windows create a variation within some of the roofs (bottom right). The regular building line, uniform scale,

Landscape



The narrow, curved, enclosed entrance to Sandilands has a verdant quality with grass verge, hedgerow and trees which conceal all development from Chipstead Road.

Views



The panoramic views of the North Downs are visible above and between the roofs.

Detractors





Telegraph poles and overhead wires become prominent within such a low scale development (left).

The road surface of Sandilands is in poor condition (right).

Locally Distinctive Positive Features

Unity of regular building line, uniform scale, repeated designs and limited pallet of materials

Verdant character of narrow, curved, enclosed entrance to Sandilands

Views of the North Downs

Quiet residential character

Negative Features

Prominent telegraph poles and overhead wires

The road surface of Sandilands is in poor condition

Design Guidance

The area was developed at the same time with only minor extensions since the 1960's. The close siting of development means there is limited opportunity for further development, although there may be pressure to extend the bungalows.

In proposing new development within the Sandilands Character Area:

The regular building line should be respected

The unity of the single storey bungalows should be respected

The verdant character of the entrance to Sandilands should be protected

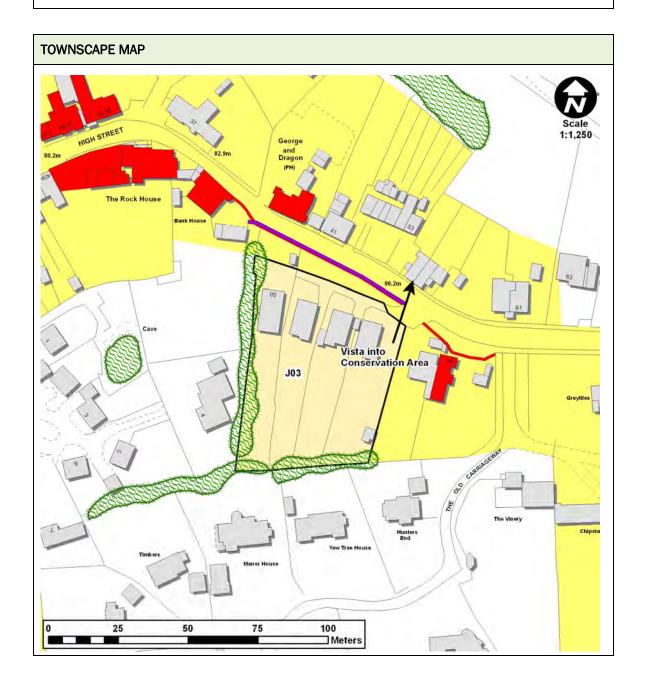
Views of the North Downs should be protected

JO3 - OFF CHIPSTEAD HIGH STREET

Comprising Off Chipstead High Street

HISTORICAL CONTEXT

A development on an open plot of land adjoining the High Street in the early 20th century



Locally Distinctive Contextual Features	
Age of buildings	1910-1930
Type of buildings	Detached
Main uses	Residential
Building heights	One storey
Prominent building materials	Red brick, half timbered
Predominant boundary treatments	Wall
Open space/ vegetation	Narrow front gardens.



The four bungalows are set on an even building line behind landscaped front gardens enclosed by dwarf walls and hedges, facing onto a shared access. They are of red brick with hipped roofs and half timbered gables above square bay windows with prominent tall brick chimneys located between the bays. They have small pitched dormer windows.

The bungalows form a cohesive and distinctive group.





The bungalows are on an elevated site on the south side of the High Street in a sensitive position immediately adjoining the Chipstead Conservation Area to the east and north. They are set behind a tall old ragstone wall with only the rooftops and chimneys visible from the road (above right).

Locally Distinctive Positive Features

Unity of regular building line, uniform scale, repeated designs and limited pallet of materials

Evenly spaced bungalows set back on a regular building line behind landscaped front gardens enclosed by hedges and low walls.

The low building height with only the rooftops and chimneys visible over the enclosing wall

Retention of period character, original roofline and decorative finishes.

Ragstone wall

Negative Features

No significant detractors

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the land off Chipstead High Street Character Area:

The regular building line should be respected

The unity of the single storey bungalows should be respected

The character of the ragstone wall should be retained

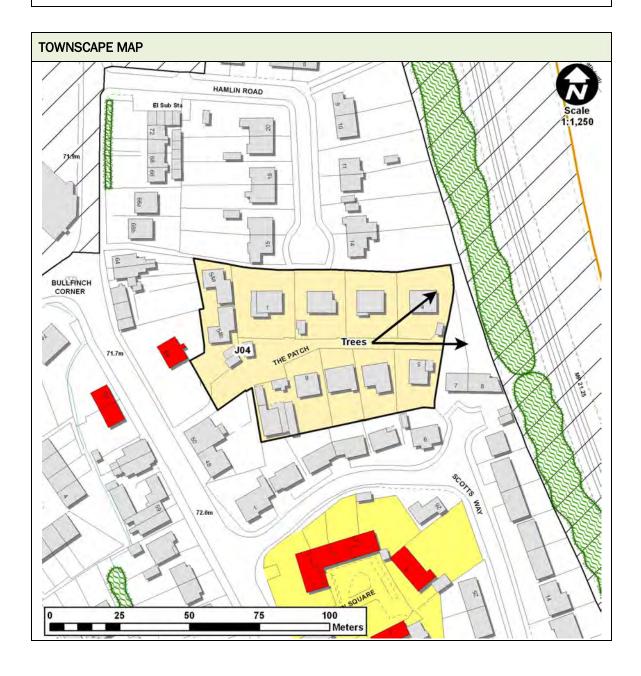
The setting of the Chipstead Conservation Area should be protected or enhanced

JO4 - THE PATCH

Comprising The Patch

HISTORICAL CONTEXT

This cul-de-sac was built on previously open land in the interwar period between London Road and the railway line.



Locally Distinctive Contextual Features	
Age of buildings	1920-1940
Type of buildings	Detached
Main uses	Residential
Building heights	One storey
Prominent building materials	Red/brown brick, brown roof tiles, white weatherboard, slate.
Predominant boundary treatments	Fences, hedges or open plan.
Open space/ vegetation	Some hedges and shrubs. Tree belt to the east along the railway line.







The Patch is accessed via a narrow entrance enclosed by buildings and a hedge. The entrance also provides access to an informal parking area and commercial units. The bungalows are set back on a regular building line behind hard surfacing or landscaped gardens partially enclosed by fences and hedges. Those to the north are white weatherboard with slate roofs, those to the south are red brick with tiled roofs. The properties have been altered and modernised. The tree belt along the railway line closes the view to the east and is visible over the houses. The area has an informal, mixed use character. The surfacing is poor and there is noise from the London Road and the railway.

Locally Distinctive Positive Features

Evenly spaced houses set back on a regular building line behind hard surfacing or front gardens Trees act as a backdrop to development

Negative Features

Shared access with commercial operations.

Poor surfacing.

Intermittent noise from the London Road and the railway

Design Guidance

The close siting of development means there is limited opportunity for further development, although there may be pressure to extend the bungalows.

In proposing new development within The Patch Character Area:

The regular building line should be respected

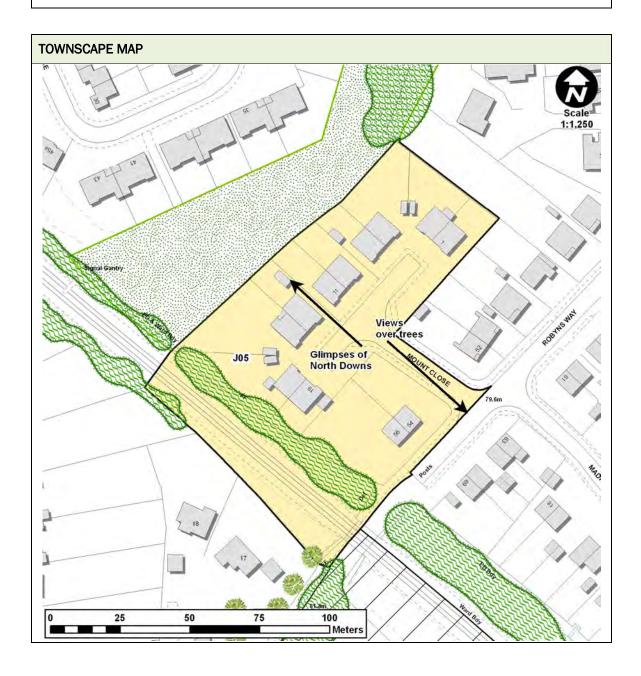
Mature trees important to the character of the area should be protected

J05 MOUNT CLOSE

Comprising Mount Close

HISTORICAL CONTEXT

The cul de sac was developed in the early 1960's.



Locally Distinctive Contextual Features	
Age of buildings	Early 1960's
Type of buildings	Detached
Main uses	Residential
Building heights	One storey
Prominent building materials	Buff brick, pale paint, brown roof tiles.
Predominant boundary treatments	Open plan
Open space/ vegetation	Tree belt to the west. Views over trees to the south.





Mount Close is a short cul-de-sac leading up steeply from Robyns Way. Five pairs of symmetrically designed semi detached bungalows are arranged on a regular building line set back behind unenclosed front gardens around the top of the turning head. The buildings are of buff brick with painted sections, wide white framed windows and brown tiled hipped roofs some with shallow front facing gables. A prominent dormer extension affects the symmetry and roofline. There are glimpses between the houses of the North Downs to the north (above right). A tree belt runs along the railway line to the west.



The access road is lined by verges. There are views to the south over rooftops and trees. The concrete road surface is in moderate condition.

Locally Distinctive Positive Features

Tree belt to west

Low building height on this elevated site

Planned, symmetrical arrangement of the bungalows

Glimpses of the North Downs and views to the south over trees

Residential character with no through traffic

Negative Features

Concrete road surface in moderate condition

Prominent dormer disrupts the roofline and symmetry of the Close

Design Guidance

The close siting of development means there is limited opportunity for further development, although there may be pressure to extend the bungalows.

In proposing new development within the Mount Close Character Area:

The regular building line should be respected

The unity of the single storey bungalows should be respected

Mature trees important to the character of the area should be protected

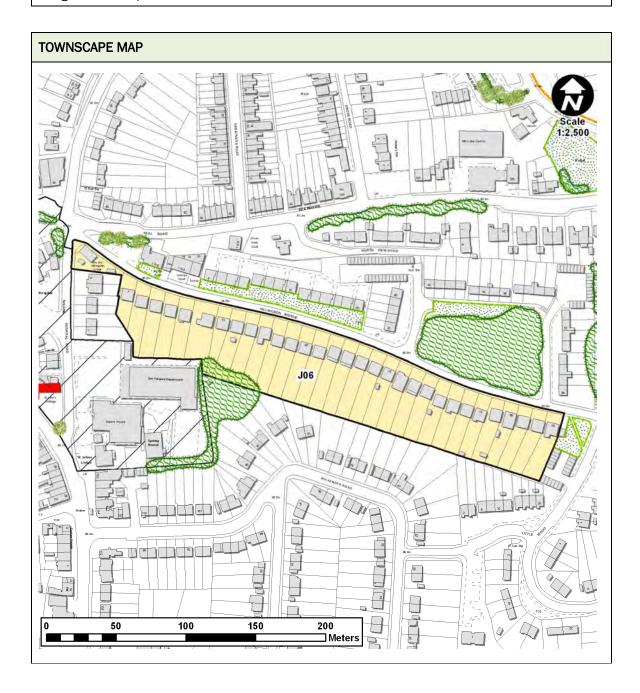
Views of the countryside should be protected

J06 - HILLINGDON AVENUE (WEST)

Comprising Hillingdon Avenue (part)

HISTORICAL CONTEXT

Hillingdon Avenue follows the line of the historic driveway to the Wildernesse Estate. This linear bungalow development was constructed on the south side in the 1930s.



Locally Distinctive Contextual Features	
Age of buildings	1930s
Type of buildings	Detached
Main uses	Residential
Building heights	One storey and chalet bungalows
Prominent building materials	Brick, painted render, some hung tiles, brown roof tiles
Predominant boundary treatments	Brick walls, panel fences and hedges
Open space/ vegetation	Overlooking woodland to the north. Planted front gardens.





The bungalows are set back on a relatively regular building line behind landscaped front gardens enclosed by brick walls, panel fences and hedges (above). Some have retained their original appearance with a square footprint, a central front door flanked by wide windows, pyramid shaped hipped roof and small chimneys on the side pitch. Many of the properties have been converted to chalet bungalows with replacement roof tiles creating a varied, but still low, roofline with gable ends facing the road with a variety of decorative finishes. The majority of the houses are painted in pastel shades. The Old Hillingdon Lodge marking the historic entrance to the Wildernesse Estate is partially demolished but the ragstone wall leading into Hospital Road is a feature (below right). Trees close the view to the east and the area overlooks remnant woodland to the north.





Detractor



The view of the hospital roof to the west is a detractor.

Locally Distinctive Positive Features

Unity of relatively regular building line, low scale and some repeated designs

Ragstone wall leading into Hospital Road

Woodland to the north of the area and closing the view to the east

Negative Features

View of hospital roof to the west

Poor surfacing

Design Guidance

The close siting of development means there is limited opportunity for further development, although there may be pressure to extend the bungalows.

In proposing new development within the Hillingdon Avenue Character Area:

The building line should be respected

Mature trees important to the character of the area should be protected

The character of the ragstone wall leading into Hospital Road should be retained

K COMPACT TERRACED CHARACTER AREAS



These areas comprise mainly terraced two storey houses or small apartment blocks fronting directly onto the pavement or behind shallow front gardens or landscaping. In linear developments this form creates tightly enclosed streetscapes. However, the buildings may also be arranged around cul-de-sacs or coutyards creating enclosed, intimate spaces.

On 1970s developments, the terraces will often be of uniform design, creating a coherent and distinctive character. Developments constructed after 1990 will often incorporate more variation in the design of the buildings and a staggered building line.

These areas often also include taller apartment blocks set close to the road or within grassed curtilages.



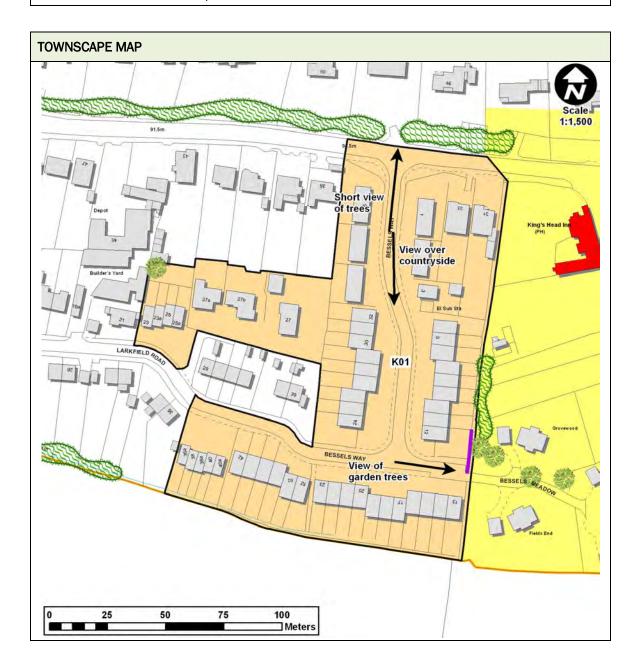
Example of Compact Terraced Layout

K01 - BESSELS WAY

Comprising Bessels Way

HISTORICAL CONTEXT

Bessels Way was constructed in the early 1970s on a site between the historic centre of Bessels Green and the 1930s development in Larkfield Road. There has been some more recent infill.



Locally Distinctive Contextual Features	
Age of buildings	Early 1970s with later infill
Type of buildings	Terraced houses and detached bungalows
Main uses	Residential
Building heights	One - two storeys
Prominent building materials	Buff brick, concrete grey/green hung tiles and brown roof tiles, weatherboard effect.
Predominant boundary treatments	Open plan
Open space/ vegetation	Open grassed frontages. View of tree belt north of Westerham Road.





The low wide buildings, elevated position, open frontages and set back of the buildings from the T junction (above left) contribute to an open character. The ash tree (above left) is a feature. There are views to the south of open countryside and to the east trees are visible above and between the houses (above right). The old wall to the east is a feature. Northwards the view is closed by trees on the north side of Westerham Road.

The area has a residential character with little through traffic, but there is traffic noise from the A21 and Westerham Road.



The bungalows at the more elevated northern end (left) are also of buff brick with weatherboard effect and shallow brown tiled roofs and wide fenestration.



The houses are set back behind lawns, planting and concrete driveways and are constructed in a uniform design and materials (left). The elevations are buff brick with some white painted sections, weatherboard effect and hung tiles of grey/green or brown. The topography and the low roof pitch create a stepped, low roofline The roofs have brown concrete tiles and no chimneys. The ground floor projects forward with a flat roof and integral garage. The white framed windows are square or wide.

The uniform building design and materials contribute to a cohesive character.

There are views to the south of open countryside.

Locally Distinctive Positive Features

The area has a cohesive character created by the similar scale, and consistent design themes and materials

Tree belts to the north and east form a back drop to the houses and enclose the views There are views southwards across open countryside.

The old wall to the east and the ash tree at the T junction are townscape features

Negative Features

Traffic noise from the A21 and Westerham Road Some poor surfacing

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Bessels Way Character Area:

The harmonious palette of buff brick, concrete grey/green hung tiles, weatherboard and brown roof tiles should be respected

Mature trees which contribute to the character of the area should be retained

Views southwards of the countryside should be protected

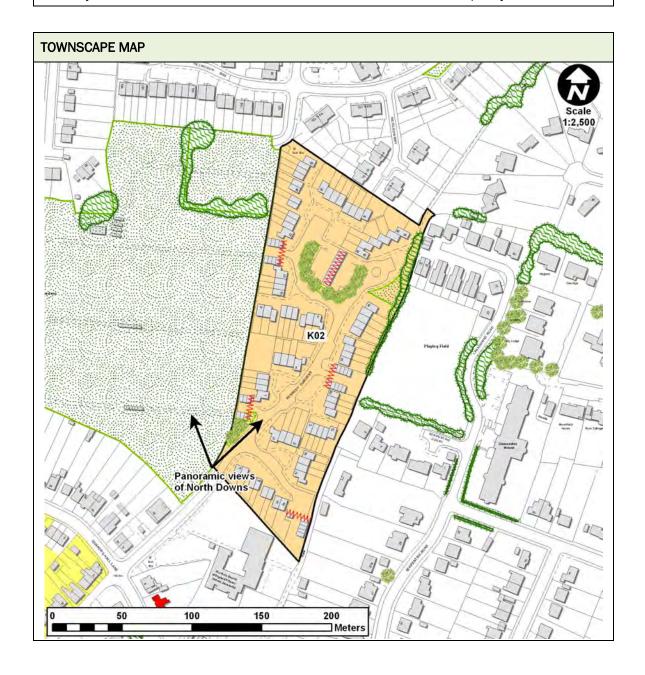
The character of the old wall and the ash tree should be retained

KO2 - KENNEDY GARDENS

Comprising Kennedy Gardens

HISTORICAL CONTEXT

Kennedy Gardens was constructed on former allotments in the late 1970s/early 1980s.



Locally Distinctive Contextual Features	
Age of buildings	1970s-1980s
Type of buildings	Terraced and semi detached houses and apartments
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Buff brick, dark wood and brown tiled roofs.
Predominant boundary treatments	Open plan
Open space/ vegetation	Grassed open space by access road. Some trees within and around the area.





The topography is a distinctive characteristic of the area with the ground falling away sharply towards the north. From the southern end of the area there are panoramic views north over the allotments towards the North Downs (above right) and north east along the spine of the development over the stepped roofline and trees (above left). The low scale and orientation of the development protect the views. By contrast, the northern part of the area is on lower ground and has a strongly enclosed intimate character, any views closed by the terraced buildings, trees and the walls of the parking area.



The two storey terraced and semi detached houses are of a distinctive repeated design with buff brick elevations, shallow gabled brown tiled roofs, first floor projecting timber clad sections and wide white framed windows. The uniform design and materials creates a cohesive character and sense of place. The timber sections create a strong vertical element in the townscape.



At the northern end of the area, there are some two storey apartments with external staircases

The layout is distinctive with many of the short terraces set at angles to the main cul de sac facing over footpaths and small landscaped spaces.

The houses are set back from the road behind open plan landscaped front gardens on an uneven building line.



Detractor

Short access roads lead off the main route to garage blocks. At the northern end the road divides around a larger garage area, partially screened by trees. The central garage block and parking area, although partially screened, forms a disappointing central focus for the development and the concrete surfacing is in poor condition. The smaller flat roofed garage blocks also harm the character.



Locally Distinctive Positive Features

The area has a cohesive character created by the similar scale, and consistent design themes and materials. The timbered sections create a strong vertical element in the townscape.

The houses are set at angles to the road facing over green spaces and footpaths. This orientation of the short terraces creates intimate spaces.

There are panoramic views to the north and north east towards the North Downs from the southern part of the area. The low scale of development and orientation of the development protect the views.

The northern, lower part of the area has an enclosed, intimate character.

Open plan front gardens, small grassed spaces and trees within the development contribute to the verdant character as do views of tree belts to the east and north east

Negative Features

The central garage block and parking area and smaller flat roofed garage blocks

The communal parking area is under-used resulting in much on street parking on narrow roads

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be the opportunity to upgrade the garage blocks as an integral part of development subject to sufficient parking spaces being provided.

In proposing new development within the Kennedy Gardens Character Area:

The harmonious palette of buff brick, brown roof tiles and dark wood should be respected

Mature trees which contribute to the character of the area should be retained

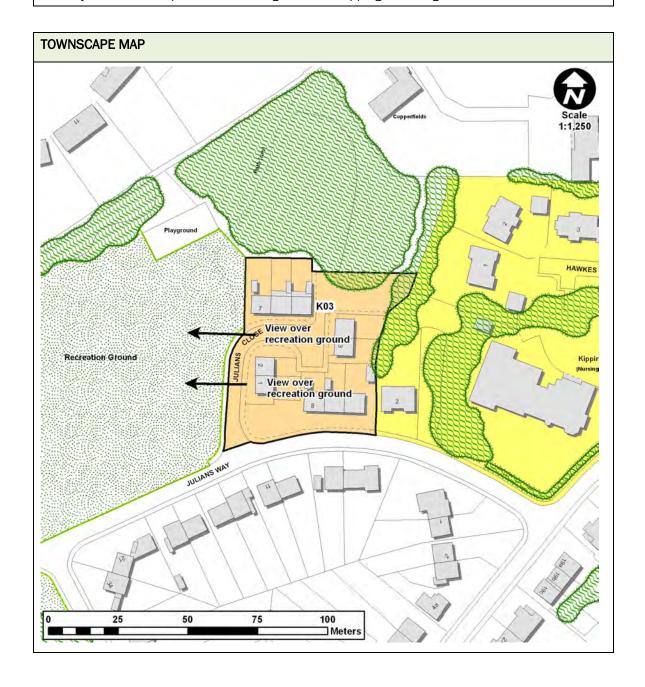
Views of the North Downs should be protected

K03 - JULIANS CLOSE

Comprising Julians Close

HISTORICAL CONTEXT

An early 1970s development within the grounds of Kippington Grange.



Locally Distinctive Contextual Features	
Age of buildings	Early 1970s
Type of buildings	Terraced and semi detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Buff brick, brown concrete hung and roof tiles.
Predominant boundary treatments	Open
Open space/ vegetation	Adjoins recreation ground to the west, woodland to the north and tree belt to the east.



The buff brick houses have brown hung tiles on the upper storey and white painted ground floors. The generally flat fronted facades are given relief by brick pillars supporting flat concrete porch canopies and white framed wide windows. The gentle pitch gabled roofs have brown tiles and no chimneys.



The buildings face onto Julians Way and Julians Close and are set behind shallow landscaped open plan frontages. Trees to the north and east form a backdrop to the development and there is a view westwards over the recreation ground.

