
SEVENOAKS DISTRICT COUNCIL

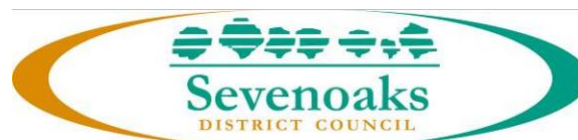
RESIDENTIAL EXTENSIONS SUPPLEMENTARY PLANNING DOCUMENT



**Adopted by the Council
On 7 May 2009**



Tony Fullwood Associates
Chartered Town Planners



CONTENT AND STRUCTURE

- 1 Introduction**
 - What is the Supplementary Planning Document?
 - Will I need Planning Permission?
 - How to Use the Document
 - Purpose
 - Status
 - Definition
- 2 Listed Buildings and Conservation Areas**
- 3 Areas of Outstanding Natural Beauty and Green Belt**
 - Siting, Scale and Form
 - Garages and Outbuildings
- 4 Design Considerations**
 - Scale and Form
 - Rear Extensions
 - Side Extensions
 - Front Extensions
 - Porches
 - Loft Conversions
 - Corner Plots
 - Windows and Doors
 - Materials and Detailing
 - Garages and Outbuildings
 - Parking
 - Surface Treatment
 - Boundaries
- 5 Amenity Considerations**
 - Privacy
 - Outlook
 - Overshadowing and Loss of Light
- 6 General Considerations**
 - Sustainable Design and Construction
 - Lifetime Adaptability
 - Designing Out Crime
 - Flood Risk
 - Trees and Landscape
 - Wildlife
- 7 Key Information**
 - Planning Advice
 - Validation Checklist
 - Building Regulations Advice
 - The Party Wall Act
 - Professional Advice and Consultation
 - Consulting Neighbours
 - Consulting Parish and Town Councils
- 8 Community Involvement**
 - Appendix 1** Policy Background

1 INTRODUCTION

What is the Supplementary Planning Document?

- 1.1 This supplementary planning document (SPD) is part of Sevenoaks District Council's Local Development Framework. It provides further detail about how national, regional and local planning policies set out in Appendix 1 will be applied in relation to extensions to properties in the built up area and within the countryside. The supplementary planning document will be used by the District Council in deciding a planning application for a residential extension. Planning applications which comply with the appropriate advice in relation to the application site should be considered favourably.
- 1.2 Extensions are a common form of development in the District and therefore have an important influence on shaping the local environment. They may also impact directly on neighbours.
- 1.3 The SPD is intended for applicants, agents, planning officers and local residents to assist with improving the quality of development and address the issues of design, amenity and other important considerations. It is intended to create a high-quality, sustainable built environment in line with the Council's aspirations for its present and future residents.
- 1.4 The SPD takes into account the Town and Country Planning (General Permitted Development) (Amendment) (No. 2) (England) Order 2008 which sets out the types of extension which require planning permission and those which do not (see Key Information section below). This SPD indicates the general parameters and the criteria by which planning applications for home extensions will be judged.

Will I need Planning Permission?

- 1.5 The principles contained in this guidance promote good practice and should be relevant whether planning permission is required or not.
- 1.6 Some minor extensions can be carried out without the need to obtain planning permission – these are generally referred to as "Permitted Development". They are subject to the proposal meeting very strict criteria, for example relating to size and detailed positioning.
- 1.7 As the law relating to planning permission is complex, and the rules governing "Permitted Development" can change from time to time, you are strongly advised to seek advice from the Council before carrying out any development by applying for a Certificate of Lawful Development in order to obtain a formal view from the Council.
- 1.8 Particular care must be taken if the property is a Listed Building, within a Conservation Area, affected by an Article 4 Direction, or is in an Area of Outstanding Natural Beauty (AONB). In these circumstances special rules apply.
- 1.9 A short amount of time spent obtaining advice can save a great deal of wasted time later.
- 1.10 The [Planning Portal](http://www.planningportal.gov.uk/england/genpub/en/1115311947777.html): Information can be found under 'household planning rules' in the 'general public section' on the planning portal website (<http://www.planningportal.gov.uk/england/genpub/en/1115311947777.html>). The visual guide to planning permission for residents will provide useful information.