Locally Distinctive Positive Features

Consistent designs and materials create cohesive character.

Trees to the north and east and open space to the west provide a verdant setting for the development

Quiet residential character with no through traffic

Negative Features

Poor surfacing

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Julians Close Character Area:

The harmonious palette of buff brick and brown hung and roof tiles should be respected

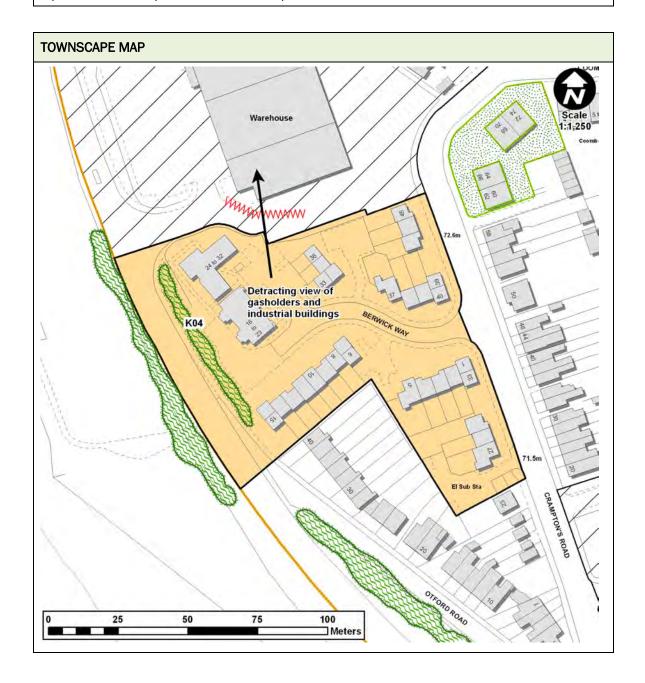
Mature trees and open space which contribute to the character of the area should be retained

KO4 - BERWICK WAY

Comprising Berwick Way

HISTORICAL CONTEXT

A post 1990 development on a former depot site.



Locally Distinctive Contextual Features	
Age of buildings	1990 +
Type of buildings	Terraced and apartment blocks
Main uses	Residential
Building heights	Two - three storeys
Prominent building materials	Buff or red brick, brown concrete roof tiles.
Predominant boundary treatments	Open
Open space/ vegetation	Some soft landscaping.



The buff brick houses are built on a staggered building line. The buff brick elevations are topped by brown concrete tiled roofs. The properties have dark wooden porch canopies supported on wooden brackets or posts. Some properties have forward projecting sections and others have shallow gable ends facing the road. The houses are set back behind unenclosed front gardens and concrete driveways.

The scale, height and layout of the houses reflect those of the Victorian cottages in the vicinity.



Two three storey red brick apartment blocks with brown tiled shallow pitch hipped roofs and forward facing gables face onto a communal parking area. The bay windows are faced with dark timber.

Shrubs and trees partially screen the A225 but there is considerable road noise

Locally Distinctive Positive Features

The area has a cohesive character created by the similar scale, limited pallet of materials and compact layout

Negative Features

The residential character is harmed by views of the gas holders and other industrial buildings to the north

Road noise

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be opportunities to enhance the area through the introduction of additional landscape features.

In proposing new development within the Berwick Way Character Area:

The harmonious palette of buff or red brick and brown roof tiles should be respected

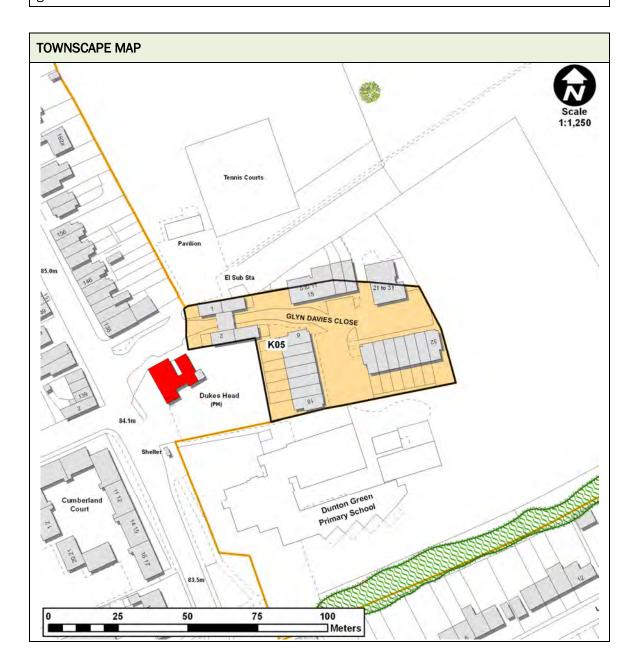
The consistent design themes should be respected and additional landscape features added within the area

K05 - GLYN DAVIES CLOSE

Comprising Glyn Davies Close

HISTORICAL CONTEXT

A development on land to the rear of the Duke's Head Public House adjoining the recreation ground.



Locally Distinctive Contextual Features	
Age of buildings	1990+
Type of buildings	Terraced houses and apartment blocks
Main uses	Residential
Building heights	Two to three storeys
Prominent building materials	Red brick, brown concrete roof tiles and dark wood window frames.
Predominant boundary treatments	None
Open space/ vegetation	A few trees and shrubs in the development. Trees adjoin the site to the east and south. Recreation open space to the north of the area.

The site is accessed via a covered archway between buildings which contributes to the inward looking enclosed residential character.





The two storey terraced houses have red brick elevations and brown tiled gabled roofs with prominent forward facing gables. The square windows have dark wood frames with stone colour detailing above. The doors are recessed and of uniform design.

The buildings front directly onto pavements and the grey block paved shared access and parking areas. There are few trees and shrubs and the sparcity of soft landscaping, the extensive grey block paving and the number of parked cars creates a rather stark townscape.

The three storey apartment blocks are of similar materials with the extensive plain red brick elevations given some relief by the stone detailing around windows and doors.



Trees to the east and south partially enclose the views. There are views of the recreation ground to the north by the access.



Locally Distinctive Positive Features

The area has a cohesive residential character with no through traffic Tree belts to the south and east partially enclose the views

Negative Features

The buildings are arranged around a central parking area of dark block paving with little landscaping

Some fencing is in poor repair

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be opportunities to enhance the area through the introduction of additional landscape features.

In proposing new development within the Glyn Davies Close Character Area:

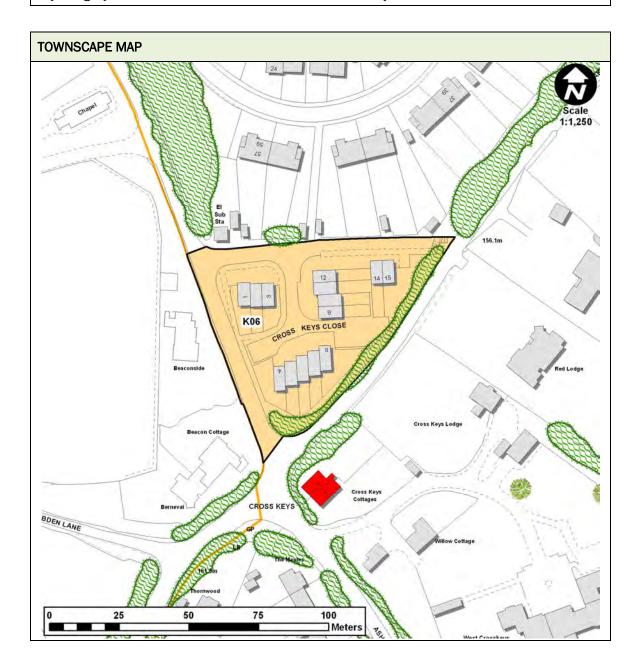
The harmonious palette of red brick with contracting stone lintels, brown roof tiles and dark wood window frames should be respected and additional landscape features added within the area

K06 - CROSS KEYS CLOSE

Comprising Cross Keys Close and Brittains Lane (part)

HISTORICAL CONTEXT

A post 1990 development on a triangular plot first developed in the 1960s on former woodland adjoining a junction of historic lanes known as the Cross Keys.



Locally Distinctive Contextual Features	
Age of buildings	1990+
Type of buildings	Terraced and semi detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Red/brown brick, hung tiles and brown roof tiles
Predominant boundary treatments	Some side hedges
Open space/ vegetation	Partially enclosed by trees



The houses have red/brown brick elevations with gabled brown tiled roofs and mono pitch tiled porch canopies supported on wooden brackets. Some properties have hung tiles on the upper storey. The houses are set close to the shared access road on narrow plots behind parking spaces and some landscaping.



The development is strongly enclosed by tall trees and is compact, intimate and inward looking. The very tight form of the development is slightly eased by the staggered building line. There are no wider views

Locally Distinctive Positive Features

Coherent residential character with no through traffic

Consistent use of materials

Verdant setting

Negative Features

No significant detractors

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Cross Keys Close Character Area:

The harmonious palette of red/brown brick hung tiles and brown roof tiles should be respected

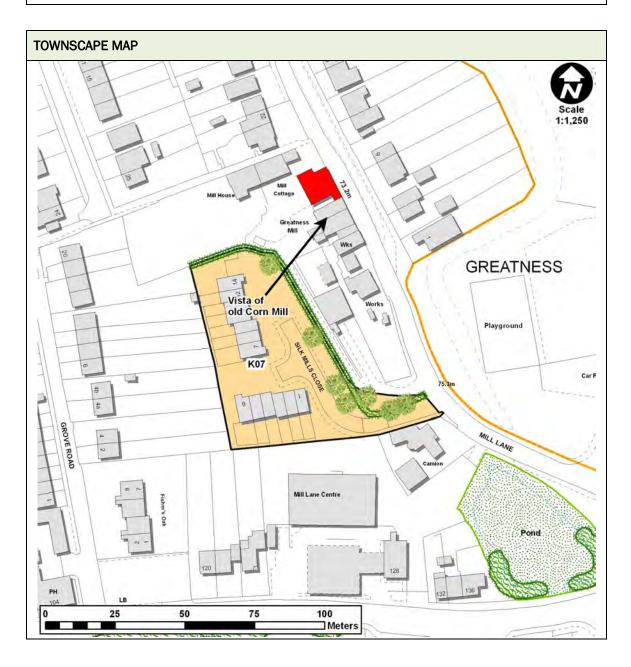
Mature trees which contribute to the character of the area should be retained

K07 - SILK MILLS CLOSE

Comprising Silk Mills Close

HISTORICAL CONTEXT

Constructed on the site of two 1960s houses on land to the rear of the old corn mill. The name refers to the silk mill owned by Peter Nouaille, a French Hugenot, which stood at the junction of Greatness Lane and Mill Lane in the second half of the 18th and early 19th century.



Locally Distinctive Contextual Features	
Age of buildings	1990+
Type of buildings	Terraced
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Brown brick, red and brown hung tiles, white render, brown roof tiles and wooden brackets.
Predominant boundary treatments	Open plan
Open space/ vegetation	Landscaped parking area with some grass and trees. Hedge along eastern boundary.



The short terraces are set perpendicular to each other and overlook landscaped parking areas. The development has a cohesive, quiet residential character.

The two storey attached houses have brown brick elevations which are tiled or rendered and white painted on the upper storeys. The brown tiled roofs have half hipped front facing gables and no chimneys. Prominent pitched tiled non-identical porch canopies supported on brown wooden brackets are a feature. The overhung roofs and loft doorway provide a reference to the milling industry.



The eastern edge of the development is enclosed by a hedge. There is a view of the old mill building assisting legibility in the area. A horse chestnut tree is a particular feature.

Locally Distinctive Positive Features

The area has a cohesive character created by the similar scale, and consistent design themes and materials

The timber brackets, overhung roofs and loft door features provide visual links with milling industry

View of the old mill building

The hedge, trees and soft landscaping provide a green setting

There is no through traffic and the development has a quiet residential character

Negative Features

No significant detractors but corrugated workshop roofs visible to the east

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Silk Mills Close Character Area:

The harmonious palette of brown brick, red and brown hung tiles, white render and brown roof tiles should be respected

Traditional detailing of timber brackets, overhung roofs and loft door features should be retained

Mature trees and hedges which contribute to the character of the area should be retained

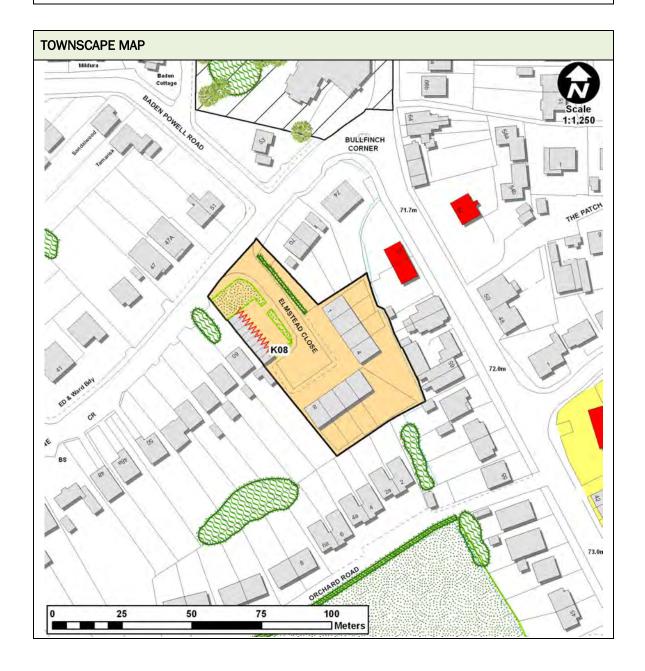
Views of the old mill should be protected

K08 - ELMSTEAD CLOSE

Comprising Elmstead Close

HISTORICAL CONTEXT

An early 1970s development on former watercress beds.



Locally Distinctive Contextual Features	
Age of buildings	Early 1970s
Type of buildings	Terraced
Main uses	Residential
Building heights	Two storeys
Prominent building materials	White weatherboard, white paint, brown roof tiles.
Predominant boundary treatments	Open
Open space/ vegetation	Grass and tree screening around parking area and garages.



The two terraces are arranged at right angles to each other. The uniform houses have white weatherboard upper storeys and painted ground floors under shallow pitched gabled roofs with no chimneys. The properties have prominent flat roofed porches with white slatted wood or glass sides. The properties are set behind a grassed open frontage with some shrubs. The east side of the access road is enclosed by a hedge whilst the west boundary of the area is also enclosed by trees. The area has an intimate, residential character although there is some road noise from the London Road.



The houses face over a garage and parking area which is partially screened by a grassed area with trees. The concrete surfacing detracts from the character of the area.

Locally Distinctive Positive Features

Intimate, inward looking residential character with no through traffic

Uniform designs and materials create cohesive character

Trees to the west and a hedge to the east enclose the development. Trees partially screen the parking and garage area

Negative Features

Concrete surfacing in parking area

Traffic noise from the London Road

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be the opportunity to upgrade the garage block as an integral part of development subject to sufficient parking spaces being provided.

In proposing new development within the Elmstead Close Character Area:

Individual buildings should be of a high standard of intrinsic design quality

The harmonious palette of white weatherboard and brown roof tiles should be respected

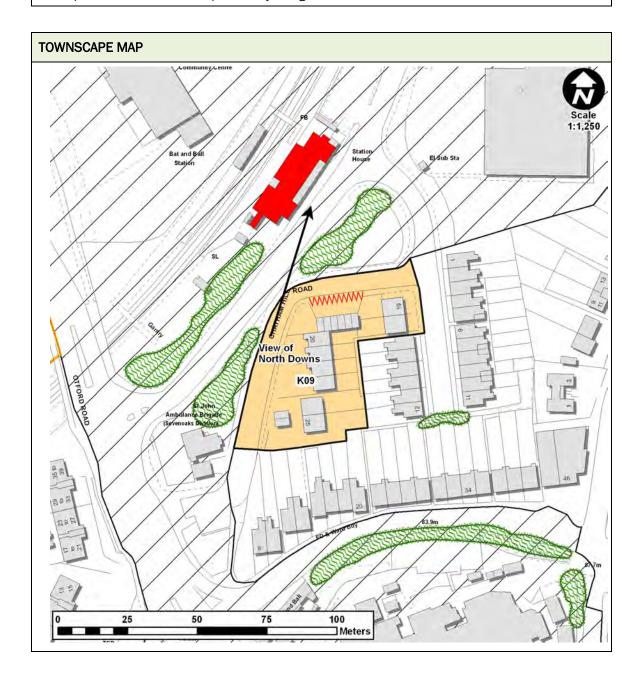
Mature trees which contribute to the character of the area should be retained

K09 - CHATHAM HILL ROAD

Comprising Chatham Hill Road

HISTORICAL CONTEXT

A compact 1970s infill development adjoining a Victorian terrace.



Locally Distinctive Contextual Features	
Age of buildings	Early 1970s
Type of buildings	Terraced houses
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Buff/brown brick, concrete red hung tiles and brown roof tiles
Predominant boundary treatments	Open plan
Open space/ vegetation	Open grassed frontages







The short terrace of houses faces over the access road and is built on a staggered building line, stepping down the hill. The uniform houses are of brown brick with gabled brown tiled roofs, porches and flat roofed bay windows. The houses are set back behind open grassed frontages and paved parking areas. Concrete garages and surfacing detract. The area is dominated by its proximity to a major road junction and the railway which are only partially screened by trees. There are long views northwards of the North Downs.

Locally Distinctive Positive Features

The uniform scale, house design and materials

Long views northwards of the North Downs.

The grassed frontages help to soften the streetscape

Negative Features

Road and rail noise

Poor screening from adjoining transport networks

Some poor concrete surfacing

Concrete garages

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be the opportunity to upgrade the garage blocks as an integral part of development subject to sufficient parking spaces being provided.

In proposing new development within the Chatham Hill Road Character Area:

The harmonious palette of buff/brown brick, red hung tiles and brown roof tiles should be respected

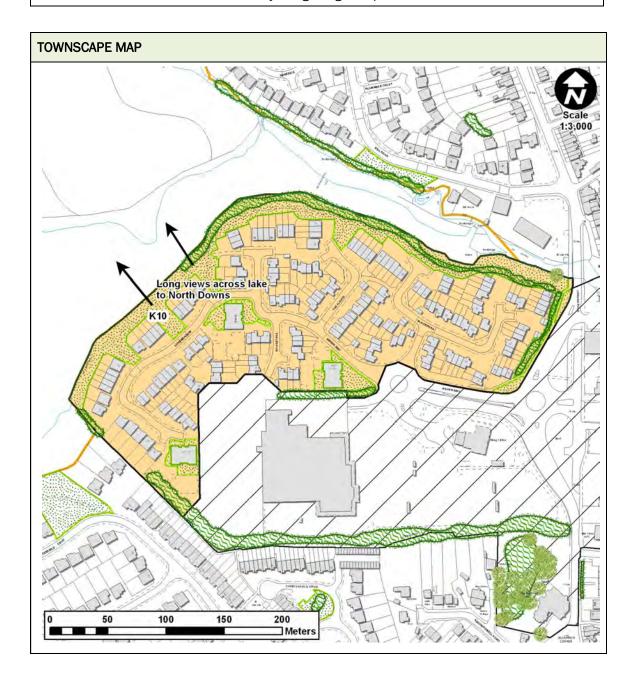
Views of the North Downs should be protected

K10 – LONGMEADOW AREA

Comprising Asher Way, Longmeadow, Sylvestres, Blackmead, The Floats

HISTORICAL CONTEXT

This site was a former industrial area adjoining the gravel pit.



Locally Distinctive Contextual Features	
Age of buildings	1990+
Type of buildings	Terraced and some detached houses and apartments
Main uses	Residential
Building heights	Two and three storeys
Prominent building materials	Yellow, orange/red and orange brick, hung tiles, half timbering, white painted render and red and brown roof tiles.
Predominant boundary treatments	Open plan, shrubs and some side walls.
Open space/ vegetation	Open space by lake and grassed areas around apartment blocks.





The compact development of curved cul-de-sacs is situated on flat low-lying land by Chipstead Lake. The two storey terraced and some detached houses are arranged behind narrow partially enclosed front gardens, parking spaces or directly onto the pavement, clustered around the cul-de-sacs and shared accesses. The development is intimate and inward looking with a tight knit form. The three storey apartment blocks are located at the western end of the scheme, whilst the area closest to the A224 is two storey. The curving roads create changing vistas.







The houses are constructed of yellow brick with orange brick details or red/orange brick with hipped or half hipped roofs. Decorative details include shaped white barge boards, half timbering, red hung tiles, finials and brightly coloured doors. Some properties have single storey bay windows with concave lead roofs and others have decorative stonework above windows. Many properties have pitched or recessed porches and pitched dormer windows. The use of various repeated designs, consistent use of materials and design themes contributes to a strongly cohesive character and sense of place.



The three storey apartment blocks have integral garages on the ground floor with a linked horizontal brick band above.

Views





To the north and west of the development landscaped footpaths lead to a strip of open space along the Chipstead lake. There are long views across the lake of trees and countryside towards the North Downs. This opening out of the views creates an impression of openess and space which contrasts with the more compact character in the other cul-de-sacs and provides an unexpectedly green setting for the buildings.

Detailing





High quality surfacing incorporating granite setts and block pavers enhances the scheme. Also ragstone walls are a particular feature.

Locally Distinctive Positive Features

The houses are set at angles to the road facing over cul-de-sacs and shared accesses. This orientation of the short terraces creates an enclosed, intimate character

There are panoramic views to the north and west towards the North Downs across Chipstead Lake

Footpaths lead too the green space beside Chipstead Lake, creating an opening out of space and a green setting for the buildings.

The hard and soft landscaping and stone walls enhance the character of the area

Negative Features

No significant detractors

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Longmeadow Character Area:

Mature trees which contribute to the character of the area should be retained

Views of Chipstead Lake and the North Downs should be protected

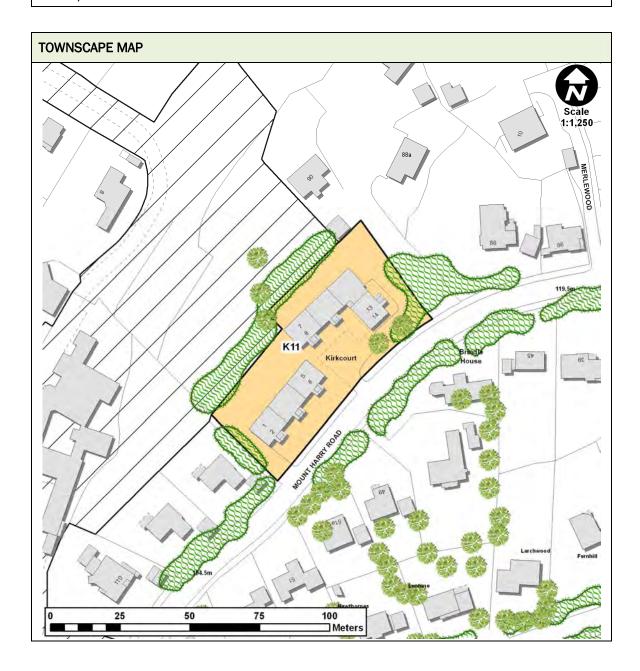
The character of the hard and soft landscaping and the ragstone wall should be retained

K11 - KIRK COURT

Comprising Kirk Court

HISTORICAL CONTEXT

The area north of Hitchen Hatch Lane comprising agricultural land, Mount Harry and Barrack Wood was laid out with large houses along curving streets in the late 19th Century. This development was built on the site of a former Victorian house in the 1960s.



Locally Distinctive Contextual Features	
Age of buildings	1960s
Type of buildings	Terraced
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Brown and buff brick, brown roof tiles
Predominant boundary treatments	Open plan with low brick wall and shrubs fronting the road
Open space/ vegetation	Grassed open areas



The development comprises two terraces of two storey houses in brown and buff brick with gabled tiled roofs and single storey brick porches. The buildings face onto and at right angles to the road, set back behind grassed frontages enclosed by a low wall and shrubs. Parking areas are provided to the front of the eastern block and behind the western. Trees are visible over and between the buildings.



The wide façade of this development, together with the absence of a landscape boundary and the large parking area are not sympathetic to the enclosed, verdant character of this section of Mount Harry Road

Locally Distinctive Positive Features

Uniform designs and materials create cohesive character

Trees to the north, east and west frame the development

Negative Features

Character of development is juxtaposed to the character of this section of Mount Harry Road

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be opportunities to enhance the area through the introduction of additional landscape features to the front boundary.

In proposing new development within the Kirk Court Character Area

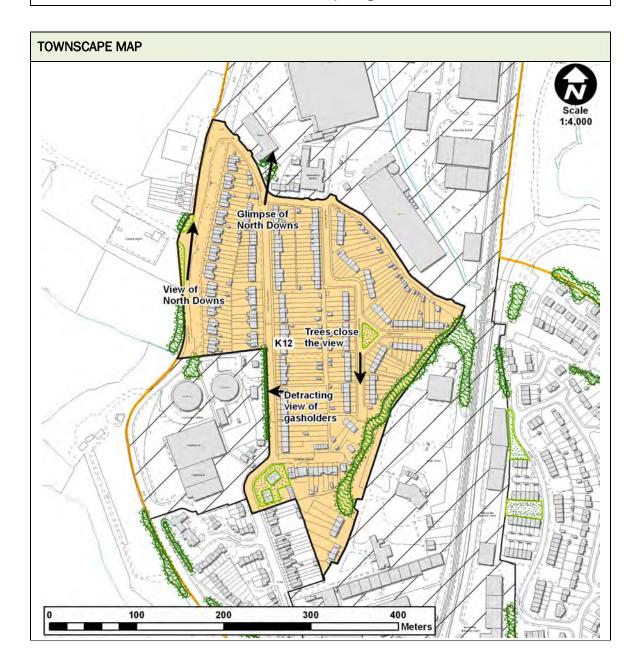
The harmonious palette of brown and buff bricks and plain brown roof tiles should be respected and additional landscape features added within the area

K12 - CRAMPTONS ROAD AREA

Comprising Cramptons Road (part), Otford Road (part), Moor Road, Swanzy Road and Coombe Avenue

HISTORICAL CONTEXT

The first development of this site was around 1900 with the construction of two rows of workers cottages in Moor Road, close to the brickworks. The rest of the area was developed in the interwar years and shortly after the Second World War. The area, located between the Otford Road and the railway line, was in close proximity to industrial uses with the water works, gas holders, brickworks and other industrial uses on adjoining sites in the 1930s.



Locally Distinctive Contextual Features	
Age of buildings	1900, interwar and some more recent
Type of buildings	Terraced houses and apartments
Main uses	Residential
Building heights	Two - three storeys
Prominent building materials	Red/brown brick, rendered painted pastel shades, brown tiled roofs
Predominant boundary treatments	Walls, fences and hedges
Open space/ vegetation	Open space in Swanzy Road and belt of trees fronting Otford Road





On the western side of the area, terraced blocks of housing face onto a service road parallel with the Otford Road. On the land to the rear, in Cramptons Road and on the west side of Moor Road, the terraced cottages are laid out Victorian style on narrow plots facing the road behind narrow enclosed gardens (above right). In Swanzy Road this compact grid layout is relaxed, with the houses arranged around a triangular green space (above left).





The houses facing Otford Road, and some to the rear in Cramptons Road, are of uniform design with hipped tiled roofs and flat brick elevations with a distinctive brickwork pattern over an arched access to the rear. The elevations are part rendered and painted. The regular chimney stacks on the front pitch are a feature. There are a variety of porch extensions which interrupt the consistent design features. The properties have shallow front gardens enclosed by brick walls, hedges and fences. The service road has been arranged for diagonal parking and is separated from the busy Otford Road by a narrow grass verge planted with trees. There are views of the gas holder to the south.





Cramptons Road has a less uniform character incorporating painted cottages dating from around 1900 (above left) with gabled roofs and arched recessed porches, blocks matching those in Otford Road and larger terraced properties with two storey tile hung bay windows and prominent forward facing gables (above right). The strongly enclosed character of the street and the set back of the buildings on a regular building line behind shallow enclosed front gardens are unifying features.





In Moor Road and Swanzy Road, the houses have a uniformly cottage character, painted in pastel shades which brightens the streetscape. The short terraces are arranged across the corners creating interesting vistas and the layout around the triangular open space gives a village green character. The houses are behind front gardens of various depths enclosed by brick walls, fences and hedges. They have gabled tiled roofs, regular chimney stacks close to the ridge and flat fronts, with some porch additions. The uniform design, roof height and regular chimneys contribute to a cohesive character and sense of place. The townscape is enhanced by trees to the east. The gas holders are visible over the rooftops to the west. The character is harmed by onstreet parking and parking on the green open space.





To the east of Cramptons Road and west of Moor Road, an informal garage area is accessed via alleyways between the buildings. This network of footpaths is a particular feature of this planned development.

Locally Distinctive Positive Features

A variety of building designs of various ages are unified by the compact terraced style of development, regular building line, enclosed front gardens and the planned layout.

Cramptons Road and part of Moor Road respect the Victorian character with terraced cottages set close to the road, creating an enclosed townscape

The arrangement of the houses around the green open space in Swanzy Road creates a village green character

A network of footpaths connects the streets to an informal garage area to the rear of the houses

The tree belt to the east closes the view in Swanzy Road

Trees and a narrow strip of grass partially screen the houses from Otford Road

Negative Features

Some poor surfacing and concrete garages

Parked cars in the streets and on the green open space

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be the opportunity to upgrade the garage blocks as an integral part of development subject to sufficient parking spaces being provided.

In proposing new development within the Cramptons Road Area Character Area:

The regular building lines should be respected

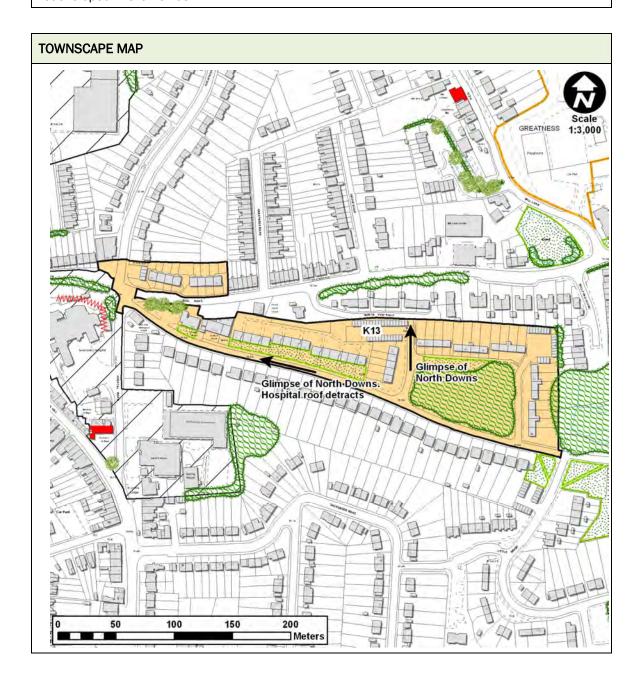
Mature trees and open space which contribute to the character of the area should be retained

K13 - HILLINGDON AVENUE

Comprising Hillingdon Avenue (part) and Seal Road (part)

HISTORICAL CONTEXT

Hillingdon Avenue follows the line of the historic driveway to the Wildernesse Estate. This area, originally part of Millpond Wood was first developed in the interwar period and partially redeveloped in the 1970s.



Locally Distinctive Contextual Features	
Age of buildings	1930 - 1970s
Type of buildings	Terraced houses and apartments
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Green and grey pebbledash, brick, white weatherboard, brown roof tiles.
Predominant boundary treatments	A variety
Open space/ vegetation	Millpond Wood





This north side of Hillingdon Avenuearea comprises two distinct parts. The western section comprises two storey apartment blocks facing onto Hillingdon Avenue set back on an even building line behind a deep grassed frontage (above left). The buildings are of uniform design with pebbledash elevations and grey/ green and brown hanging tiles and brown tiled roofs. The buildings enclose the road providing a uniform frontage broken up by the recessed staircases to the upper storeys.

The eastern section comprises short two storey terraces of houses arranged around three sides of a fragment of Mill Pond Wood. The houses on the west and east side face onto access roads which lead to communal garage areas to the rear (above right). The houses on the north side have narrower enclosed front gardens and face onto a footpath which slopes steeply down to the east, creating a stepped roofline (see below). This part of the development has an intimate cottage character with the landscaped front gardens and area of woodland creating a verdant setting. The houses are of repeated designs, the white weatherboarding creating a bright townscape in this shady location. Views to the east are enclosed by trees.









The area includes 3 storey apartments in Seal Road. The height, roofline and flat fronted design of the properties to the north side of Seal Road appear in keeping with other development along this major through route, particularly as the buildings are set below road level. However the mansard roof on the apartments on the south side is an obtrusive feature. The environmental quality of this section of the Seal Road is poor due to the poor coordination and condition of the street furniture and surfacing.

Detractor



The garage block is utilitarian in appearance. There are views to the north east of the north downs and to the south west towards St John's URC Church. There is a detracting view of the hospital roofline to the north west.

Locally Distinctive Positive Features

The eastern part of the area has an intimate, cottage character enhanced by the verdant setting created by the front gardens and fragment of Mill Pond Wood

The houses are of repeated designs with the roofline stepping down the hill. The white weatherboard brightens the streetscape

There are long views towards the North Downs and St Johns URC Church. The view is closed to the east by trees

Negative Features

Detracting view of hospital roofline

Garage block

Poor coordination and condition of street furniture and surfacing in Seal Road

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be the opportunity to upgrade the garage block as an integral part of development subject to sufficient parking spaces being provided.

In proposing new development within the Hillingdon Avenue Character Area:

Mature trees which contribute to the character of the area should be retained

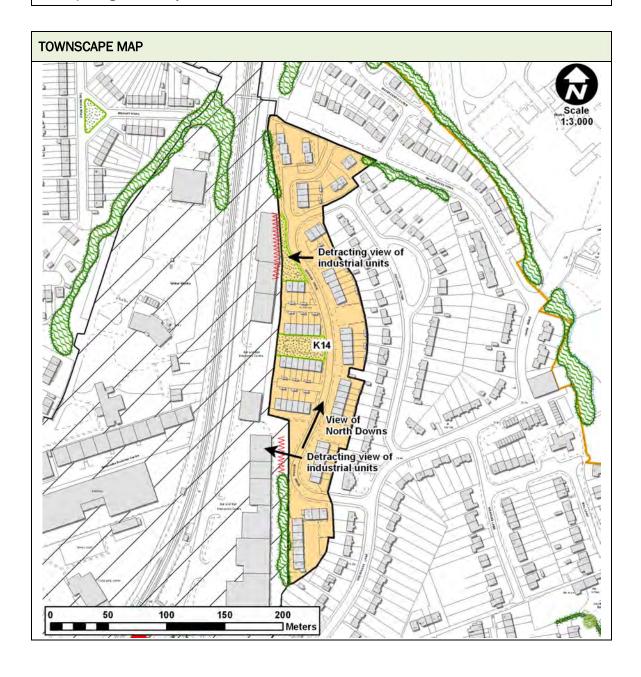
Views of the North Downs should be protected

K14 - QUEEN'S DRIVE

Comprising Queen's Drive

HISTORICAL CONTEXT

The Greatness area was developed, primarily for public housing, after estate land was donated to the town council in the 1920s. Queen's Drive was constructed in the late 1970s on an old pit site adjoining the railway.



Locally Distinctive Contextual Features	
Age of buildings	1975-85
Type of buildings	Terraced houses and apartment blocks
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Red brick, brown concrete roof tiles
Predominant boundary treatments	None
Open space/ vegetation	Small grassed open spaces





Queen's Drive is a loop leading off Greatness Lane and connecting with Orchard Close and Watercress Drive. It is gently curving with low apartment blocks at the southern end, terraced housing on a curved building line on the east side and two short terraces at right angles to the road on the western side.

The terraces of two storey houses are of uniform design constructed of concrete with tile hung upper storeys and relatively shallow gabled plain tiled roofs and no chimneys. They are set back from the curved street behind shallow front gardens except for the two short cul-de-sacs arranged in a Radburn layout. This style of development originating in the USA in the 1920s was intended to make provision for 'the motor age' without giving cars priority over pedestrians. The housing is arranged around communal open space and is accessed via a network of footpaths which is separated from the road network. The properties front onto the footpaths and open spaces whilst vehicular access is provided to the rear of properties by short cul-de-sacs.

This arrangement creates a more open character and there are views to the west across the railway line to the gas holders.

Locally Distinctive Positive Features

The area has a uniform residential character with little through traffic

The compact development is enhanced by open spaces

Negative Features

No significant detractors

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Queen's Drive Character Area:

Regular building lines should be respected

The harmonious palette of red brick and brown roof tiles should be respected

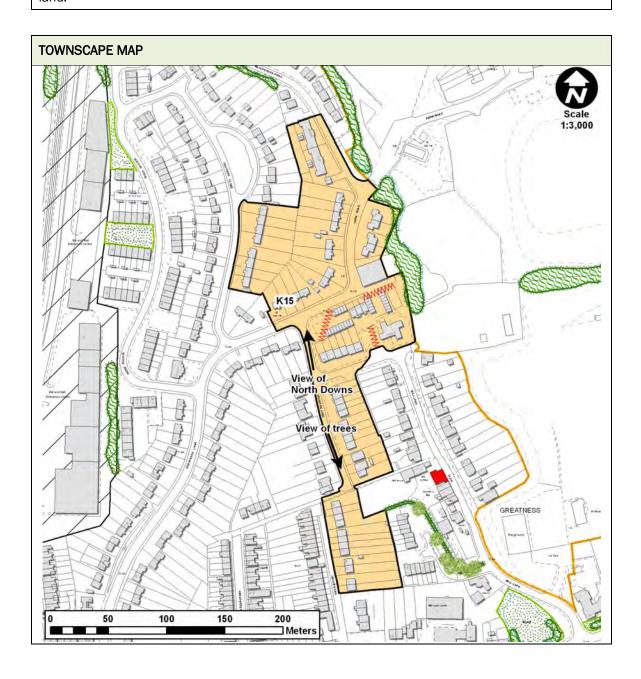
The open space which contributes to the character of the area should be retained

K15 - FARM ROAD AREA

Comprising Farm Road, Watercress Drive (part), Greatness Lane (part), Weavers Lane (part), Grove Road (part) and Mill Lane (part)

HISTORICAL CONTEXT

Greatness Lane is a historic route which led to Greatness House. The Greatness area was developed, primarily for public housing, after estate land was donated to the town council in the 1920s. Weavers Lane refers to the silk mill owned by Peter Nouvaille, a French Hugenot, which stood at the junction of Greatness Lane and Mill Lane in the second half of the 18th and early 19th century. Watercress Drive is named after the watercress beds which were on this low lying land.



Locally Distinctive Contextual Features	
Age of buildings	1960s
Type of buildings	Terraced houses, apartments and some semi- detached houses
Main uses	Residential
Building heights	Two - four storeys
Prominent building materials	Red/brown and brown brick, brown roof tiles, concrete and hung tiles
Predominant boundary treatments	Hedges, fences, railings and open plan
Open space/ vegetation	Trees to the east



The north side of Farm Road and Greatness Lane has a cohesive character with red brick two storey terraced houses with uniform pitched porches and gabled brown tiled roofs with regular chimneys on the pitch. The houses are set back on a regular building line behind front gardens enclosed by hedges and fences. The area also includes semi-detached houses in Farm Road.



In Mill Lane and Weavers Lane, terraced houses of repeated design are set behind open plan frontages. The brown hung tiles, pebble dash, shallow gabled roofs and open frontages contrast with the terraced housing in Greatness Lane and the interwar hipped roof housing in Weavers Lane, contributing to a lack of cohesion in this area.

The area also includes semi-detached houses in Farm Road, a substantial apartment block in Watercress Drive and a four storey concrete block in Mill Road.



The substantial apartment block in Watercress Drive is in a good state of repair with some soft landscaping and enclosed by black railings (above left). However, the façade appears dominant in the streetscene where the other houses are two storey

Detractors



The four storey block in Mill Road is a detractor, its concrete finish and flat roof are out of keeping with the character of the area. It is in a prominent position, closing the view northwards in Mill Lane, preventing longer views towards the North Downs. The surrounding concrete garage blocks also detract from the streetscape.



A footpath connects Weavers Lane with Grove Road. The surfacing is in poor repair.



The metal fencing in Watercress Drive detracts from the residential character of the area.

Locally Distinctive Positive Features

Cohesive character of terraced housing on the north side of Farm Road and Greatness Lane Belt of trees to the east

Negative Features

Apartment block in Mill Lane and surrounding garages

Metal fencing in Watercress Drive

Poor surfacing and generally low environmental quality

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be the opportunity to upgrade the garage blocks as an integral part of development subject to sufficient parking spaces being provided.

In proposing new development within the Farm Road Area Character Area:

The regular building line and consistent materials of the terraces on the north side of Farm Road and Greatness should be respected

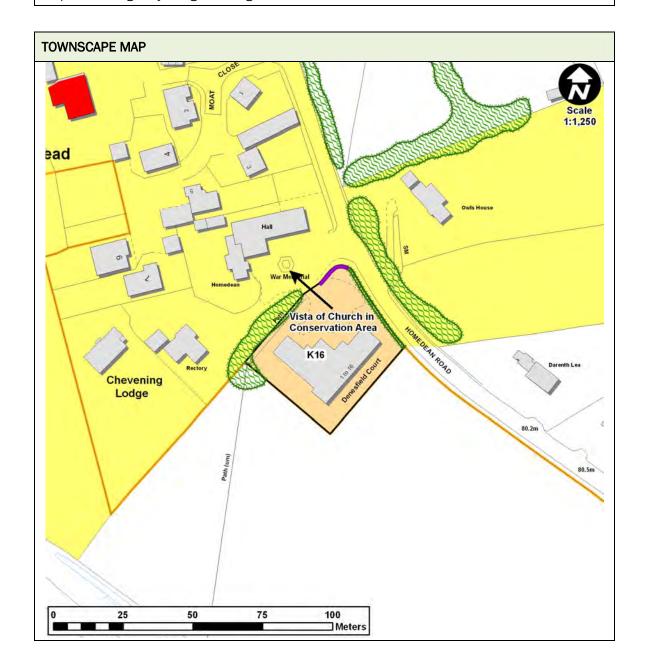
Mature trees and hedges which contribute to the character of the area should be retained

K16 - DENES FIELD COURT

Comprising Denes Field Court

HISTORICAL CONTEXT

The block was constructed between 1975 and 1985 on agricultural land on the edge of Chipstead village adjoining the village hall.



Locally Distinctive Contextual Features	
Age of buildings	Around 1980
Type of buildings	Apartment block
Main uses	Residential
Building heights	One - two storeys
Prominent building materials	Red brick, white framed windows and brown tiled roof
Predominant boundary treatments	Brick wall and hedges
Open space/ vegetation	Trees to west corner. Open countryside to south and west. Tree belt to the east of Homedean Road.



The red brick building has a hipped steeply pitched plain brown tiled roof with forward facing gables. It is arranged in an L shape around a gravel landscaped parking area.

The site is in a sensitive location adjoining Chipstead Conservation Area to the north and open countryside to the south and west. The low scale and traditional materials and roofline minimise any impact on the conservation area, although the wide elevation blocks vistas into the conservation area from Homedean Road.



The site is enclosed by a brick wall (above) to the north and clipped hedges and trees on the remaining boundaries which creates a soft edge to the built up area.

Locally Distinctive Positive Features

The low scale, traditional design and materials minimise any impact on the setting of the Chipstead Conservation Area

The wall and hedge boundaries are sensitive to the location, the hedge creating a soft edge to the built up area

Trees to the west and to the east side of Homedean Road provide a landscaped setting for the building

Negative Features

Traffic noise from the A25 and M25

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Dene's Field Court Character Area:

The consistent design themes and harmonious palette of red brick, white framed windows and brown tiled roof should be respected

Mature trees which contribute to the character of the area should be retained

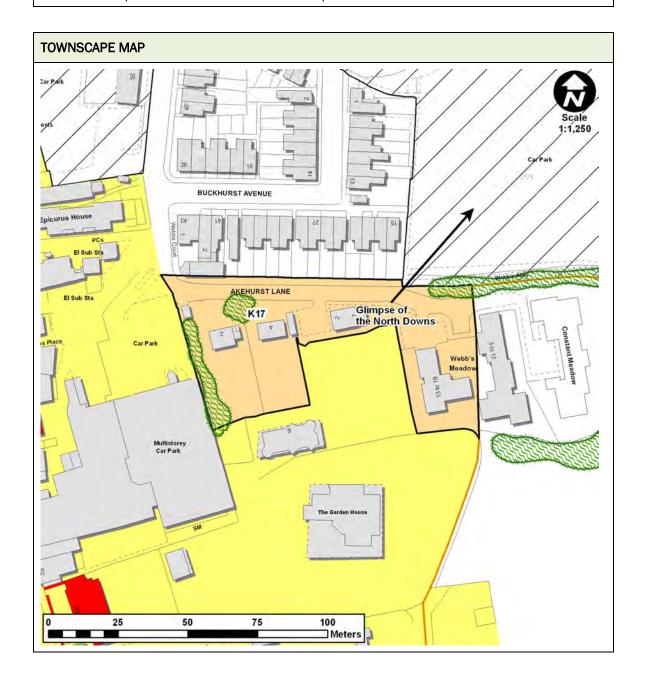
The setting of the Chipstead Conservation Area should be protected or enhanced

K17 - AKEHURST LANE

Comprising Akehurst Lane

HISTORICAL CONTEXT

Akehurst Lane follows the line of the historic Webb's Alley. The western end was developed in the early 1900s but the original terraced properties have been replaced with three detached houses. The apartments at the eastern end are post 1990.



Locally Distinctive Contextual Features	
Age of buildings	1990+
Type of buildings	Detached houses and apartment blocks
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Red and brown brick, brown roof tiles
Predominant boundary treatments	None
Open space/ vegetation	Tree belt adjoining Webb's Alley, some soft landscaping



The apartment blocks face onto Akehurst Lane or landscaped parking areas and are set close to the road with some soft landscaping. Tall trees are visible over and between the buildings. The brown brick elevations have orange brick details and dark wood framed windows. The hipped roofs are tiled with some forward facing gables. The area has a relatively quiet residential character despite its proximity to the town centre. The consistent design and materials creates a coherent character and sense of place.





Two detached houses are set back from the road behind partially enclosed front gardens and driveways on the south side of the entrance to Akehurst Lane. These houses are of different styles and materials.



The area adjoins the Conservation Area which here has a commercial character. The new Waitrose dominates the townscape to the west. To the north standard metal railings run along Webb's Alley. The view north is enclosed by the rear of the early 20th century terraced cottages but there are glimpses over the car park of the North Downs. The setting for the area is an eclectic mix of town centre uses, Akehurst Lane forming part of a residential enclave.





Locally Distinctive Positive Features

Trees are visible between and above the buildings

There is no through traffic and the development has a relatively quiet, residential character despite its proximity to the town centre

There are glimpses of the North Downs

Webb's Alley is a historic access to Knole Park

Negative Features

Railings do not enhance the historic character of Webb's Alley

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Akehurst Lane Character Area:

Mature trees which contribute to the character of the area should be retained

The setting of the High Street Conservation Area should be protected or enhanced

K18 - MOREL COURT

Comprising Morel Court and Bradbourne Road (part)

HISTORICAL CONTEXT

A post 1990 redevelopment.