How to Use the Document

- 1.11 If you are considering an extension to a Listed Building or within a Conservation Area please read guidance set out in **Section 2**.
- 1.12 If you are considering an extension in an Area of Outstanding Natural Beauty or the Green Belt, further guidance is included in **Section 3**.
- 1.13 **Sections 4 and 5** sets out details of the design and amenity considerations the Council expects to be taken into account when considering all home extensions.
- 1.14 More general considerations such as sustainable design and construction, designing out crime and development in areas restricted by environmental features are set out in **Section 6**.
- 1.15 Key information on making a planning application for a residential extension is set out in **Section 7**, whilst details of the involvement of the local community in the production of this document is included at **Section 8**.

Purpose

- 1.16 This SPD aims:
- to guide applicants to achieving high quality design by providing guidance on the appropriateness of proposals for different types of extension
 - to promote high quality design by helping householders bring forward high quality schemes
 - to assist the appraisal of particular proposals
 - to deliver high quality designs on the ground which enhance the character of the area, and
 - to supplement adopted policies for assessing proposals to extend properties within the District

Status

- 1.17 The SPD is adopted by Sevenoaks District Council and is a material consideration in determining planning applications for residential extensions in the District.
- 1.18 The SPD has been subject to consultation and a sustainability appraisal to ensure the document contributes to the achievement of sustainability objectives.

Definition

- 1.19 For the purposes of this SPD 'extensions' include all new buildings suitable or potentially suitable for residential occupation, including conservatories and other buildings such as garages or outbuildings, situated within the curtilage (normally the garden) of existing dwellings.

2 LISTED BUILDINGS AND CONSERVATIONS AREAS

2.1 This section applies to extensions in all areas of the District.

Listed Buildings

2.2 Listed buildings are protected for their intrinsic architectural/historical importance and extensions are likely to be particularly sensitive.

2.3 Special consideration will be given to the architectural and historical integrity of the building or groups of buildings.

2.4 Any extension to a listed building will require Listed Building Consent, as well as planning permission. Even relatively minor works, such as painting, may affect the character of a listed building, so it is advisable to contact the Council's Conservation Team for further advice prior to commencing any works.

Conservation Areas

2.5 Conservation areas vary in size, ranging from whole town centres, to much smaller groups of buildings. They will often be centred on listed buildings, but other features of merit, such as open spaces, trees, historic street patterns, or items of historic or archaeological interest may also contribute to the special character of an area.

2.6 Where located within a conservation area, the design of an extension in relation to the original property, adjoining properties and other features must demonstrate that it will preserve or enhance the character of the area.

2.7 It is recommended that prior to starting any work to a listed building or within a conservation area that the Council's Planning Team be consulted at an early stage.

3 AREAS OF OUTSTANDING NATURAL BEAUTY AND GREEN BELT

Areas of Outstanding Natural Beauty

- 3.1 Over 60% of the District is covered by the High Weald and Kent Downs Areas of Outstanding Natural Beauty which have been confirmed by the Government as having the highest status of protection in relation to landscape and scenic beauty.
- 3.2 The prime consideration in such areas is the conservation of the natural beauty of the landscape. Particular attention will be given to the siting, size, form, materials and detailed design of proposals. Permitted Development rights are reduced in these areas in order to retain the natural beauty.
- 3.3 All proposals should respect local distinctiveness and be of high quality design in order to maintain character.

Green Belt

- 3.4 Much of the Sevenoaks District is rural in character and 93% of the District is designated as Green Belt. The Green Belt aims to check the unrestricted sprawl of large built-up areas and assist in safeguarding the countryside from encroachment.
- 3.5 In considering extensions to residential properties in the Green Belt, the District Council will require proposals to meet Saved Local Plan Policies H14A and H14B (see Appendix 1).
- 3.6 Residential extensions may have a significant environmental impact on visual openness, landscape and the character of the original property or its setting. Limited extension to an existing dwelling is not considered to be inappropriate development in the Green Belt provided that it does not result in disproportionate additions over and above the size of the original building or impact on the openness of the Green Belt and the character of the countryside. Any extension which would result in a disproportionate addition would constitute inappropriate development which is by definition harmful to the Green Belt.
- 3.7 Careful consideration of extensions in the Green Belt is consistent with the general approach of minimising the intrusion of development in the countryside.