Locally Distinctive Contextual Features	
Age of buildings	Post 1990
Type of buildings	Terraced and semi detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Yellow brick, red/orange brick details, brown tiled roofs
Predominant boundary treatments	Open and some walls and hedges
Open space/ vegetation	Some soft landscaping





Morel Court is a compact development of terraced and semi detached two storey properties arranged around a shared access and parking area (above) and facing onto Bradbourne Road (below right). The properties are yellow brick with moderately steeply pitched plain tiled gabled roofs. The intimate scale of the buildings, compact layout, yellow brick elevations, roofline, red/orange brick details around windows and doors, forward facing gables and decorative shaped barge boards reflect the scale and character of Victorian cottages in the vicinity (below). The buildings fronting onto the road are set behind enclosed front gardens which maintain the historic, enclosed character of Bradbourne Road. The development is enhanced by good quality surfacing of block paving and granite setts. Trees are visible to the east and there is some soft landscaping at the entrance.







Locally Distinctive Positive Features

Consistent designs and materials create cohesive character.

The scale, compact layout, materials, design details and enclosed front gardens facing onto the road reflect those of the Victorian buildings in the surrounding area

Good quality surfacing

Quiet residential character

Negative Features

No significant detractors

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Morel Court Character Area:

The consistent design themes and harmonious palette of yellow brick, red/orange brick details and brown roof tiles should be respected

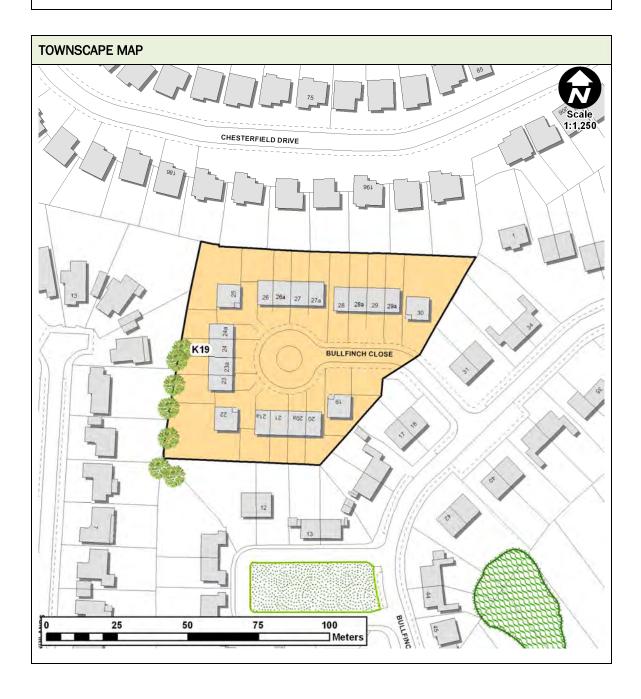
Mature trees which contribute to the character of the area should be retained

K19 BULLFINCH CLOSE WEST

Comprising Bullfinch Close (part)

HISTORICAL CONTEXT

The modern square has recently been developed as part of the redevelopment of the 1950s housing in Bullfinch Close.



Locally Distinctive Contextual Features	
Age of buildings	1990's+
Type of buildings	Semi detached and terraced
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Red and yellow brick and red tiled roofs
Predominant boundary treatments	None
Open space/ vegetation	None



The redeveloped part of Bullfinch Close has echoes of the planned 1950's 'square' with symmetrical groups of two storey houses set back from the road on a regular building line with hipped roofs, use of a limited harmonious range of materials and arranged in a 'square' around the turning head of the cul de sac. The alternating use of contrasting red and yellow brick details adds interest to the design.

Some trees are visible above the roofline to the west.

Locally Distinctive Positive Features

Unity of the two storey houses arranged around the cul de sac turning head

Repeated building designs on a regular building line give a uniform character and sense of place with little harm from unsympathetic additions, alterations or materials

Consistent use of materials including red and yellow brick and red plain tiled roofs and white window frames

Mature trees which contribute to the character of the area should be retained

Negative Features

No significant detractors

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Bullfinch Close west Character Area:

The unity of the two storey houses arranged around the cul de sac should be respected

Development should be set back from the road

The harmonious palette of red and yellow brick and red plain tiled roofs should be respected

The characteristic designs and roof profile should be respected

L COMPACT TOWNHOUSES AND APARTMENTS CHARACTER AREAS



This includes both terraced townhouses and apartment blocks of usually three or more storeys. The height and scale of the developments gives them a distinctive enclosed character.

The townhouses are terraced and have facades which appear tall and narrow. They are usually set close to the road immediately behind parking areas or pavements, sometimes with some soft landscaping. They are generally of uniform design and date from the 1990s onwards.

Appartment blocks are more variable in design, age and layout, some facing onto the road, others set within communal open space or parking areas. Some schemes incorporate both townhouses and apartments.



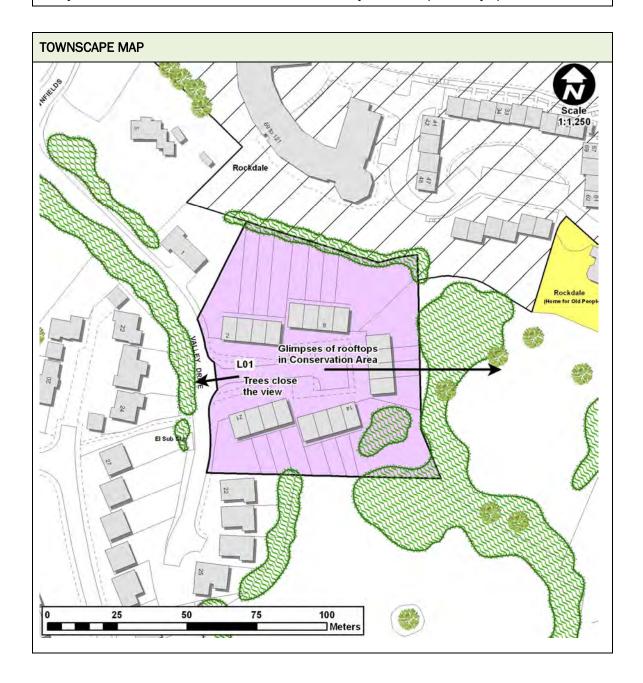
Example of Compact Town Houses and Apartments Development Layout

LO1 - VALLEY DRIVE

Comprising Valley Drive (part)

HISTORICAL CONTEXT

Valley Drive was constructed off Crownfields in the early 1970s on previously open land.



Locally Distinctive Contextual Features	
Age of buildings	Early 1970s
Type of buildings	Terraced
Main uses	Residential
Building heights	Two - three storeys
Prominent building materials	Buff brick, white weatherboard style
Predominant boundary treatments	Open plan
Open space/ vegetation	Trees to the rear of buildings.





The buildings face onto grassed frontages and driveways and are set on a staggered building line at angles to the road. They are of uniform design constructed of buff brick with white sections, wide glazing and a balcony at first floor level with integral garages below. The uniform gabled brown tiled roofs have no chimneys. Buildings within the Conservation Area are visible on more elevated land to the rear and belts of tall trees form a backdrop to the buildings. Trees close the view to the west. The area has an inward looking, quiet residential character with no long views.

Locally Distinctive Positive Features

Inward looking residential character with no through traffic

Belts of trees form a backdrop to the buildings

Glimpses of rooftops in the Conservation Area

Negative Features

Parked cars clutter the townscape

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Valley Drive Character Area:

The harmonious palette of buff brick, white weatherboard and brown roof tiles should be respected

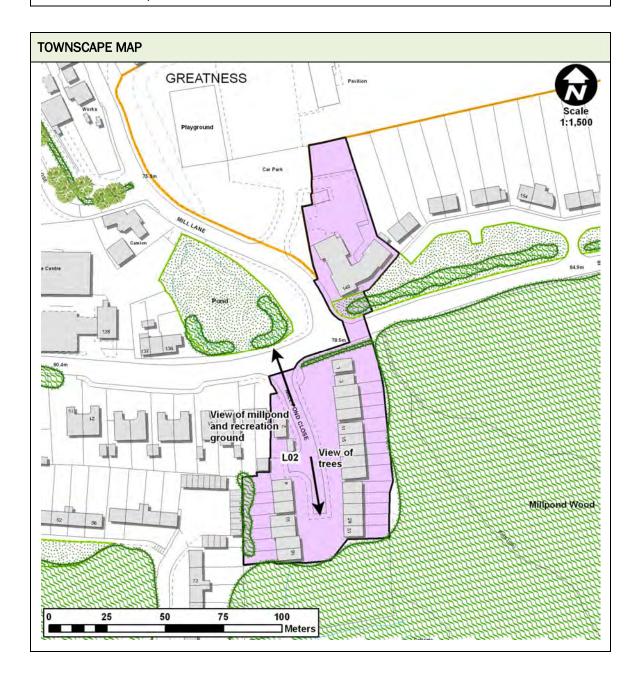
Mature trees which contribute to the character of the area should be retained

LO2 - MILL POND CLOSE

Comprising Mill Pond Close, Mill Lane (part) and Seal Road (part)

HISTORICAL CONTEXT

Post 1990s developments.



Locally Distinctive Contextual Features	
Age of buildings	1990+
Type of buildings	Terraced and detached
Main uses	Residential
Building heights	Two - three storeys
Prominent building materials	Yellow brick with orange brick details, white render, brown roof tiles
Predominant boundary treatments	None
Open space/ vegetation	Buildings face onto a shared access and parking. Woodland to south and east. Views of recreation ground to north.



The three storey terraced town houses in Mill Pond Close are constructed of yellow brick with orange brick bands and terracotta diamond plaques. The top storey is rendered and painted white. Regularly spaced vertical or horizontal windows on the second storey have black juliette balconies and decorative stone lintels. The doorways are recessed and the integral garage doors are painted black, blue, red and white. Forward facing gables break up the roof line. The gabled brown tiled roofs are of a shallow pitch. Some properties have mono pitch tiled porch canopies supported on white wooden brackets.



The three storey buildings are on relatively low ground, close to a main road and backed on two sides by tall trees. The white top storey helps to reduce the appearance of the height of the development. The buildings face over a shared access, pavement and paved parking areas creating an enclosed residential character. The regular windows and balconies are symmetrically arranged.

The consistent design and materials and the coordinated surfacing and landscaping contribute to a cohesive character and identity, although cars parked on the road and frontages clutter the townscape. There is traffic noise from the A25.



Two storey detached houses flank the entrance reflecting the one-two storey height of other buildings on the A25. The design details and materials coordinate with the rest of the development.



On the north side of Seal Road, a three storey apartment development is set back behind a deep grass verge with trees and wooden picket fencing, maintaining the curved building line of earlier development to the east. The set back, staggered front elevations, stepped shallow pitch roof and painted rendered sections minimise the apparent scale of the building.





The woodland to the south and east frame the views (above left) and form a backdrop to the buildings, the height of the trees dominating over the architecture. To the north (above right) there is a view across the A25 of the restored Mill Pond and beyond to the recreation ground.

Locally Distinctive Positive Features

Mill Pond Close has a cohesive character created by the similar scale, repeated materials and design themes including Juliette balconies, brick bands, porches and terracotta plaques Woodland to the east and south

The surface treatments are in good condition

There is no through traffic in Mill Pond Close which has an inward looking, enclosed residential character

The apartments on Seal Road are set back behind a deep frontage maintaining the building line.

The scale of the apartments is minimised by the staggered elevations, roofline and painted sections.

Negative Features

Traffic on the road and frontages clutters the townscape

Traffic noise from the A25

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Mill Pond Close Character Area:

The harmonious palette of yellow brick with orange brick details, white render and brown roof tiles should be respected

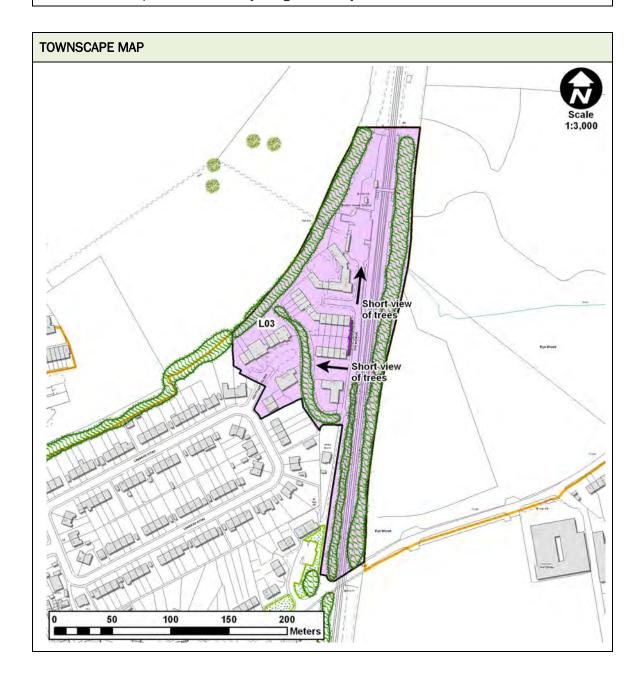
Mature trees and open space which contribute to the character of the area should be retained

L03 - THE SIDINGS

Comprising The Sidings and Centenary Close.

HISTORICAL CONTEXT

Post 1990 developments on land adjoining the railway.



Locally Distinctive Contextual Features	
Age of buildings	1990+
Type of buildings	Terraced houses and apartment blocks
Main uses	Residential
Building heights	Two - three storeys
Prominent building materials	Red/brown, yellow and red brick, cream painted render, slate, red and brown tiled roofs.
Predominant boundary treatments	Open to road.
Open space/ vegetation	Courtyards. Tree belts to east, north and west.



Centenary Close (left) is a two – three storey cul de sac development leading off Lennard Road. The attached houses and apartment blocks are finished in red/brown brick with some sections rendered and painted cream with grey or red tiled hipped roofs with prominent pitched dormers. Tiled monopitch porch canopies are supported on white wooden pillars and brackets. Contrast orange brick bands further enliven the facades.



The Sidings (left) is a development of three storey town houses and apartments arranged along short cul de sacs, shared accesses and courtyards accessed via Station Road. As in Centenary Close a variety of finishes and design details enliven the front elevations which are constructed of yellow or red brick. Red brick details, prominent dormers and gable ends, shaped bargeboards, brick pillars, white struts and balconies provide interest, although design details vary with each block. The brown tiled roofs are gabled or hipped. The limited range of materials, repeated design themes and consistent scale of the buildings contribute to the cohesive character of the development. Coordinating front and garage doors are also unifying elements.





In Centenary Close and The Sidings (above), the buildings face over shared accesses and are generally close to the road behind paved parking spaces, strips of grass and shrub planting. In the Sidings, some buildings face onto wider grassed areas with parking situated to the rear accessed through covered arches. A variety of surface treatments adds interest.

Tree belts to the east, north and west form a backdrop to the developments and together with the soft landscaping provide a contrast to the brickwork, softening the townscape. The layout of the buildings and the surrounding trees contribute to an inward looking residential character with no long views. The railway is screened from the Sidings by a panel fence and a few trees.



A decorative red brick wall and hedge forms a boundary on the east side of the development, further enclosing and unifying the development.

Locally Distinctive Positive Features

The area has a cohesive character created by the similar scale, repeated materials and design themes including dormer windows, balconies, brick bands, porches and hung tiles

Tree belts to the east and west enclose the development, forming a backdrop to the buildings, a contrast to the brickwork and softening the townscape. Soft landscaping and grass further enhance the character

The various surface treatments are in good condition

Fencing screens the development from the railway line

The brick wall and hedge is a unifying feature in the Sidings and encloses the development

There is no through traffic and the developments have an inward looking, enclosed residential character

Negative Features

No significant detractors

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Sidings Character Area:

The consistent design themes and harmonious palette of red/brown, yellow and red brick, cream painted render, slate, red and brown roof tiles should be respected

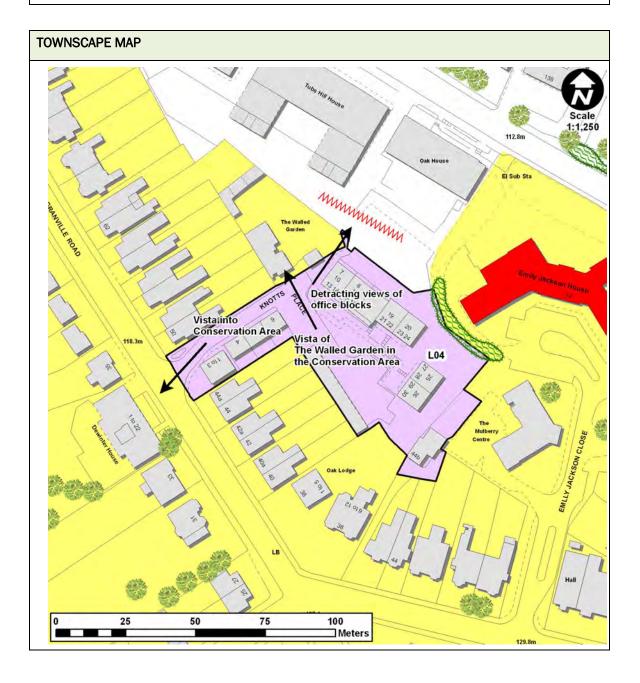
Mature trees which contribute to the character of the area should be retained

LO4 - KNOTTS PLACE

Comprising Knotts Place

HISTORICAL CONTEXT

The development is built on the former grounds of Oak Lodge on the site of the carriage entrance and stables. It is named after a miller who owned a windmill on Tubbs Hill in the early 19th Century. By 1880 the mill had been moved to West Kingsdown.



Locally Distinctive Contextual Features	
Age of buildings	1960s
Type of buildings	Apartment blocks
Main uses	Residential
Building heights	Four storeys
Prominent building materials	Brown brick, red hung tiles, white doors and windows, balconies with black railings.
Predominant boundary treatments	None
Open space/ vegetation	The buildings face onto the access behind a clipped hedge and landscaped frontage





The four storey blocks are stepped down to minimise their visual impact. The appearance of the wide front elevation is broken up by white doors and windows, external stairways and balconies at the first and second floor. The top storey is within the tile hung mansard roofline. The frontage is landscaped with paved pathways, clipped hedges, grass and shrubs. The development faces away from the commercial and community buildings in Tubs Hill and, with no through traffic, has a relatively quiet, inward looking, residential



The area is in a sensitive location immediately abutting the Conservation Area. There are vistas of the old gardener's cottage (named The Walled Garden) and of the old garden walls to the north. A belt of trees forms a back drop to the development on the west side.

The tall office block on Tubbs Hill has a dominant impact on the setting of this area (left).



The blocks face over a landscaped parking area, enclosed by hedges and walls, which is in good condition.

Locally Distinctive Positive Features

The area has a cohesive character created by the uniform blocks with consistent colours and materials.

The regular windows, balconies, stairways and mansard roof break up the appearance of the broad façades.

Tree belts to the east and soft landscaping enhance the area

The surface treatments are in good condition

There is no through traffic and the development has an inward looking, enclosed residential character enhanced by the L shaped layout facing away from Tubs Hill and enclosure of the parking area by walls and hedges

There is an attractive vista into the Conservation Area.

Negative Features

Tall office blocks on Tubbs Hill have a dominant impact on the setting of the area

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Knotts Place Character Area:

The consistent design themes and harmonious palette of brown brick and red hung tiles should be respected

Mature trees which contribute to the character of the area should be retained

The setting of the Conservation Area should be protected or enhanced

L05 - THE ACORNS

Comprising The Acorns

HISTORICAL CONTEXT

The Acorns is an infill development of the 1990s on formerly vacant land adjoining the railway.



Locally Distinctive Contextual Features	
Age of buildings	1990+
Type of buildings	Retirement apartment blocks
Main uses	Residential
Building heights	Two - three storeys
Prominent building materials	Brown brick, brown tiled roofs, grey/brown hung tiles, black paint.
Predominant boundary treatments	Open plan, shrubs and black railings.
Open space/ vegetation	Tree belt along the railway line.



The development comprises two apartment blocks, one facing Bradbourne Park Road and the other set down behind it. The access road dips and both blocks are below the level of Bradbourne Park Road. They are arranged around a paved, landscaped parking area. A tree belt, visible over and around the blocks, screens the railway to the west and car park to the south, giving the area an inward looking character.



The blocks have brown brick elevations with brown/grey hung tiles and orange brick details, prominent tile hung bays with black gables, hipped brown tiled roofs and black window frames.

Black railings and soft landscaping enhance the character.

Locally Distinctive Positive Features

The apartment blocks have a cohesive character created by the repeated materials and design themes including brown/grey hung tiles and orange brick details, prominent tile hung bays with black gables, hipped brown tiled roofs and black window frames

The low lying site minimises the impact on the surrounding area

Trees are visible around and above the buildings, screening the railway and car park

There is no through traffic and the development has a relatively quiet, residential character

Black railings and landscaping enhance the character

Negative Features

No significant detractors

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Acorns Character Area:

The consistent design themes and harmonious palette of brown brick, brown tiled roofs, grey/brown hung tiles and black paint work should be respected

Mature trees which contribute to the character of the area should be retained

L06 - MEADOW CLOSE

Comprising Meadow Close

HISTORICAL CONTEXT

A 1960s development on previously open land.



Locally Distinctive Contextual Features	
Age of buildings	1960s
Type of buildings	Terraced
Main uses	Residential
Building heights	Two - three storeys
Prominent building materials	Buff brick, brown roof and hung tiles
Predominant boundary treatments	Walls or open plan
Open space/ vegetation	Tree belts to the south and north. Trees within gardens.



This compact cul-de-sac development comprises a staggered terrace of two storey houses facing onto Lambarde Road and a row of 3 storey terraced town houses to the rear facing over the access. A bungalow flanks the southern side of the cul-de-sac.

The town houses (above) are of buff brick with shallow brown tiled gabled roofs. The large windows and regular chimneys contribute to the cohesive character whilst different coloured front and garage doors and tile hung stripes add variety to the elevation.

The two storey houses (below left and right) are set back behind landscaped front gardens enclosed by brick walls. They are of uniform design with buff brick elevations, hung with brown tiles, large windows and shallow brown tiled gabled roofs which step down towards the north. The uniformity of design creates a cohesive character which is enhanced by the planting.





Locally Distinctive Positive Features

The area has a cohesive character created by the repeated designs and in particular the regular roofline, windows and chimneys

Brightly coloured doors and vertical sections enliven the elevations of the town houses

Tree belts to the south and north and trees within gardens

The town houses have no through traffic and an inward looking, residential character

Negative Features

Flat roofed garages and parked cars harm the character

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Meadow Close Character Area:

The consistent design themes and harmonious palette of buff brick, brown/ red hung tiles and brown roof tiles should be respected

Mature trees which contribute to the character of the area should be retained

M CLUSTERED CUL-DE-SAC CHARACTER AREAS



Whereas development in the 1950s, 60s, 70s and early 80s often consisted of houses spaced out evenly along, and facing, the road on a relatively consistent building line, developments in Sevenoaks during the late 1980s and 1990s primarily consist of detached or attached houses, or occasionally apartments, set along an uneven building line or at angles to the road. The different roof forms and details often give interesting and varied roofscapes. Properties often front directly onto the pavement/road or shared surface or are set behind a shallow unenclosed front garden of low planting and have private enclosed space to the side or rear. Houses have parking spaces or garages. The steep roofs and more compact form give the development a more enclosed urban character. The urban form is softened by the use of short curved cul-de-sac layouts which keep traffic speeds low and often encourage shared road use for pedestrians and cars. Sometimes the access roads will be paved in a contrasting colour to emphasise this shared use. The enclosed cul de sac layouts create a quiet, private character.

The curved street layout combined with the variable building line, also creates a series of enclosed spaces and changing vistas and views which to some extent replicates the ad hoc development found in traditional town and village centres. Whilst a variety of materials and building designs are used, the overall form, materials, scale and character is generally very cohesive.

Properties are finished in a variety of traditional materials with relevance to the Sevenoaks and Kent vernacular such as yellow or red/brown bricks, weatherboarding, white painted render and hanging clay tiles. The designs also incorporate traditional details such as dormer or half dormer windows, arched brickwork over doors and windows, contrasting brick string courses and chimneys. Windows and doors are often well aligned with each other and the dominant areas of brickwork over glazing gives the facades a robust appearance. The consistent scale, use of materials and detailing contribute to a cohesive character.



Example of Clustered Cul-de-sac Layout

MO1 - MILL ROAD AREA

Comprising Mill Road, Plummers Croft, Bankside and Killick Close

HISTORICAL CONTEXT

The site was developed in the late 1980s following the demolition of the 19th century Longford corn mill. In the 1930s this was the site of a popular Lido.



Locally Distinctive Contextual Features	
Age of buildings	Late 1980s
Type of buildings	Detached, semi detached and terraced
Main uses	Residential with commercial unit by entrance.
Building heights	Two storeys
Prominent building materials	Brown, red and yellow brick with contrast details and brown tiled roofs
Predominant boundary treatments	Open plan
Open space/ vegetation	Trees in and around the development. Soft landscaping within the gardens. Access to public open space to the north.





The houses are close together, clustered around short culde-sacs and shared accesses behind paved driveways and soft landscaping. This arrangement contributes to an inward looking residential character. Each cul-de-sac has a distinct identity although there are common design themes throughout the development resulting in a cohesive character.

The majority of the two storey houses are detached or attached, constructed of red, brown or yellow brick with variations in the brick bonds and decorative finishes. These include half timbering, white painted render, contrast brick details and herringbone and basketweave brickwork. The houses have brown or red tiled gabled or half hipped roofs, with forward facing gables. A number have single storey bay windows and forward projecting ground floor garages and porches with pitched tiled roofs.





The houses in Killick Close are semi-detached or terraced and are of simpler design in yellow or red brick with contrast brickwork and gabled brown tiled roofs. The monopitch porch canopies are supported on white wooden posts or brackets. This street has a more uniform character and even building line than the rest of the area.



The entrance to Mill Road has a commercial character on the south side as a car showroom occupies the site of the former corn mill. Low soft landscaping fronting onto the pavement and trees to the rear soften the appearance of the warehouse.

Landscape





Belts of trees to the south and west enclose the views and are visible over the houses. These trees and the soft landscaping within the development enhance the character of the area. There is direct access to green open space and the countryside to the north.

Locally Distinctive Positive Features

Tightly clustered houses informally arranged around cul-de-sacs and shared accesses behind paved driveways and soft landscaping

Traditional materials represent the local vernacular with traditional brick, tile and roof details

Repeated designs but variations give each street a distinct identity

Tree belts to the south and west enclose the views, forming a backdrop to the buildings. Trees and soft landscaping enhance the character of the area.

The surface treatments are in good condition

There is no through traffic and the development has an inward looking residential character

Negative Features

Traffic noise from the M26 to the north west

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Mill Road Area Character Area:

The harmonious palette of brown, red and yellow brick with contrast details and brown roof tiles should be respected

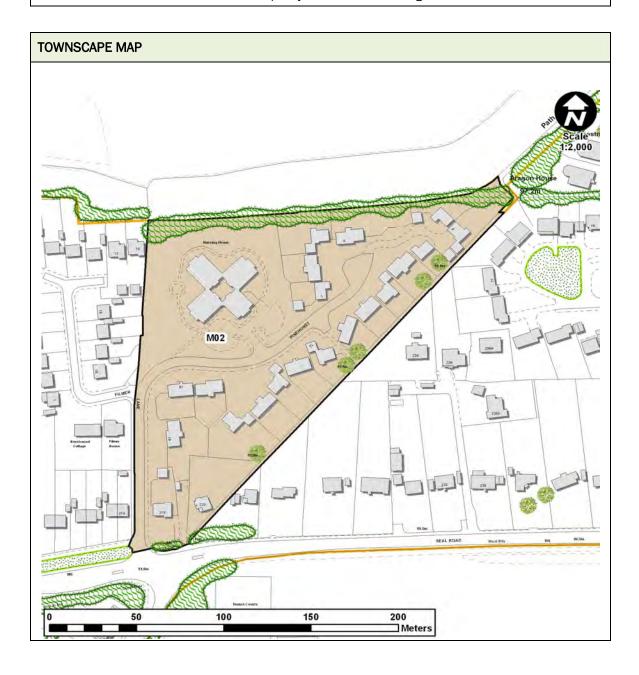
Mature trees which contribute to the character of the area should be retained

M02 - PINEHURST

Comprising Pinehurst and Filmer Lane (part)

HISTORICAL CONTEXT

Pinehurst was constructed on a former quarry on the northern edge of the town after 1990.



Locally Distinctive Contextual Features	
Age of buildings	1990+
Type of buildings	Detached
Main uses	Residential and nursing home
Building heights	One to two storeys
Prominent building materials	Brown and buff brick, orange brick, brown roof tiles, dark timber.
Predominant boundary treatments	Open plan
Open space/ vegetation	Grassed treed open spaces within the development. Tree belt to the north.



The houses are clustered at angles to the road behind paved driveways or open plan grassed frontages. The curved street and trees prevent long views and the area has an inward looking quiet residential character. The grassed open spaces, trees and shrubs provide interest in the predominantly brown townscape. A variety of surfacing also adds interest.



The houses are of repeated designs with brown brick elevations with orange brick details. Brick pillars, timber cladding and front facing gables are distinctive features. The wide windows have dark wood frames. The gabled moderately steep pitched plain tiled roofs have chimneys near the ridge. Single storey monopitch porches project forward. The distinctive design contributes to the coherent character.



The single storey nursing home nestles amongst open plan landscaped gardens and parking areas at the lower western end of the cul de sac, creating a verdant entrance to the development. The belt of trees to the north form a backdrop, enclosing the space.

Locally Distinctive Positive Features

Tightly clustered houses informally arranged around cul-de-sacs and shared accesses behind paved driveways and soft landscaping

Traditional materials represent the local vernacular with traditional brick, tile and roof details

Repeated designs contribute to a cohesive character

Inward looking, quiet residential character with no through traffic

Open spaces, mature trees and the tree belt to the north contribute to a verdant character which contrasts with the predominantly brown townscape

A variety of surfacing adds interest

Negative Features

No significant detractors

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Pinehurst Character Area:

The harmonious palette of brown and buff brick, orange brick, brown roof tiles and dark stained timber should be respected

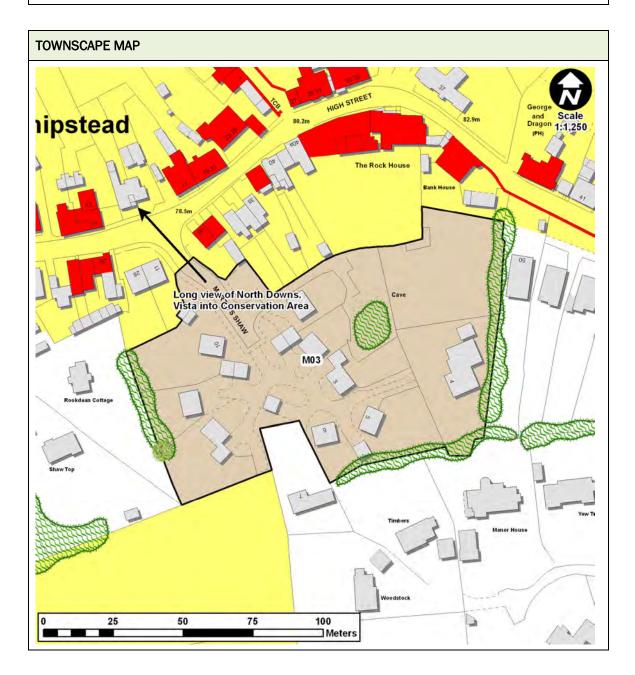
Mature trees which contribute to the character of the area should be retained

M03 - MARTIN'S SHAW

Comprising Martin's Shaw

HISTORICAL CONTEXT

Martin's Shaw occupies the site of the Chipstead caves which were formerly in the grounds of Bank House and were excavated in the 19th and 20th centuries for the sandstone used in the whitening works which was operated by the Martin family.



Locally Distinctive Contextual Features	
Age of buildings	1975-85
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Red/brown brick, painted render in pastel shades, roof tiles, red/brown hung tiles.
Predominant boundary treatments	Open plan
Open space/ vegetation	Trees, shrubs and small grassed areas.



The houses are clustered at angles to the road behind paved driveways or open plan grassed frontages. The area has quiet, intimate, residential character with no through traffic but some road noise from the High Street and motorway to the north. The grassed open spaces, trees and shrubs provide interest and soften the townscape. Trees form a backdrop to the houses enclosing the view to the south. The tarmac and gravel surfacing retains the informal character. The entrance is enclosed by old brick walls and landscaping.



The two storey houses are tile hung on the upper storey and have pitched porches or porch canopies supported on wooden brackets. The quite steeply pitched gabled roofs are brown tiled. The houses are of various designs but have a cohesive character due to the consistent scale and materials.



The site rises towards the south allowing long views towards the North Downs and short vistas into Chipstead Conservation Area. The set back of the houses from the High Street, the retention of old walls at the entrance and the landscaping ensure that this development does not harm the historic character of the Conservation Area.

Locally Distinctive Positive Features

Tightly clustered houses informally arranged around a cul-de-sac behind paved accesses or open frontages

Traditional materials represent the local vernacular

The consistent scale and use of materials contribute to a cohesive character

Quiet, intimate residential character with no through traffic

Grassed areas, mature trees and shrubs soften the townscape and trees enclose the development to the south

The tarmac and gravel surfacing enhances the informal character

There are long views to the north of the North Downs and vistas into the Conservation Area

The set back from the High Street, the old walls and landscaping protect the character of the Conservation Area

Negative Features

Some traffic noise from the High Street and the M26 to the north.

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Martin's Shaw Character Area:

The harmonious palette of white painted render or pebbledash, half timbered gables, hung tiles, brown brick and plain brown roof tiles should be respected

Mature trees which contribute to the character of the area should be retained

Views of the North Downs should be protected

The setting of the Chipstead Conservation Area should be protected or enhanced

MO4 - LANSDOWNE ROAD

Comprising Lansdowne Road (part)

HISTORICAL CONTEXT

This development was constructed post 1990 on former playing fields.



Locally Distinctive Contextual Features	
Age of buildings	1990+
Type of buildings	Detached and semi-detached.
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Brown brick, red/brown roof tiles, white timber window frames and weatherboard.
Predominant boundary treatments	Open plan
Open space/ vegetation	Playing field to the south west enclosed by trees. Treed open space east of Lansdowne Road.





Two detached houses are set at angles to the road at the entrance. The remaining buildings are constructed either side of the cul-de-sac with a garage block at the northern end. The semi detached houses on the south side are on an even building line on relatively narrow plots whilst the detached houses to the north are on an uneven line on wider plots. The properties are behind landscaped frontages, some partially enclosed by hedges. The development has a tranquil, inward looking character enhanced by the absence of through traffic and the low height and intimate scale of the buildings. The road is block paved which enhances the residential character.

The houses are of various repeated designs with steep pitched tiled gabled roofs, distinctive pitched dormer windows with white weatherboarding, side chimney stacks, and mellow brown brick work, some of which is rendered and painted white. Occasional forward facing gables add interest in the streetscape. The semi detached properties have prominent single storey garages which project forward. The development has a strongly cohesive character due to the repeated designs and materials. The white woodwork is a particular feature.





This small clustered development is accessed via a curved road enclosed by trees, hedges and a brick wall contributing to the private, residential character. There are glimpses through to the playing fields. Within the development there are views to the north of trees and longer views of the North Downs. The landscaping and verdant setting enhances the character of the area.

Locally Distinctive Positive Features

Tightly clustered houses arranged around cul-de-sac behind landscaped frontages, some partially enclosed by hedges

Traditional materials represent the local vernacular

Repeated designs and materials give a strong cohesive character

Inward looking, quiet residential character with no through traffic

Open space, mature trees, hedges, grass and shrub planting contribute to the landscaped setting.

The paved surfacing enhances the development contributing to the residential character

View to the north west towards the North Downs

Negative Features

No significant detractors

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Lansdowne Road Character Area:

The harmonious palette of brown brick, weatherboard, red/brown roof tiles and white timber window frames should be respected

Mature trees which contribute to the character of the area should be retained

Views of the North Downs should be protected

M05 - HITCHEN HATCH PLACE

Comprising Hitchen Hatch Place

HISTORICAL CONTEXT

Hitchen Hatch Lane is a historic route which wound from the Vine area of Sevenoaks past woods and fields to the Tubs Hill area. Development along the southern side began in the late 19th Century with the construction of substantial houses set within large plots. This section was developed from the 1930s onwards. Hitchen Hatch Place is constructed on the site of earlier houses.



Locally Distinctive Contextual Features	
Age of buildings	2011
Type of buildings	Detached houses
Main uses	Residential
Building heights	Two - three storeys
Prominent building materials	Yellow or red/brown brick with brown or grey roof tiles
Predominant boundary treatments	Open plan
Open space/ vegetation	Individual specimen trees retained









The two/three storey houses are set close together on an uneven building line either side of the access road behind narrow unenclosed landscaped frontages and facing Hitchen Hatch Lane behind a deeper grassed frontage and retaining wall. The buildings are constructed of yellow or red/brown brick with brown or grey tile steeply pitched gable roofs with forward facing gables and pitched dormers. They incorporate a number of neoclassical design features including broken pediments, stone porches on pillars, balconies and balustrades, friezes, motifs and bands. Classical tall arched windows and divided pane sash windows also feature.

The development has a cohesive and distinctive character due to the repeated neo-classical design themes, consistent materials and scale. However the character of the area juxtaposes the generally enclosed verdant character of Hitchen Hatch Lane by virtue of the scale and mass of the buildings and clustered layout with open frontages.

Locally Distinctive Positive Features

Tightly clustered houses informally arranged around a cul-de-sac behind paved accesses or open frontages

Traditional materials represent the local vernacular

The consistent scale and use of materials contribute to a cohesive character

Residential, inward looking character with no through traffic

Cohesive and distinctive character with common design themes, colours and materials and consistent building height and scale

Trees visible behind and above the building

Negative Features

The development dominates the streetscene and detracts from the enclosed, verdant, character of Hitchen Hatch Lane

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Hitchen Hatch Place Character Area:

The harmonious palette of yellow or red/brown brick with brown or grey roof tiles should be respected

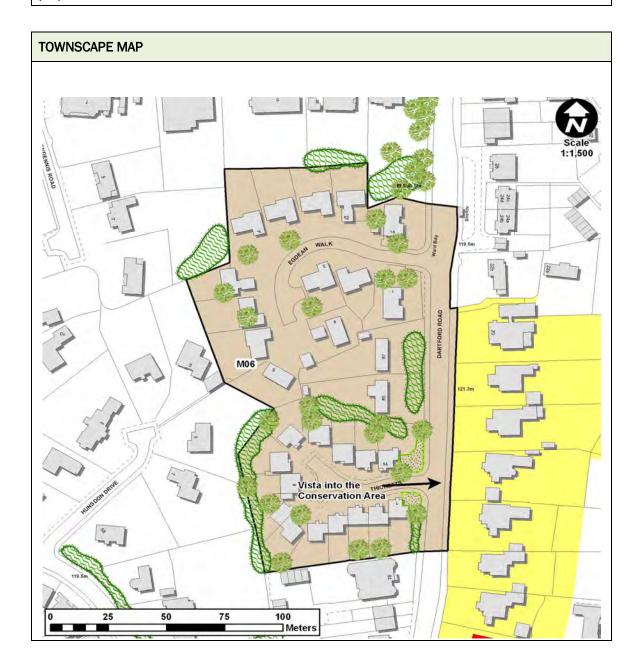
Mature trees which contribute to the character of the area should be retained and enhanced and additional landscape features added to the frontage of Hitchen Hatch Lane and lining the access road

M06 - THE THICKETTS

Comprising The Thicketts, Egdean Walk and Dartford Road (part)

HISTORICAL CONTEXT

These two post 1990 cul-de-sacs were built within the plots of two demolished 19th Century properties. The two detached houses in Dartford Road were constructed in the 1950s.



Locally Distinctive Contextual Features	
Age of buildings	1950s and 1990s +
Type of buildings	Detached
Main uses	Residential
Building heights	One – two storeys
Prominent building materials	Red/brown, brown, orange and grey brick, white render, orange hung tiles
Predominant boundary treatments	Open plan, hedges, wooden fences and brick walls
Open space/ vegetation	Grassed frontages, hedges and trees within and around the developments





The Thicketts is a short curved cul-de-sac accessed off the Dartford Road (above left). The attached and detached two storey houses are set on an uneven building line behind a pavement and unenclosed grass frontages with shrubs. The development has an inward looking residential character. Trees frame the development to the north and west.

The houses are of red/brown or brown brick with orange or grey brick details, dark brown window frames and tiled gabled or hipped roofs. Some have rendered white painted ground floors and some brown tile hung upper storeys. The properties have mono pitch porches.



There is a vista eastwards into the Vine Court Conservation Area (left). The development is set back from Dartford Road behind grass verges, hedges and tall trees which help to maintain the green character of this section of the Dartford Road, protecting the setting of the Conservation Area.



Egdean Walk is a curved cul-de-sac clustered development of detached two storey houses set behind grassed frontages with trees and shrubs (left). The wide front elevations have forward projecting garages, roofs which slope down to ground floor level and pitched dormer windows. The properties also have porches. The houses are red/brown brick with tile hung upper storeys and brown roof tiles, with chimneys at the side. The development has an inward looking residential character and is enhanced by trees within and around the cul-de-sac.



The entrance is flanked by two bungalows set back from Dartford Road within landscaped plots enclosed by picket fences and hedges which maintain the building line of this part of Dartford Road.



Two 1950s houses of brown brick with hipped brown tiled roofs set back behind landscaped front gardens enclosed by hedges, trees and brick walls, lie between the two cul-de-sacs. The landscaped frontage enhances the character of the street, providing a high quality setting for the Conservation Area.

Tightly clustered houses informally arranged around cul-de-sacs behind grass verges, hedges and tall trees

Traditional materials represent the local vernacular with traditional detailing

The consistent scale and use of materials contribute to a cohesive character

Residential, inward looking character of The Thicketts and Egdean Walk with no through traffic

Trees fronting Dartford Road and within and surrounding the developments

Regular building line on the Dartford Road, with buildings set back behind landscaped, enclosed front gardens, maintaining the green character of this part of Dartford Road and the setting of the Vine Court Conservation Area

Vistas into the Vine Court Conservation Area

Negative Features

No significant detractors

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Thicketts Character Area:

The harmonious palette of red/brown, brown, orange and grey brick, white render, orange hung tiles should be respected

Mature trees which contribute to the character of the area should be retained

The setting of the Vine Court Conservation Area should be protected or enhanced

M07 - FIENNES WAY

Comprising Fiennes Way and Ashburnham Close

HISTORICAL CONTEXT

A post 1990 development on formerly open land which was the site of the Sole Fields battle between rebels and royalists in 1450. Sir James Fiennes, the owner of Knole Park, was executed during the rebellion.



Locally Distinctive Contextual Features	
Age of buildings	1990 +
Type of buildings	Semi detached, detached and attached
Main uses	Residential
Building heights	One – two storeys
Prominent building materials	Buff and brown brick, brown roof tiles, red/ orange hung tile
Predominant boundary treatments	Open plan, wooden fencing along north side
Open space/ vegetation	Overlooking communal gardens. Reservoir to south east.





The two cul-de-sacs share an access with Solefield Preparatory School. The one- two storey semi-detached, detached and attached houses are of a consistent design with buff or brown brick elevations, red/brown hung tiles on the upper storey, hipped brown tiled roofs, dark wood window frames and pitched porch canopies supported on dark wooden brackets. The houses are arranged at angles to the road and facing onto shared accesses behind open plan grassed landscaped frontages. The area has a quiet, residential character with no through traffic. Trees are visible above and between the buildings. The surface is block paved.



To the north, the development overlooks the communal gardens of an earlier housing development. There are glimpses north of tree belts.

Tightly clustered houses informally arranged around cul-de-sacs behind open plan frontages

Traditional materials represent the local vernacular

Repeated designs and consistent use of materials contribute to a cohesive character

Residential, inward looking character with no through traffic

Trees visible within and around the development

Good quality surfacing

Negative Features

No significant detractors

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Fiennes Way Character Area:

The harmonious palette of buff and brown brick, red/ orange hung tile and brown roof tiles should be respected

Mature trees which contribute to the character of the area should be retained

M08 - HOLLYBUSH CLOSE

Comprising Hollybush Close and Vine Lodge Court

HISTORICAL CONTEXT

The two cul-de-sacs were constructed in the 1990s on open land adjoining Vine Lodge. This lodge building originally formed part of the Vine Court Lodge estate but the main house was demolished in the late 19th century and the area north of the Vine Cricket ground was redeveloped for housing



Locally Distinctive Contextual Features	
Age of buildings	1990+
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Yellow brick with red brick details and half timbering.
Predominant boundary treatments	Open plan
Open space/ vegetation	Grassed treed open spaces within the development. Tree belt to the north.



The two storey houses are clustered around the short curved culde-sacs behind open or enclosed landscaped grass frontages and driveways. The houses are of cohesive design with yellow brick elevations, red brick details, grey hipped roofs with forward facing gables which are painted white with half timber detailing. Shaped barge boards and finials add interest. The consistent designs, colours and details create a cohesive and distinctive character.





The clipped hedges are a particular feature of Hollybush Close. The character is enhanced by quality block paving and coordinated black lamps. Some properties are down driveways enclosed by hedges or fences. Trees enclose the view to the south, contributing to the green character (above left and right).

Vine Lodge Court is slightly more compact but faces directly onto Vine Lodge in the Conservation Area. The yellow brick buildings and grey hipped roofs reflect the style and roofline of the stone Vine Lodge thereby protecting the character of the Conservation Area.

Clustered houses informally arranged around a cul-de-sac behind paved accesses and landscaped grass frontages or open frontages

Traditional materials represent the local vernacular with traditional detailing

The consistent scale and use of materials contribute to a cohesive character and reflect the design of Vine Lodge within the Conservation Area, protecting the character of the Conservation Area

Inward looking, quiet residential character with no through traffic.

The quality surfacing and coordinated black lamps enhance the character.

The trees to the south form a backdrop to the buildings enhancing the green character of the area.

Hollybush Close has a verdant character created by the trees, open grass frontages and curving clipped hedges which are a particular feature.

Negative Features

No significant detractors

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Hollybush Close Character Area:

The harmonious palette of yellow brick with red brick details, half timbering and grey roof tiles should be respected

Mature trees and hedges which contribute to the character of the area should be retained

The setting of the Vine Court Conservation Area should be protected or enhanced

M09 - BIRCH CLOSE

Comprising Birch Close

HISTORICAL CONTEXT

The area north of Hitchen Hatch Lane comprising agricultural land, Mount Harry and Barrack Wood was laid out with large houses along curving streets in the late 19th Century. This cul-desac was a redevelopment of two late Victorian properties which were demolished post 1990.



Locally Distinctive Contextual Features	
Age of buildings	1990+
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Buff and brown brick, brown roof tiles, red or brown hung tiles and weatherboard.
Predominant boundary treatments	Hedges
Open space/ vegetation	Green verges, hedges, trees and trees to the north and west of the area.



The site slopes gently down to the north. The detached two storey houses are clustered around the short curved cul-desac and shared accesses, set back behind verges, trees and front gardens enclosed by clipped hedges. The soft landscaping is a particular feature of the area. Trees are visible behind and over the houses to the north and west.

The individually designed houses are constructed of buff and brown brick with hipped brown tiled roofs, brown or red hung tiles and weatherboard. The common design themes and materials contribute to a cohesive character.





Clustered houses informally arranged around a cul-de-sac and shared accesses, set back behind verges, trees and front gardens enclosed by clipped hedges

Traditional materials represent the local vernacular

The consistent scale and use of materials contribute to a cohesive character

Residential character with no through traffic

The trees to the north and west form a backdrop to the buildings enhancing the green character of the area

The area has a verdant character created by the trees, grass verges and curving clipped hedges. The soft landscaping is a particular feature.

Negative Features

No significant detractors

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Birch Close Character Area:

The harmonious palette of buff and brown brick, red or brown hung tiles, weatherboard and brown roof tiles should be respected

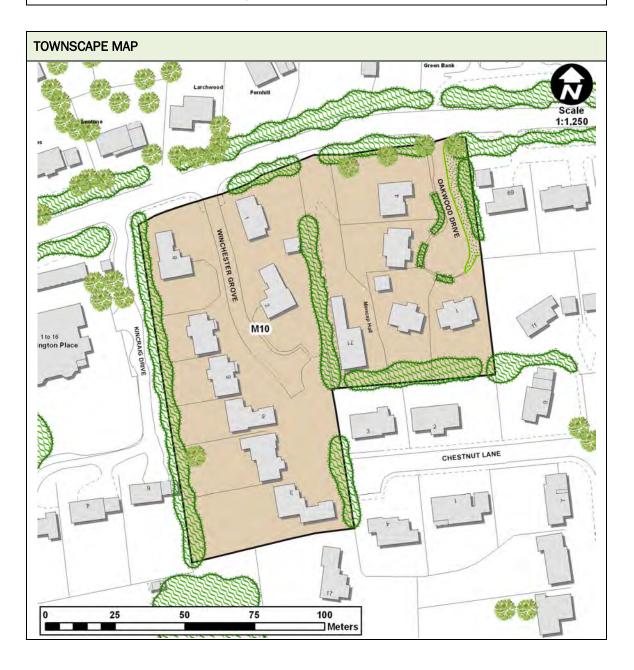
Mature trees and hedges which contribute to the character of the area should be retained

M10 - WINCHESTER GROVE AND OAKWOOD DRIVE

Comprising Winchester Grove and Oakwood Drive

HISTORICAL CONTEXT

Hitchen Hatch Lane is a historic route which wound from the Vine area of Sevenoaks past woods and fields to the Tubs Hill area. Development along the southern side began in the late 19th Century with the construction of substantial houses set within large plots. These two cul-de-sacs were constructed after 1990, in the grounds of two demolished Victorian properties.



Locally Distinctive Contextual Features	
Age of buildings	1990s +
Type of buildings	Detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Brown brick, hung tiles, brown roof tiles, half timbering, white render.
Predominant boundary treatments	Open plan with some hedges and fences.
Open space/ vegetation	Open landscaped frontages and open space, hedges and trees. Trees visible over and between the houses.





The two storey properties in Winchester Drive (above) and Oakwood Drive (below) are clustered on an uneven building line at angles to the street and shared accesses behind open plan or partially enclosed landscaped frontages. The properties have hipped or half hipped brown tiled roofs with some forward facing gables and brick elevations. They incorporate a number of decorative finishes including white painted rendered elevations, half timbering, contrast brickwork and hung tiles. Mature trees are visible between and behind the properties. The uniform height and scale of the buildings and common design features and finishes contribute to a cohesive character. The developments have a quiet, inward looking residential character with no through traffic, which is enhanced by the soft landscaping. An area of open space runs down the east side of Oakwood Drive enhancing the green character.





Clustered houses informally arranged around cul-de-sacs behind open plan or partially enclosed landscaped frontages

Traditional materials represent the local vernacular

The consistent scale, common design themes and use of materials contribute to a cohesive character

Residential, inward looking character with no through traffic

Trees within and surrounding the developments

Negative Features

No significant detractors

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Winchester Grove and Oakwood Drive Character Area:

The harmonious palette of brown brick, red/orange hung tiles, half timbering, and brown roof tiles should be respected

Mature trees which contribute to the character of the area should be retained

M11 - WHITE LODGE CLOSE

Comprising White Lodge Close

HISTORICAL CONTEXT

Hitchen Hatch Lane is a historic route which wound from the Vine area of Sevenoaks past woods and fields to the Tubs Hill area. Development along the southern side began in the late 19th Century with the construction of substantial houses set within large plots. This section was developed from the 1930s onwards. White Lodge Close was built post 1990 on the site of an earlier house.



Locally Distinctive Contextual Features	
Age of buildings	1990s +
Type of buildings	Apartment blocks constructed with the appearance of houses
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Brown brick, white render, half timbered, brown tile hung
Predominant boundary treatments	Open plan
Open space/ vegetation	Open landscaped frontages and open space. Trees visible over and between the blocks.









The two/three storey blocks are constructed with the appearance of houses and clustered around the access and parking areas behind grassed frontages some of which are partially enclosed by hedges. The blocks have wide facades of brown brick with white rendered, half timbered or tile hung sections, hipped or gabled tiled roofs with forward facing gable ends. The bulk of the buildings are reduced by stepped facades and the varied roofline. The trees visible between and over the buildings, the grassed frontages and hedges create a green character, but the character of the area juxtaposes the generally enclosed verdant character of Hitchen Hatch Lane by virtue of the scale and mass of the buildings and clustered layout with open frontages (above right).

Tightly clustered properties informally arranged around a cul-de-sac open or partially hedged frontages

Traditional materials represent the local vernacular

The consistent scale and use of materials contribute to a cohesive character

Residential, inward looking character with no through traffic

Trees visible behind and above the buildings

Negative Features

The wide access and gap in the frontage together with the bulk and raised position of the buildings detract from the enclosed, verdant character of this part of Hilden Hatch Lane

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the White Lodge Close Character Area

The harmonious palette of brown brick, white render, half timbered, brown hung tiles and brown roof tiles should be respected

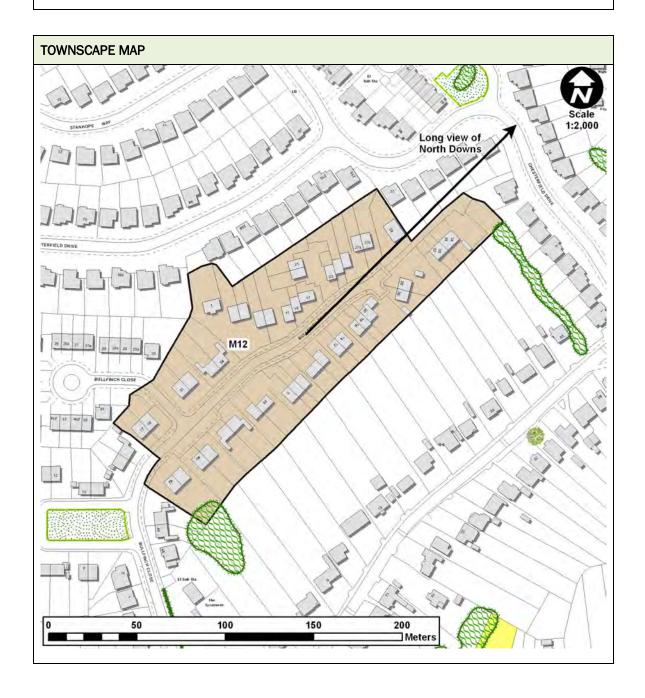
Mature trees and hedges which contribute to the character of the area should be retained and enhanced and additional landscape features added to the frontage of Hitchen Hatch Lane and lining the access road

M12 BULLFINCH DENE

Comprising Bullfinch Dene

HISTORICAL CONTEXT

The 1950s development of Bullfinch Close has been redeveloped in recent years.



Locally Distinctive Contextual Features	
Age of buildings	1950's to present day
Type of buildings	Semi detached and terraced
Main uses	Residential
Building heights	Two storeys with one bungalow
Prominent building materials	Red/orange and yellow brick wit red and brown roof tiles
Predominant boundary treatments	Low wooden post and rail fence
Open space/ vegetation	Views of the North Downs.





The two storey houses are clustered around the gently curved cul-de-sac behind open landscaped grass frontages and driveways. The houses are of repeated or cohesive designs with yellow brick elevations and red brick details, and vice versa,. Red or brown roofs, some of which are half hipped others have forward facing gables, provide an interesting roof line. The consistent designs, colours and details create a cohesive and distinctive character.

Views



The houses are clustered at angles to the road. The gently curved street does not prevent long views above the roofline. The area has an inward looking quiet residential character.

A single bungalow occupies the end of the cul de sca.

Long views of the North Downs are available along Bullfinch Dene above and between the roofs of the two storey houses



Locally Distinctive Positive Features

Clustered houses informally arranged around a cul-de-sac behind paved driveways and soft landscaping

Traditional materials represent the local vernacular with traditional brick, tile and roof details

Repeated designs contribute to a cohesive character

Inward looking, quiet residential character with no through traffic

Views of the North Downs

Negative Features

No significant detractors

Design Guidance

The area has evolved through redevelopment. The close siting of development means there is limited opportunity for further development.

In proposing new development within the Bullfinch Dene Character Area:

The harmonious palette of yellow brick with red brick details, red brick with yellow detail and red or brown roof tiles should be respected

Views of the North Downs should be protected

Individual buildings should be of a high standard of intrinsic design quality

The unity of the two storey houses arranged around the green and the Bullfinch Close cul de sac turning head should be respected

The amenity open space at the centre of the 1950s 'square' should be protected

Mature trees and hedges important to the character of the area should be protected

Views of the North Downs should be protected

N MIXED CHARACTER AREAS



In some areas, piecemeal development and redevelopment can result in an area that is very mixed in terms of the age, use, layout, design and materials of buildings. In Sevenoaks, whilst the character is more mixed along some of the principal routes, the housing areas to the rear have generally retained a distinctive character related to the period in which they were designed, by whom and for whom they were constructed and the physical factors of their location. There are however exceptions where the individual houses vary so in age, materials and appearance that no particular character predominates. For the purposes of this assessment, these areas have been designated as being of mixed character.



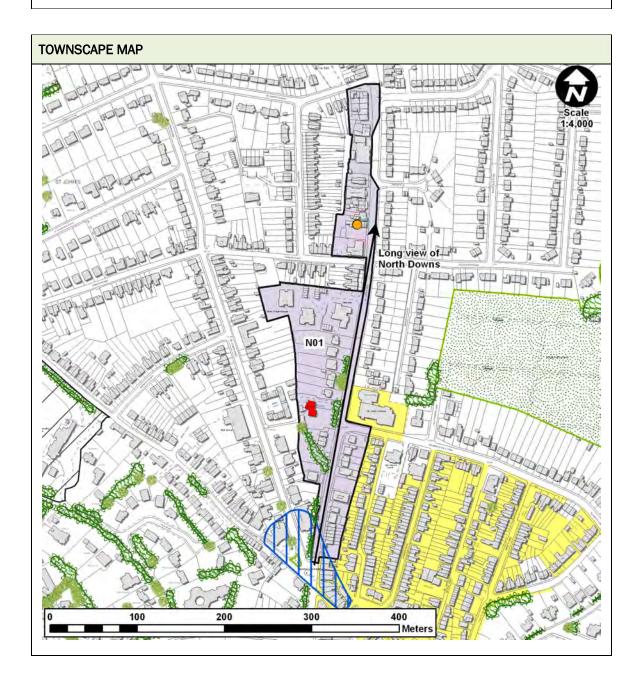
Example of Mixed Character Area Layout

NO1 ST JOHN'S HILL

Comprising St John's Hill (part)

HISTORICAL CONTEXT

St John's Hill was developed from the Victorian period with redevelopment and piecemeal development over the following century.



Locally Distinctive Contextual Features	
Age of buildings	1850s to present day
Type of buildings	Terraced, semi-detached and some detached residential properties with other mixed uses
Main uses	Residential with business uses
Building heights	Two storeys with some 3 and 4 storeys
Prominent building materials	Various
Predominant boundary treatments	None or high ragstone or brick wall to the north. Trees and planting to some front boundaries
Open space/ vegetation	Trees and planting to some front boundaries









The scale and mass of buildings along the upper section of St John's Hill varies from three storey terraced housing to a detached bungalow. The buildings are generally set close to the road, following the Victorian pattern of development. The listed building (3 and 3A (The Firs) and the 1930s semi-detached houses are exceptions being set back allowing trees to the front boundary. Materials are varied but orange brick and hanging tiles and white render are the most commonly used. The design of buildings is varied with gable ends, hipped roofs, pitched roofs (with and without dormer windows) and mansard roofs all facing the road.



Development on the upper section of St John's Hill backs on to, and forms the setting of, the Hartslands Conservation Area. Properties in Prospect Road are visible in this photograph.









The scale of buildings becomes more domestic in the southern section of St. John's Hill with less sense of enclosure. The buildings are generally set close to the road, following the Victorian pattern of development. Orange brick and hanging tiles and white render are the most commonly used materials. There are a number of commercial properties in this section of road although the signage is limited and restrained, respecting the mix with residential uses. The design of buildings is varied dependant on the period of development. The hipped roof of the 1930s parade of shops and the art deco frontage to the former cinema are typical of their periods.

Townscape Feature



The Victorian terrace at right angles to the road previously enclosed the northern side of an open square, with a further terrace set back from the road along its western edge.

The historic building is a townscape feature set unusually at right angles to St John's Hill and retaining many historic features. The building is faced with orange brick and hanging tiles, with half hipped tiled roof and chimneys. The windows have a vertical emphasis typical of the period.

View





The long view of the North Downs framed by development is a feature of St. John's Hill.

More modern development follows the Victorian building line close to the road and is of three storey (or two storey with attic rooms) height. This form of development provides an appropriate scale and sense of enclosure to this important route.

Listed Buildings

3 and 3A (The Firs) St John's Hill

Early 19th Century yellow brick three window façade. 3 storeys. Hipped Welsh slate roof. Sash windows.

Grade 2



Scale and enclosure of northern section of St John's Hill

Domestic scale of southern section of St John's Hill

Listed building and landscaped setting

Townscape feature of terraced cottages

Limited and restrained signage to commercial properties

Trees to some front boundaries providing a contrast to the built form

View of the North Downs

Negative Features

Opportunity for the creation of individual buildings of interest and high standard of intrinsic design quality

Design Guidance

St John's Hill has continued to evolve since its Victorian origins with infill and redevelopment opportunities. The area is likely to continue to evolve with new buildings of a greater scale replacing those of low scale. There is some opportunity for the replacement of buildings of indifferent quality.

In proposing new development within the St John's Hill Character Area:

Individual buildings should be of a high standard of intrinsic design quality

The listed building and its setting should be protected

The character of the townscape feature of terraced cottages should be retained

The views of the North Downs should be protected

Signage and advertising should be limited and restrained

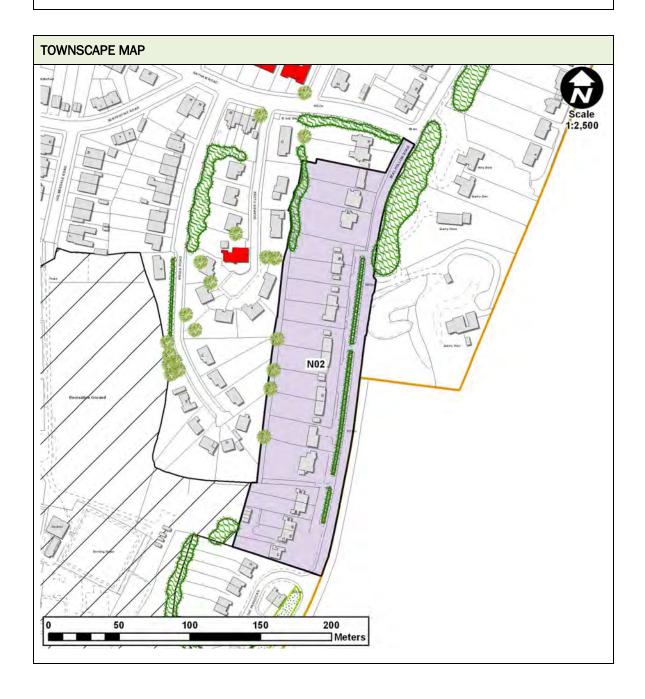
The setting of the adjoining Hartslands Conservation Areas should be protected or enhanced

NO2 SEAL HOLLOW ROAD (NEAR BAYHAM ROAD)

Comprising Seal Hollow Road (part)

HISTORICAL CONTEXT

This part of Seal Hollow Road was developed initially in the 1930s with subsequent infill development.



Locally Distinctive Contextual Features	
Age of buildings	1930s to present day
Type of buildings	Semi-detached and detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Various
Predominant boundary treatments	Hedged front boundary
Open space/ vegetation	Trees and planting to front boundaries and in trees in rear gardens









In this short length of Seal Hollow Road there is a relatively regular building line and the height of the buildings is two storeys. Buildings are detached or semi-detached. Materials are varied but orange brick, hanging tiles and white render are the most commonly used. The design of buildings is varied with a variety of forms and roof styles and pitches.

The trees in back gardens and along Knole Road form an important backdrop to this verdant section of road and help enclose the space.

Boundary Treatment



The hedge to the north side of Seal Hollow Road is somewhat a unifying feature and contributes to the verdant corridor formed with the mature trees opposite.

Locally Distinctive Positive Features

Unified building line and scale

Trees in rear gardens and along Knole Road

Hedged front boundaries

Negative Features

No significant detractors

Design Guidance

The close siting of most houses means that there is little opportunity for further development in this area.

In proposing new development within the Seal Hollow Road Character Area:

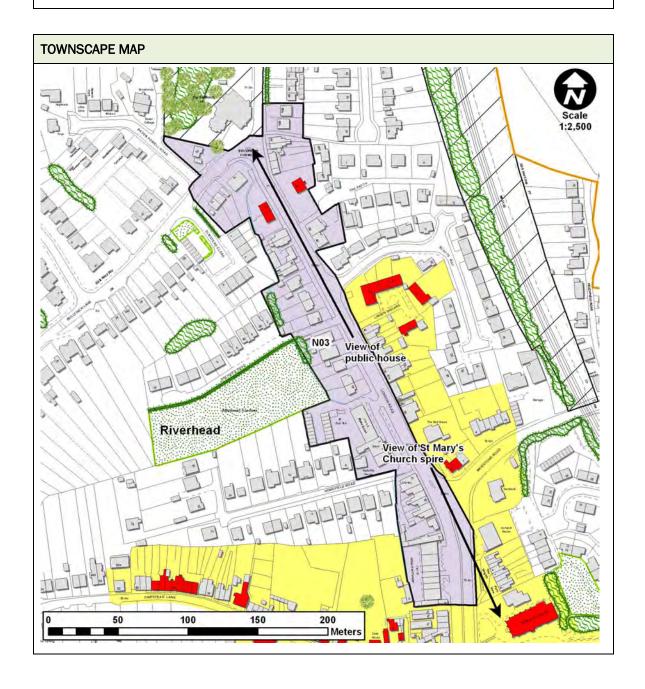
Mature trees and the front boundary hedge which contribute to the character of the area should be protected or reinstated

NO3 LONDON ROAD

Comprising London Road (part)

HISTORICAL CONTEXT

This part of London Road was developed from the 18th Century - with redevelopment and piecemeal development added over the following centuries.



Locally Distinctive Contextual Features	
Age of buildings	18th Century to present day
Type of buildings	Terraced, semi detached and detached
Main uses	Business and residential uses
Building heights	One, two and three storeys
Prominent building materials	Various
Predominant boundary treatments	None
Open space/ vegetation	Trees close to the public house help terminate the vista north













The scale and mass of buildings along this section of London Road varies from three storey modern terraces to detached two storey Victorian houses. The 18th and 19th Century buildings are generally set close to the road but the building line of more recent buildings is set back from the road at various depths. Materials are varied but red/orange brick and white render are the most commonly used. There are a number of commercial properties in the section of road although the signage is limited and restrained, respecting the mix with residential uses. The design of buildings is varied with flat, pitched, hipped and half gabled roofs and bay, vertical and horizontal picture windows.



The signage to the commercial properties on the east side of London Road is limited and restrained, respecting the mix with residential uses. The design of buildings is varied with flat, pitched and gabled roofs and single and two storey properties present in the same row. The buildings are generally set close to the road, following the earlier pattern of development.

The view from the area south to the landmark St. Mary's Church spire helps orientate the area with other parts of the town.



The public house set at an angle and the surrounding trees are important in closing the vista north from the area and help enclose the street with the two storey terrace building set close to the road.

Listed Buildings

73/75 London Road

Pair of 18th Century cottages. Two storeys, two windows. Tiled roof. Random rubble walls with brick dressings. C18 leaded casement windows. Tile hanging first floor.

Grade 2



54 (Minerva) London Road

Early 19th Century. Two storey three window villa. Low pitched hipped slate roof. Incised stucco. Sash windows with glazing bars.

Grade 2



Locally Distinctive Positive Features

Listed buildings

Limited and restrained signage to commercial properties

View south from the area to the landmark St. Mary's Church spire

Public House and mature trees terminate vista to the north

Negative Features

Traffic

Design Guidance

London Road has continued to evolve since its 18th Century origins with infill and redevelopment opportunities. The close siting of development means there is limited opportunity for further development. There may be pressure to redevelop some properties.

In proposing new development within the London Road Character Area:

Individual buildings should be of a high standard of intrinsic design quality

The view of St Mary's Church spire should be protected

Listed buildings and their settings should be protected

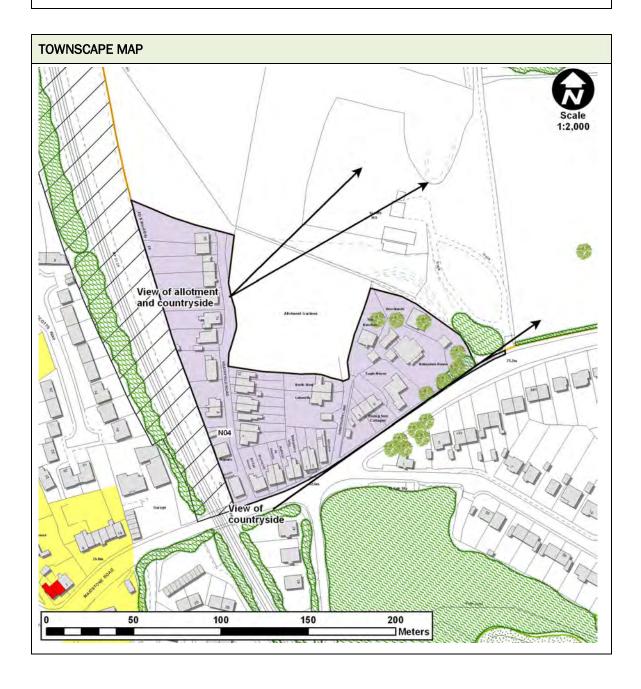
Signage and advertising should be limited and restrained

NO4 BRADBOURNE VALE ROAD/ HEATHFIELD ROAD

Comprising Bradbourne Vale Road (part), Hawthorn Lane, Heathfield Road

HISTORICAL CONTEXT

The area was developed from the Victorian period with redevelopment and piecemeal development added over the following century.



Locally Distinctive Contextual Features	
Age of buildings	1850s to present day
Type of buildings	Semi detached and detached
Main uses	Residential uses
Building heights	One and two storeys
Prominent building materials	Various
Predominant boundary treatments	Some wall and hedge to Bradbourne Vale Road
Open space/ vegetation	Trees and planting to front gardens close to the countryside, allotments adjoin the area, views of the countryside to the west and the north.









The scale and mass of buildings along this section of Bradbourne Vale Road varies from two to three storey detached, semi detached and terraced houses. The building line steps further back from the road towards the edge of the developed part of the north side of the road. Materials are varied but red/orange brick and white render are the most commonly used. The design of buildings is varied with gable ends, pitched, hipped and half gabled roofs and bay, vertical and horizontal windows styles.



The set back of buildings on the north side of the road allows mature trees and planting to front gardens to act as a transition to the countryside. The attractive panoramic view from Bradbourne Vale Road is in contrast to the adjoining built up area.









Two narrow unmade roads lead from Bradbourne Vale Road: Hawthorn Lane (top left) and Heathfield Road. Within both roads, the height varies from one to two storeys and houses are detached and semi detached. The building line steps forward and back. Materials are varied but red/orange brick and white render are the most commonly used. The form and design of buildings is varied with gable ends, pitched, hipped, half hipped and half dormer roofs and a variety of fenestration.



The allotments to the east of Heathfield Road form an attractive open space visible from the road and provide a contrast to the compact built up area with views of the countryside beyond.

Locally Distinctive Positive Features

Views of the allotments and the countryside

Mature trees and planting to front gardens on Bradbourne Vale Road close to the countryside

Negative Features

Opportunity for the creation of individual buildings of interest and high standard of intrinsic design quality

Design Guidance

The area has continued to evolve since its Victorian origins with infill and redevelopment opportunities. The close siting of development means there is limited opportunity for further development. There may be opportunity to redevelop some of the properties.

In proposing new development within the Bradbourne Vale Road Character Area:

Individual buildings should be of a high standard of intrinsic design quality

Mature trees to front gardens on Bradbourne Vale Road close to the countryside should be protected

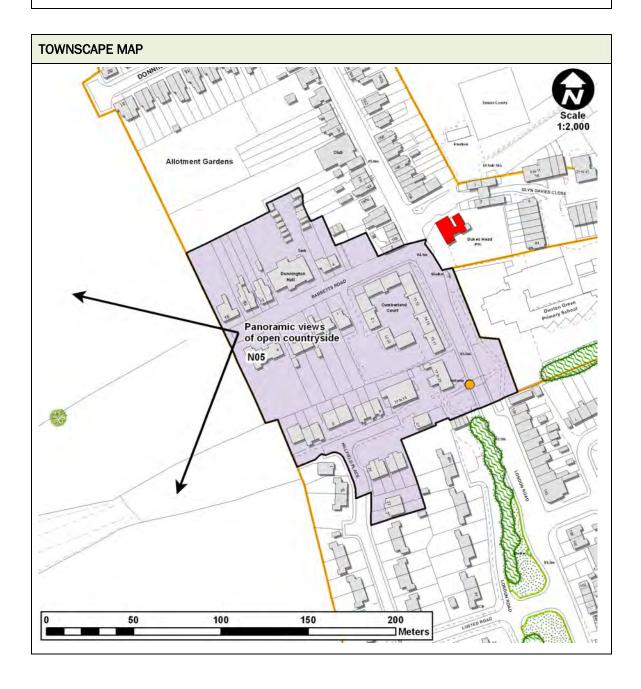
The views of the allotments and countryside should protected

NO5 LONDON ROAD BARRETTS ROAD AREA

Comprising London Road, Barretts Road, Hillfield Place

HISTORICAL CONTEXT

The area was developed from the Victorian period with redevelopment and piecemeal development added over the following century.



Area Characteristics









Buildings along Barretts Road vary from two storey detached, semi detached and courtyard housing to a single storey community building. The building line and materials are varied. The form and design of buildings is varied with gable ends, pitched, hipped and half gabled roofs and bay, vertical and horizontal windows styles.









The frontage to London Road comprises an elevation of Cumberland Court and the rear of three storey properties from Hillfield Place (top). Hillfield Place (bottom) is a comprehensively developed area with little design cohesion in the way properties relate to each other in terms of siting, scale, materials or design features. Heights vary from one to three storeys and houses are detached, semi detached, terraced or apartment blocks.

Views



The attractive panoramic view from Barretts Road is in contrast to the adjoining built up area.

Townscape Feature



The mural to the face of the pedestrian underpass across London Road adds a distinctive colourful feature.

Locally Distinctive Positive Features

Views of the countryside

Mural townscape feature

Negative Features

Opportunity for the creation of individual buildings of interest and high standard of intrinsic design quality

Design Guidance

The area has continued to evolve since its Victorian origins with infill and redevelopment opportunities. The close siting of development means there is limited opportunity for further development.

In proposing new development within the London Road Barretts Road Character Area:

Individual buildings should be of a high standard of intrinsic design quality

The views of the countryside should protected

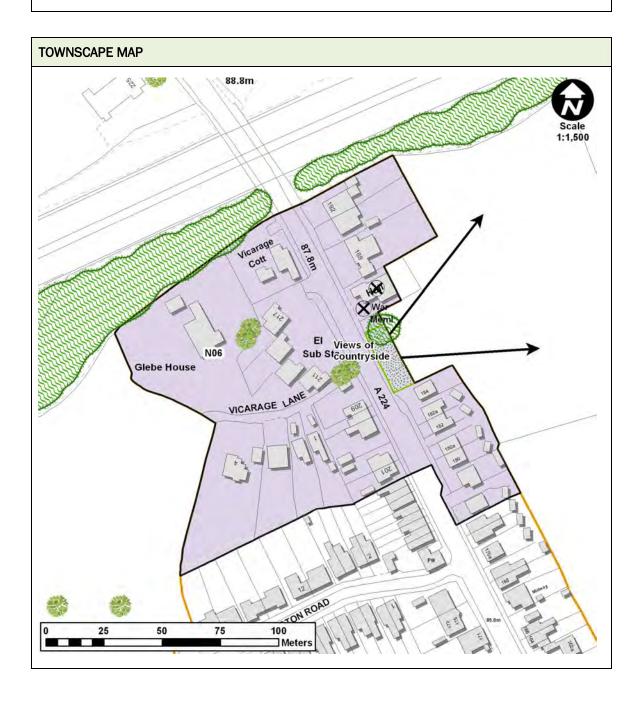
The colourful character of the entrance to the underpass should be retained

NO6 LONDON ROAD/ VICARAGE LANE

Comprising London Road, Vicarage Lane

HISTORICAL CONTEXT

The area was developed from the Victorian period based around a National School and Vicarage (Glebe House) with redevelopment and piecemeal development added over the following century.



Area Characteristics









Two storey detached and semi detached houses front both sides of this section of London Road. The building line, materials and designs vary with the period in which the houses were built. The form and design of buildings is varied with gable ends, pitched and hipped roofs and bay, vertical and horizontal windows styles. Mature trees provide a contrast to the built form.



Vicarage Lane is a narrow unmade track with a number of modern gable fronted houses set back from the lane to accommodate parking.

Views



The Rose Garden amenity open space (foreground) and mature trees allow views of the countryside to the east providing a break in the built form and a contrast to the adjoining built up area.

Townscape Features



The Victorian former National School for Girls and Boys and war memorial clock tower add two distinctive historic townscape features at this point in the street.

Locally Distinctive Positive Features

Amenity open space and views of the countryside

Former National School for Girls and Boys and memorial clock tower townscape features

Negative Features

Traffic

Design Guidance

The area has continued to evolve since its Victorian origins with infill and redevelopment opportunities. The close siting of development means there is limited opportunity for further development.

In proposing new development within the London Road/ Vicarage Lane Character Area:

Individual buildings should be of a high standard of intrinsic design quality

The views of the countryside should protected

Mature trees which contribute to the character of the road should be retained

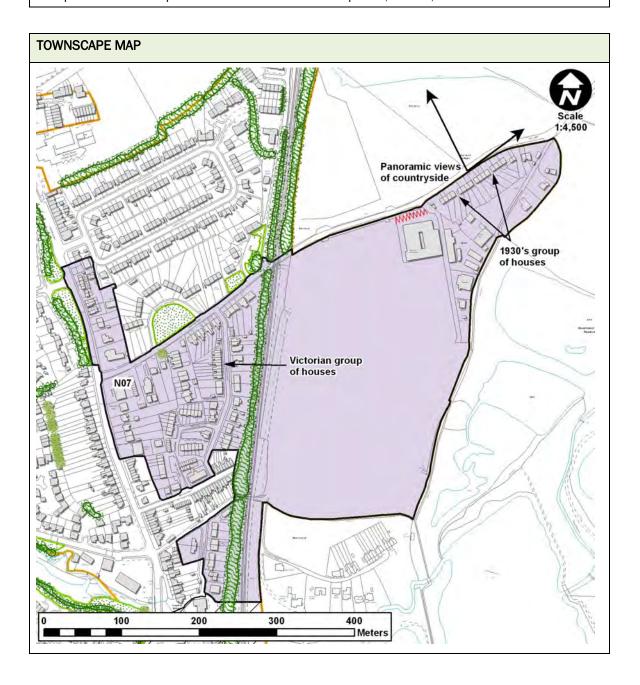
The character of the Victorian former National School for Girls and Boys and memorial clock tower townscape features should be retained

NO7 LONDON ROAD KINGSWOOD ROAD AREA

Comprising London Road (part), Kingswood Road, Carey's Field, Anthony Close, The Orchard, Milton Road (part), Pounsley Road (part), Darenth Lane, Station Road, The Coppers

HISTORICAL CONTEXT

The London Road/ Kingsley Road area was developed from the Victorian period initially as short isolated terraces of houses. Some redevelopment of Victorian cottages has occurred together with piecemeal development added in the Edwardian period, 1930s, and more recent decades.











Kingswood Road exhibits an eclectic mix of a Victorian terrace of cottages and houses of a variety of different scales, materials and designs from a number of different decades. The garages do not present an attractive appearance.

The trees along the railway embankment form an attractive backdrop to the east side of the street.



The Victorian group of houses in Kingswood Road retains a number of original features including shallow front gardens, bay windows to some properties, brick detailing around windows and doors, contrasting brick string course, slate roofs and chimneys. Some windows, doors and roofs have been replaced.





Darenth Lane exhibits an eclectic mix of houses of different scales, materials and designs from a number of different decades.

The trees along the railway embankment form an attractive backdrop to the east side of the street.





London Road exhibits a variety of houses of different scales, materials and designs from a number of different decades. Gables, pitched roofs (with and without dormers), mansard and hipped roofs are all present in a short length of road. The buildings are all set back from the road.





Edwardian and 1930s ribbon development along Station Road comprises mostly symmetrical semi detached two storey houses of orange brick, tile hanging and pastel coloured render. The 1930s houses at the eastern edge of the town (above right) comprise symmetrical rows of four with hipped roofs. The buildings are all set back from the road on a regular building line.









Carey's Field (top left), Anthony's Close (top right), The Orchard (bottom left) and The Coppers (bottom right) are a number of short cul de sacs infilled at the back of properties over recent decades. The two storey houses are generally clustered close to the road and each other giving a sense of enclosure. Each cul de sac has a different mix of materials with red brick and tile hanging predominant in Carey's Field, yellow brick and render in Anthony's Close, pink brick, render and half timber in The Orchard and brown brick and weather boarding in The Coppers.

Views



Panoramic views of open countryside extend northwards from Rye Lane.

Detractor



The commercial buildings along Rye Lane have little landscaping to screen the buildings and extensive hard standing.

Locally Distinctive Positive Features

Victorian group with original details.

1930s symmetrical groups of house

Embankment trees form an attractive backdrop to the east side of Kingswood Road

Panoramic views of open countryside

Negative Features

Opportunity for the creation of individual buildings of interest and high standard of intrinsic design quality

Unscreened industrial buildings and forecourts

Design Guidance

The London Road/ Kingswood Road/ Station Road area has continued to evolve since its Victorian origins with infill and redevelopment opportunities. The area may continue to evolve with new buildings of a greater scale replacing those of low scale. There is some opportunity for the replacement of buildings of indifferent quality.

In proposing new development within the London Road/ Kingswood Road Character Area:

Individual buildings should be of a high standard of intrinsic design quality

Original Victorian and 1930s designs and features should be protected

The views of the countryside should be protected

Mature trees important to the character of the area should be protected or reinstated

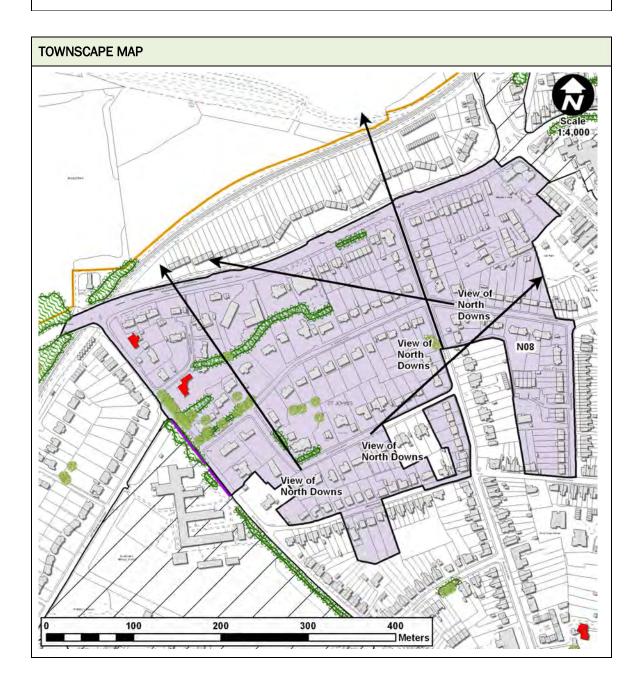
Business units and associated open storage and parking areas should be well landscaped and screened

NO8 ST JAMES'S ROAD ST GEORGE'S ROAD AREA

Comprising St James's Road, St George's Road, St John's Hill (part), Bradbourne Vale Road (part), Bradbourne Road (part), Sackville Close, Camden Road (part), Golding Road (west side)

HISTORICAL CONTEXT

St James's Road and St George's Road were laid out in the Edwardian period but, apart from some isolated Victorian and Edwardian buildings along Bradbourne Vale Road and a few Edwardian buildings in St George's Road, the area remained open fields and orchards. The area was then infilled and redeveloped gradually in a piecemeal fashion over the following century.



Locally Distinctive Contextual Features	
Age of buildings	1850s to present day
Type of buildings	Terraced, semi-detached and detached residential properties with other mixed uses
Main uses	Residential with business and community uses
Building heights	One and two storeys with some 3 storeys
Prominent building materials	Various
Predominant boundary treatments	None or high ragstone wall along part of Bradbourne Vale Road. Trees and planting to some front boundaries
Open space/ vegetation	Trees and hedges to some front boundaries and trees within back gardens which help visually enclose the road.





The form, materials and designs of different blocks of development to the west side of Golding Road vary but the scale and building line of the semi detached and terraced houses complement the Victorian cottages opposite. Materials are varied but orange brick and white render are the most commonly used. There is a mix of hipped and pitched roofs and some properties have porches.









A mix of house types, scales and designs from different periods of development are set back from St James's Road.









The mix of house types, form, scales and designs from different periods of development are illustrated in St George's Road. The detached, semi detached and terraced properties are set back from St George's Road. The topography means that the houses on the south side of the road are set higher above the road whereas those to the north are generally set lower. The mature trees (top left) are important features around the Edwardian house and help enclose the road.





A mix of house types, forms and designs from different periods of development is evident in Camden Road. The detached properties are set on an uneven building line. The heights of buildings varies from one to two storeys. The topography means that the houses on the south side are set higher above the road.









The mix of house types, forms and designs from different periods of development are illustrated in St John's Road. The detached, semi detached and terraced properties are set back from St John's Road. The North Downs are visible above the buildings on the west side of the lower section of St John's Road.



Sackville Close is a short cul de sac of two storey detached houses tucked behind Bradbourne Road.













The mix of commercial development (top left), Town Council offices (top right) and different heights, types, forms and designs of houses from different periods of development is evident along the south side of Bradbourne Vale Road. Detached, semi detached and terraced properties are set back from Bradbourne Vale Road. The Town Council offices are of a scale and siting which result in a loss of enclosure to the street. Road side trees (bottom left) add to the sense of enclosure and provide a contrast to the built form. Traditional detailing such as decorative brick work and barge boards are visible on the Victorian propertied (centre).

Views









Views of the North Downs are a feature of this area particularly from the junction of St James's Road and St John's Road (top left), the eastern end of St. George's Road (top right), the dog leg in St George's Road (bottom left) and St John's Road (bottom right).

Boundary Treatment





There is no consistent boundary treatment in the area, but hedge boundaries predominate in St James's Road east of St John's Road (top left) and west of St John's Road (top right).

Listed Buildings

Bradbourne Vale House

Early 19th Century, two storeys, painted brick, hipped Welsh slate roof. Ground floor with 3 French casements under projecting Regency canopy with trellis supports.

Grade 2



Vale Lodge

Early C19. Stucco, two storeys. Ridge Welsh slate roof. 3-window facade with later addition to right with coupled sash windows on both floors.

Centre panelled door with bottle glass top lights under projecting canopy with trellis supports. Sash windows on ground floor to right and left with moulded stucco surrounds

Ornamental spearhead cast iron railings in front of house with centre gate. Railings terminated to right and left by painted brick piers surmounted by ornamental plaster balls.

Grade 2



Locally Distinctive Positive Features

Listed buildings

Trees and hedges at some front boundaries providing a contrast to the built form and some mature trees within rear gardens visually enclosing the road

Views of the North Downs

Negative Features

Opportunity for the creation of individual buildings of interest and high standard of intrinsic design quality

Design Guidance

The St James's Road and St George's Road area has continued to evolve since its Victorian origins with infill and redevelopment opportunities. The area is likely to continue to evolve with new buildings of a greater scale replacing those of low scale. There is some opportunity for the replacement of buildings of indifferent quality.

In proposing new development within the St James's Road and St George's Road Area Character Area:

Individual buildings should be of a high standard of intrinsic design quality

Mature trees and hedges important to the character of the area should be protected

The listed buildings and their setting should be protected

The views of the North Downs should be protected

NO9 MILL LANE/ SEAL ROAD

Comprising Mill Lane, North View Road, Seal Road (part)

HISTORICAL CONTEXT

Mill Lane served the former lace mill in the 18th Century and at this time was surrounded by fields and woodland. The area saw little further development until the 1930s when the eastern section of Mill Lane and limited development on the north side of Seal Road occurred. North View Road and the south side of Seal Road were developed in the 1960s and further redevelopment and piecemeal development has occurred in the area over more recent years.



Area Characteristics









The form, height, materials and design of residential and commercial buildings is varied along Seal Road.



North View Road is accessed by a steep narrow road and serves a row of semi detached bungalows of repeated designs aligned on a regular building line.





The form, materials and designs of residential buildings is varied along Mill Lane. All are set back from the road with the houses on the east side slightly elevated. The group of white rendered semi detached 1930s houses (top left) are unified with their scale, building line, materials and hipped roofs even though some have been extended and personalised.

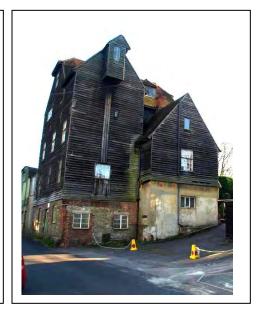
Landscape



The old mill pond has been restored and presents an important historic feature associated with the former mill and an attractive amenity open space which provides a break in the built form and a contrast to the adjoining built up area.

Landmark

The height, materials and unusual structure (including lofts, eaves and tiled roof) of the 19th Century six storey former lace then flour mill make this a prominent landmark in the street scene. The building has weather boarded elevations and base of random stone with brick quoins and dressings.



Boundary Treatment



The ragstone wall topped by trees forms a distinctive boundary on the south side of Seal Road and screens the bungalow development.

Locally Distinctive Positive Features

Repeated designs and building lines in Mill Lane and North View Road

Mill pond historic feature and amenity open space

Mill landmark feature

Ragstone wall topped by trees on south side of Seal Road

View of the North Downs from Seal Road/Grove Road junction.

Negative Features

Traffic on Seal Road

Road and paving surfacing

Design Guidance

The area has continued to evolve with infill and redevelopment opportunities. The close siting of development means there is limited opportunity for further development.

In proposing new development within the Mill Lane/ Seal Road Character Area:

Individual buildings should be of a high standard of intrinsic design quality

The repeated designs and building lines in Mill Lane and North View Road should be respected

Mature trees important to the character of the area should be protected

The character of the landmark mill building should be retained

The historic mill pond amenity open space should be protected

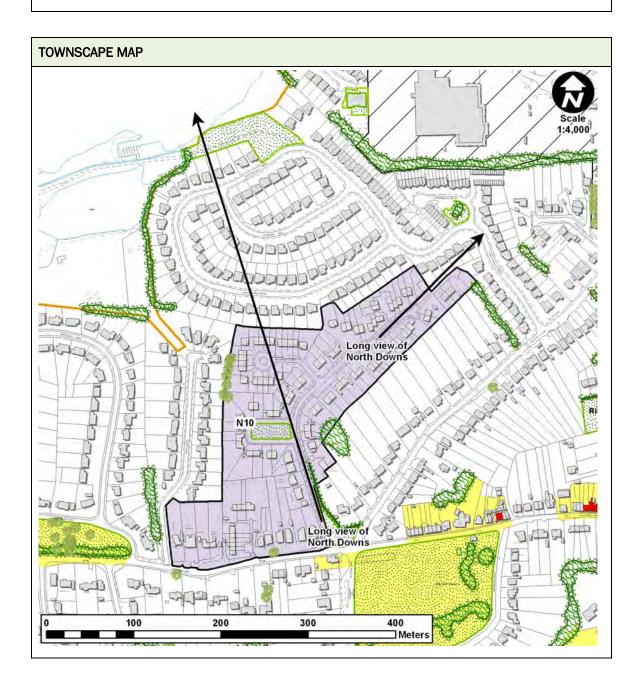
The view of the North Downs should be protected

N10 CHIPSTEAD ROAD

Comprising Chipstead Road (part), The Terrace, Bullfinch Close (part)

HISTORICAL CONTEXT

A short row of detached bungalows was present on the north side of Chipstead Road in the 1930's and further infill development has occurred more recently.



Locally Distinctive Contextual Features		
Age of buildings	1930's to present day	
Type of buildings	Detached, semi detached and terraced	
Main uses	Residential	
Building heights	One and two storeys	
Prominent building materials	Various	
Predominant boundary treatments	Various	
Open space/ vegetation	Verge along Bullfinch Close and the north side of Chipstead Road.	

Area Characteristics





The form, height, materials and design of houses is varied along the north side of Chipstead Road. Properties are set back from the road, and raised above it along the eastern section.

The Terrace is a small enclave of two terraced blocks, one at right angles to Chipstead Road and the other set back from the main road. The houses are two storeys have pitched roofs and are accessed through a narrow, landscaped entrance.





The modern infill properties along the southern entrance to Bullfinch Closeare set behind a road verge and front gardens on a relatively regular building line. The scale of properties varies from single to two storeys and the designs are varied.

There are long views of the North Downs from the southern section of Bullfinch Close.

Landscape



The verge to the north side of Chipstead Road and the boundary trees and hedges give a verdant character to this curved section of the street.

Locally Distinctive Positive Features

The verge, boundary trees and hedges to the north side of Chipstead Road Views of the North Downs

Negative Features

No significant detractors

Design Guidance

The area has continued to evolve with infill and redevelopment opportunities. The close siting of development means there is limited opportunity for further development.

In proposing new development within the Chipstead Road Character Area:

Individual buildings should be of a high standard of intrinsic design quality

Mature trees and hedges important to the character of the area should be protected

Views of the North Downs should be protected

N11 - BADEN POWELL ROAD

Comprising Baden Powell Road

HISTORICAL CONTEXT

Baden Powell Road was built in the early 1960s on the site of a Victorian house named Brooklands.



Locally Distinctive Contextual Features	
Age of buildings	1960+
Type of buildings	Detached and semi-detached
Main uses	Residential
Building heights	One – two storeys
Prominent building materials	Brown brick, brown roof tiles, white weatherboard, slate roof tiles.
Predominant boundary treatments	Hedges, dwarf walls and wooden fences. Some open plan.
Open space/ vegetation	Some verges, hedges, trees to the north and east.

Area Characteristics







The cul-de-sac is laid out with houses of various designs, heights and materials set back at angles to the road behind narrow verges and front gardens most of which are enclosed by wooden fences, low walls or hedges. Features include hipped roofs, chimneys, porches and square windows. The area has an inward looking residential character which is enhanced by the curving hedges and trees on the north and east side.



One property has been significantly extended and modernised, the white weatherboard and slate roof brightening and providing interest in the streetscape.

Locally Distinctive Positive Features

Intimate residential character with no through traffic

Verges, hedges and trees to the north and east enhance the character

Recent redevelopment brightens and provides interest in the streetscape

Negative Features

Some traffic noise from the London Road

Design Guidance

The area has continued to evolve with infill and extension opportunities. The close siting of development means there is limited opportunity for further development. There may be opportunity to redevelop some of the properties.

In proposing new development within the Baden Powell Road Character Area:

Individual buildings should be of a high standard of intrinsic design quality

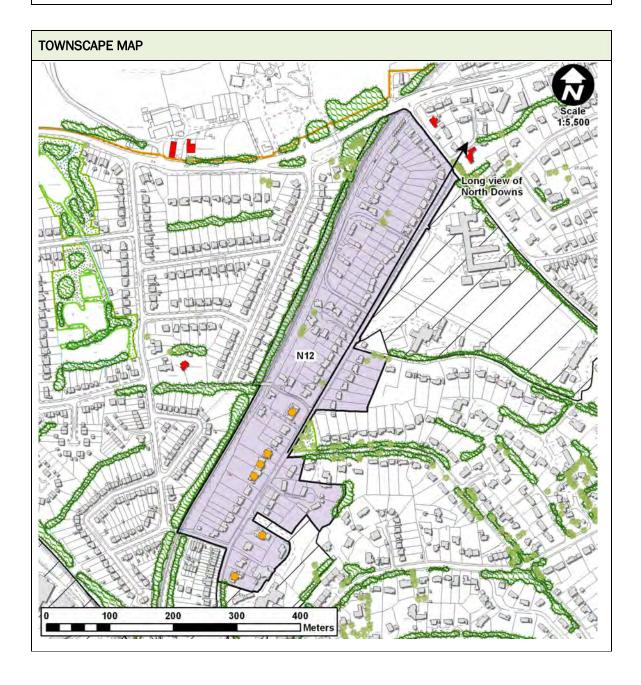
Mature trees and hedges important to the character of the area should be protected

N12 BRADBOURNE PARK ROAD

Comprising Bradbourne Park Road, Chancellor Way, Charterhouse Drive, Harrison Way

HISTORICAL CONTEXT

Bradbourne Park Road was established as a road running parallel to the railway line in Victorian times and several larger houses were built at this time. Bradbourne House was established in extensive grounds at the north western end of the route. The road was then developed in a piecemeal fashion in the 1930s and 1950's with other infill and backland development since.



Locally Distinctive Contextual Features	
Age of buildings	Late 18th Century to present day
Type of buildings	Detached, semi detached and terraced
Main uses	Residential
Building heights	One, two and three storeys
Prominent building materials	Various
Predominant boundary treatments	Various
Open space/ vegetation	Some mature specimen trees fronting Bradbourne Park Road and treed amenity open space at the entrance to Woodside Road.

Area Characteristics









The form, height, materials and design of houses is varied along Bradbourne Park Road. The ages range from Victorian to this century and different designs from each period sit along side each other. All properties are set back from the road, some with hedged boundaries, others with fences or open plan. House types vary from bungalows, terraced, semi detached and detached.



A short row of 1950s houses is arranged in a shallow curve at the north eastern end of the road. The planned row of symmetrically designed red brick and tiled semi-detached houses with hipped roofs and projecting gables forms a unified group.





Two short cul de sacs, Chancellor Way (above left) and Charterhouse Drive (above right), and the loop road Harrison Way, lead away from Bradbourne Park Road. Chancellor Way and Harrison Way to the north west back on to the railway line and are enclosed by trees (above right).

Landscape



The treed amenity open space at the entrance to Woodside Road provides a break in the built form, a contrast to the adjoining built up area and is a significant feature within Bradbourne Park Road.



Mature specimen trees punctuate Bradbourne Park Road and contribute to the character of the street.

Views



Long views of the North Downs are available along Bradbourne Park Road) above the roofs of the two storey houses.

Townscape Features







Three grand Victorian houses are located next to each other along north west side of Bradbourne Park Road (above). The scale, materials and details of the houses are representative of the period and act as a reminder of the origins of the character area. The unusual designs, two with central towers add to the interest of the features. These historic townscape features can be seen between and above boundary trees and hedges and add significantly to the character of the area.





Two 2 storey Victorian houses are located close to each other on the south east side of Bradbourne Park Road (above). The scale, designs and materials of the houses are representative of the period and act as a reminder of the origins of the character area. These historic townscape features can be seen between and above boundary trees and fences and add significantly to the character of the area.



This Victorian row of stone cottages is set back from the road behind a hedge and is not prominent in the street scene. The flat stone front façade, repeated window and door openings, slate roof and chimneys gives unity to the group and acts as a reminder of the origins of the character area.

Locally Distinctive Positive Features

Unity of the short row of 1950s houses at the north eastern end of Bradbourne Park Road The amenity open space at the entrance to Woodside Road and mature specimen trees The Victorian townscape feature buildings

Views of the North Downs

Negative Features

Opportunity for the creation of individual buildings of interest and high standard of intrinsic design quality

Design Guidance

The area has continued to evolve since its Victorian origins with infill and redevelopment opportunities. The close siting of development means there is limited opportunity for further development. There may be opportunity to redevelop some of the properties.

In proposing new development within the Bradbourne Park Road Character Area:

Individual buildings should be of a high standard of intrinsic design quality

The unity of the 1950s houses at the north eastern end of Bradbourne Park Road should be respected

The character of the Victorian townscape features should be retained

Mature trees important to the character of the area should be protected

Views of the North Downs should be protected

N13 WESTERHAM ROAD (WEST)

Comprising Westerham Road (part)

HISTORICAL CONTEXT

The area was occupied by a single house and outbuildings in the Victorian and Edwardian times, with most later development arriving in the 1930s.



Locally Distinctive Contextual Features

Age of buildings	Late Victorian to present day
Type of buildings	Detached
Main uses	Residential and commercial uses
Building heights	One and two storeys
Prominent building materials	Various
Predominant boundary treatments	Some ragstone wall and hedge to Westerham Road
Open space/ vegetation	Trees and planting to front gardens.

Area Characteristics









The height of buildings along this section of Westerham Road varies from one to two storeys and there is a mix of residential and business uses. The building line varies from close to the road to a depot set back within a site. Materials are varied but red/orange brick and white render are the most commonly used. The design of buildings is varied with gable ends, pitched and hipped and roofs and bay, vertical and horizontal windows styles.

Townscape Feature



The prominent Victorian house 43 Westerham Road is set close to the road and is contemporary with other houses further to the east along the road. The two storey red brick house has a series of gable ended roofs with white barge boards which face both Westerham Road and the access into the site. The gabled roof and the tall decorative chimneys give an interesting roofscape. The upper windows have a strong vertical emphasis whilst a ground floor bay window adds interest to the western elevation. The low ragstone wall topped by hedge is typical for this part of Westerham Road. The painted decorative cast iron posts mark the entrance.

Locally Distinctive Positive Features

Victorian house 43 Westerham Road townscape feature

Ragstone boundary walls

Negative Features

Opportunity for the creation of individual buildings of interest and high standard of intrinsic design quality

Traffic

Design Guidance

The area has continued to evolve since its Victorian origins with infill and redevelopment opportunities. The close siting of development means there is limited opportunity for further development. There may be opportunity to redevelop some of the properties.

In proposing new development within the Westerham Road (west) Character Area:

Individual buildings should be of a high standard of intrinsic design quality

The character of 43 Westerham Road townscape feature should be retained

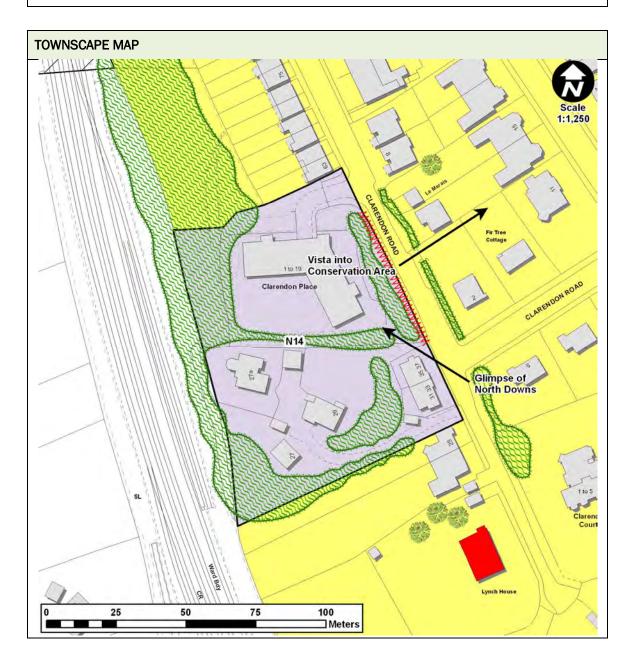
Ragstone front boundary walls should be retained or reinstated

N14 - CLARENDON ROAD

Comprising Clarendon Road (part)

HISTORICAL CONTEXT

This quarry land was severed from the rest of the Kippington Estate by the railway line. Clarendon Road was constructed in the late 19th century and in the 20th century the former quarry was occupied by a tennis club. The apartments and houses date from the 1960s to post 1990.



Locally Distinctive Contextual Features		
Age of buildings	1960s - post 1990	
Type of buildings	Detached and apartments	
Main uses	Residential	
Building heights	One, two and four storeys	
Prominent building materials	Various	
Predominant boundary treatments	Various	
Open space/ vegetation	Tree belt along the railway line.	

Area Characteristics





Clarendon Road has little traffic and has a quiet, residential character. This small mixed character area on the west side of Clarendon Road is outside the Granville and Eardley Road Conservation Area. The rest of the street lies within the Conservation Area. However, only the 1960s apartments (above right) are visible from the road. The other buildings are set at a lower level within the former quarry and have little impact on the setting of the Conservation Area. The brick colour of the apartments jars with the traditional materials of the surrounding area.





The detached houses are accessed via a steep landscaped driveway with a semi-rural character (above left) and nestle among the surrounding trees. The houses are of varied design and age with gabled or half hipped roofs and various materials including weatherboard, half timbering and hung tiles. They have unenclosed landscaped front gardens. The development has a private, secluded character (above right).







The four storey apartment block is also on low land with only the antennae visible above the board fence which together with the concrete pavement creates a harsh frontage on the west side of Clarendon Road. The plain brown brick elevations and sash windows are topped by a mansard roof. The gated vehicle access is at road level. The development is surrounded by tree belts which are visible over the building.

Views



There are glimpses of the North Downs (left) and vistas to the east and south into the Conservation Area.

Locally Distinctive Positive Features

The mixed character development is set below road level, having little impact on the setting of the Granville and Eardley Conservation Area

The detached housing is down a landscaped driveway, nestling among trees and has a private, secluded character

Glimpses of the North Downs and vistas of buildings, rooflines and chimneys within the Conservation Area

Tree belts are visible around and over the development

Negative Features

The brick colour of the 1960s apartments does not enhance the setting of the Conservation Area The board fencing and concrete pavement on the west side of Clarendon Road presents a harsh frontage

Design Guidance

The area has continued to evolve since its Victorian origins with infill and redevelopment opportunities. The close siting of development means there is limited opportunity for further development. There may be opportunity to redevelop some of the properties.

In proposing new development within the Clarendon Road Character Area:

Individual buildings should be of a high standard of intrinsic design quality

Mature trees important to the character of the area should be protected

Views of the North Downs should be protected

The setting of the Granville and Eardley Conservation Area should be protected or enhanced

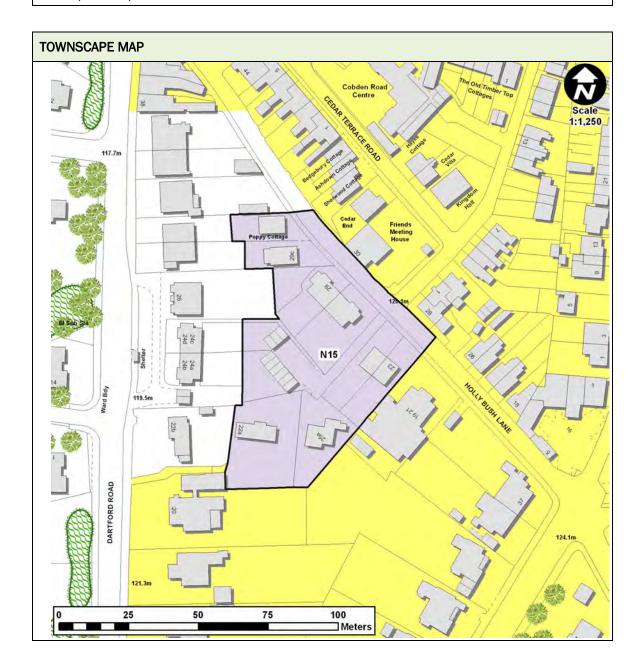
Ragstone front boundary walls should be retained or reinstated

N15 - HOLLYBUSH LANE

Comprising Hollybush Lane (part)

HISTORICAL CONTEXT

Whilst parts of Hollybush Lane were developed in the Victorian period this small area was developed in a piecemeal fashion from the 1930s.



Locally Distinctive Contextual Features	
Age of buildings	1930s - present day
Type of buildings	Detached and semi-detached
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Various
Predominant boundary treatments	Dwarf walls
Open space/ vegetation	Front gardens

Area Characteristics







The form, building line, materials and design of residential and commercial buildings is varied. The symmetrical pair of 1930s semi detached houses has traditional features from that period.

Backland development is concealed discretely down an access drive (left).

The area forms part of the setting for the Hartslands Conservation Area.

Locally Distinctive Positive Features

1930s semi detached houses with traditional features

Negative Features

Uncoordinated designs

Design Guidance

The area has continued to evolve with infill and extension opportunities. The close siting of development means there is limited opportunity for further development. There may be opportunity to redevelop some of the properties.

In proposing new development within the Hollybush Lane Character Area:

Individual buildings should be of a high standard of intrinsic design quality

The setting of the adjoining Hartslands Conservation Area should be protected or enhanced

MIXED USE TOWN CENTRE FRINGE



To the north of Sevenoaks Town Centre, houses, retail and offices mix to produce a distinct character area. The area is characterised by piecemeal development and redevelopment can result in an area that is very mixed in terms of the age, use, layout, design and materials of buildings. Forms of development in this area have been influenced by the location of Sevenoaks Station.



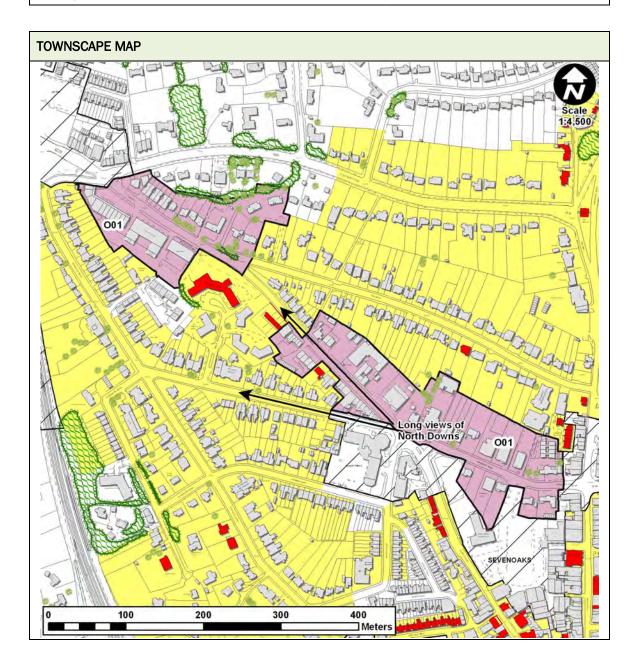
Example of Town Centre Fringe Layout

001 TUBBS HILL/ LONDON ROAD/ PEMBROKE ROAD

Comprising Tubbs Hill, London Road, Pembroke Road

HISTORICAL CONTEXT

The arrival of the station saw a number of Victorian terraced and semi detached houses located on the south eastern part of Tubbs Hill (replaced by office blocks and a shopping parade with flats above in the 1970s). A row of Edwardian houses was erected opposite and at the junction of London Road and Eardley Road. The area has been infilled over the 1930s and 1950s and infilling and redevelopment has continued to the present day.



Locally Distinctive Contextual Features	
Age of buildings	Late 18th Century to present day
Type of buildings	Terraced, apartment blocks, semi detached and detached
Main uses	Business, retail and residential
Building heights	Two and three storeys with 10 storey office blocks
Prominent building materials	Red brick, tile hanging, half timbered/ white render
Predominant boundary treatments	Low brick walls and hedges
Open space/ vegetation	Some mature specimen garden trees and hedges

Area Characteristics





The horizontal flat roofed shopping parade with two storeys of residential properties and parking forecourt above do not reflect the Edwardian character of the properties opposite. The two office blocks and the refurbished flats to the north are significantly taller and bulkier than surrounding development. Whilst the development is set on lower ground and is therefore not prominent on longer views around the town, the office buildings have a significant impact on the local street scene in views up Tubbs Hill and from immediately surrounding residential areas.



A short row of two storey Edwardian houses with half timbered and white rendered gables facing the road climbs Tubbs Hill. The group is completed by a 1930s half timbered property at the corner of Tubbs Hill and St Botolph's Road.





The scale and character of properties becomes more domestic in the middle section of London Road. Two storey detached and terraced houses are set back from the road with shallow front gardens or amenity space with walled or wall and hedged boundaries. The building line and half timbered/ white rendered gable fronted theme is continued in properties on the north west side of the street. The set back, roof line, materials and design of the terrace on the south east side does not follow the earlier visual cues.





The commercial nature and scale of properties increases at the node of London Road, Pembroke Road and Eardley Road. The groups of buildings are generally around three stories in height with shops and business premises in the ground floor and residential units above. The Victorian properties are set to the back edge of pavement, giving a greater sense of enclosure. The gable fronted three storey properties on the north west side of the road (above left) emphasise this scale and enclosure. Red brick and white render predominate. Signage is generally is limited and restrained, respecting the mix with residential uses.



The scale, design and materials of the single storey garage building and open forecourt are out of keeping with the greater scale at the node of London Road, Pembroke Road and Eardley Road.









The scale and character of properties is more domestic in Pembroke Road. Detached and semi detached properties are generally two storeys (with use of attic space) and are set back from the road behind shallow front gardens with walled or wall and hedged boundaries. Individual trees complement the properties and enhance street scene. The building line and gable fronted theme is continued within the street. Red brick and white render predominate with slate or plain tiled roofs. Signage of any businesses operating in the area is generally limited and restrained, respecting the mix with residential uses.



The attractive larger scale red brick/ tile hung/ half timbered property with two storeys (and use of attic space) encloses the north side of Pembroke Street.



Pembroke Mews comprises low rise bungalows of yellow brick tucked behind the north side of Pembroke Street.

Views





Long views of the North Downs are visible from the rising Pembroke Road and at the node of London Road, Pembroke Road and Eardley Road.

Locally Distinctive Positive Features

Domestic scale and character of properties in Pembroke Road and the central section of London Road

Increased scale and enclosure of properties at the node of London Road, Pembroke Road and Eardley Road

Unity of the short row of Edwardian and 1930s properties at the corner of Tubbs Hill and St Botolph's Road

Consistent use of red brick, tile hanging, half timbered/ white render and gable fronted designs Individual trees and hedges complement the properties and enhance street scene Long views of the North Downs

Negative Features

The scale, bulk and design of the commercial buildings to the south east of Tubbs Hill are not in keeping with surrounding development

Design Guidance

The area has continued to evolve since its Victorian origins with infill and redevelopment opportunities. The close siting of development means there is limited opportunity for further development. There may be opportunity to redevelop some of the properties.

In proposing new development within the Tubbs Hill, London Road, Pembroke Road Character Area:

Individual buildings should be of a high standard of intrinsic design quality

The domestic scale and character of properties in Pembroke Road and the central section of London Road should be respected

The increased scale and enclosure of properties at the node of London Road, Pembroke Road and Eardley Road should be respected

The unity of the row of Edwardian and 1930s properties at the corner of Tubbs Hill and St Botolph's Road should be respected

The limited harmonious range of red brick, tile hanging, half timbered/ white render materials and frequent use of gable fronted designs should be respected

Mature trees and hedges important to the character of the area should be protected

Views of the North Downs should be protected

Appendix 1

By Design – Urban design in the planning system: towards better practice (DETR 2000)

The guide is intended as a companion to $\triangle = \frac{1}{2}$ and $\triangle = \frac{1}{2$

The guide states that understanding the local context should be the prelude to drawing up the planning 'toolkit'.

A range of techniques is available, but the guide states that carrying out an appraisal is more important than the specific technique used and a simple assessment is better than none. The guide provides pointers to understanding an area in terms of its urban design.

The guide sets out a series of checklists to act as a guide to the assessment of an area. They are not meant to be followed slavishly. Understanding the local context does not require every item on the checklists to be examined on every occasion and in every place or in the same depth. The checklists provide pointers to understanding an area in terms of its urban design and the following elements have been particularly relevant to the Loose Road area of Maidstone town:

Character

A place with its own identity

Appraisals can include assessments of:

- the origins and development of the topography of the area, including surviving elements of historic street patterns, plot subdivisions, boundary treatments and the relationships between buildings and spaces;
- the architecture and historic quality, character and coherence of buildings, both listed and unlisted, and the contribution they make to the special interest of the area;
- the character and hierarchy of spaces and their townscape quality;
- prevalent and historic building materials;
- the contribution made to the character of the area by green spaces, trees, hedges and other cultivated elements;
- the area's prevailing (or former) uses, plan forms and building types;
- the relationship of the built environment to landscape or open countryside, including significant landmarks, vistas and panoramas;
- features which have been lost, or which intrude on or detract from the character of the area.

Continuity of building frontages and enclosure of public spaces

A place where public and private spaces are clearly distinguished

Techniques include identifying and mapping:

- gap sites and abnormal setbacks which interrupt the common building line of the street:
- instances where the backs of buildings are exposed to public view and access (as in the case of back gardens on to roads, alleys and public spaces);
- active and dead frontages at ground floor level: positive factors such as entrances, shopfronts and windows; and negative factors such as long blank facades and high boundary walls, and service entrances and yards;
- active and dead frontages at upper floors: positive factors such as windows of habitable rooms overlooking public space; and negative factors such as blank gable walls and unused space over shops;
- places where buildings meet the public realm: boundary treatments such as gates, railings, fences and boundary walls; front gardens and in-curtilage parking; and servicing;
- spatial enclosure: the relationship between the heights of buildings and the spaces they define;
- planting (such as trees and hedges), natural features, land form, and retaining walls which define and enclose blocks and spaces.

Quality of the public realm

A place with attractive and successful outdoor

Public realm audits can include assessments of:

- hard landscaping (paving materials, kerbs, walls, steps and ramps);
- planting (trees, planters, grassed areas, flowers and borders);
- street furniture (seats, bins, bollards and railings);
- lighting (pavement, pedestrian, highway, security, building and feature);
- shopfronts (thresholds, glazing, stall risers, signs, banners and shutters).
- advertisements (hoardings, kiosks and banners);
- traffic and highways installations (including highway markings, traffic signals and control boxes);
- public space use and management (informal use as well as formal, events, markets, graffiti removal, litter collection and street cleansing).

Legibility

A place that has a clear image and is easy to understand

Appraisals of:

- gateways and points of transition (at main entry points, between different areas and at transitions between different uses);
- nodes (important junctions and points of interaction);
- landmarks and features (important buildings, corners);
- views and vistas (seen from within the area and from the outside);
- edges, seams and barriers (including the boundaries between different zones and areas, and streets which integrate or sever).

Appendix 2

Participating Residents Associations and Groups

Acorns Residents Association

Bessels Green and Packhorse Road Residents Association

Bradbourne Vale Residents Association

Dunton Green Faithworks

Granville Road and Eardley Road Residents Association

Greatness Residents Association

Hopgarden Residents Association

Knole Paddock Residents Association

St. Botolphs Residents Association

St Johns Residents Association

The Drive Residents Association

Tubbs Hill Parade Residents Association

White Hart Residents Association

Wildernesse Residents Association