Scale, Form and Siting in the Green Belt

- 3.8 Policies¹ allow for limited or modest extensions to an original dwelling currently in residential use provided proposals do not adversely impact on the form and character of the original building or the character of the countryside.
- 3.9 The terms 'limited' or 'modest' have inevitably been open to a range of interpretations. The District Council recognises that, in considering applications to extend existing dwellings in the countryside, no two situations will be identical. This guidance therefore includes a number of criteria against which proposals will be tested:
- the impact on the openness of the Green Belt and the character of the countryside

¹ PPG2, PPS7 and the Kent & Medway Structure Plan 2006

-
- the impact on the form and appearance of the original building, and
 - the size of the extension

The impact on the openness of the Green Belt and the character of the countryside

- 3.10 In order to meet planning policy objectives, any extension must be limited in scale.
- 3.11 The scale and form of an extension should not adversely impact on the character of the countryside or the openness of the largely undeveloped character of the Green Belt, which is its most important attribute.
- 3.12 The design of the extension should not result in a large, bulky or intrusive building in the landscape which is likely to have a detrimental impact on an area largely free from development and would therefore fail to maintain the openness of the Green Belt.
- 3.13 The impact of an extension on the countryside is clearly greater if located in a highly visible location. However, the test of impact still applies even if there are limited or no public views of it as, if allowed, the argument could be repeated, with a potentially more serious cumulative impact on the openness of the Green Belt and the urbanisation of the countryside and for these reasons would be unacceptable. In some locations any extension may be inappropriate.

The impact on the form and appearance of the original building

- 3.14 Within the District there are a number of dwellings in the countryside which have been converted from buildings originally in non-residential use, such as oast houses, barns and other farm buildings. Many of these rural buildings have a simple form such as a rectilinear floor plan which fits well with their original function and the character of the countryside, whilst others have an historic form and character which should be retained.
- 3.15 The Council will seek to preserve the original form and character of these buildings and therefore extensions to converted buildings are unlikely to be permitted.
- 3.16 In the case of non-converted dwellings in the Green Belt, extensions should not overwhelm or destroy the original form of the building, but should appear secondary to it. The scale of an extension should fit unobtrusively with the building and its setting. An extension which infills a void between existing parts of a building, such as a space in an 'L' shaped house, may be less obtrusive and could reduce impact on the openness of the Green Belt.



Scale of two storey extension does not overwhelm the existing property, is set back from the existing building and repeats the design elements from the original building



- 3.17 Where an extension is acceptable in principle, its form should be well proportioned and present a satisfactory composition with the house. Rural buildings often have a simple form or may possess a visual symmetry which should not be significantly altered.
- 3.18 Roof shape is critical to creating a successful built form. The pitch of extension roofs should be as, or similar to, the main house roof pitch. It should be noted that a flat roof extension in the countryside designed in order to reduce the bulk of the proposal is unlikely to be acceptable in appearance.



Size of the extension overwhelms the original building



-
- 3.19 Particular account will be taken of the cumulative impact of extensions, including the effect on the character of the original property. Repeated extensions to properties impact significantly on the original form and appearance and are unlikely to be appropriate.

The size of the extension

- 3.20 Planning policies allow for limited extensions to an original dwelling in the Green Belt and therefore the size of the original building rather than the size of the plot will be used in assessing the appropriate size of an extension.
- 3.21 When considering an extension to a residential dwelling in the countryside, the Local Planning Authority will apply Saved Local Plan Policies H14A and H14B (see Appendix 1).

Summary:

An extension should be limited in size and respect the original dwelling with careful design.

There should be no adverse impact on the character or openness of the countryside.

Garages and Other Outbuildings in the Green Belt and Areas of Outstanding Natural Beauty

- 3.22 Garages and other outbuildings should not impact detrimentally on the space surrounding buildings. They must be limited in scale and clearly ancillary to the property.
- 3.23 Their scale should not exceed what might reasonably be expected for the function of the building. Garages and outbuildings for domestic purposes should not normally need to exceed a single storey in height or have excessive volume.
- 3.24 Within the Green Belt and Area of Outstanding Natural Beauty, in accordance with Policy H14B, the gross floor area of the outbuilding(s) whether individually or cumulatively, together with the gross floor area of the original dwelling and any subsequent extension or outbuilding(s), should not exceed the gross floor area of the 'original' dwelling by more than 50%. The total gross floor area of the outbuilding(s), whether individually or cumulatively, must not exceed 40 sq. m.
- 3.25 The outbuilding should be well designed in relation to the dwelling, compatible with the character of the area and designed and sited to minimise visual intrusion.
- 3.26 There should be no adverse impact on the character or openness of the countryside. In order to contain the sprawl of buildings, any separate buildings should be located close to the original dwelling.
- 3.27 Garages and outbuildings should not compete with the main house. Often secondary buildings were traditionally erected with a simplicity of design. This may be used to good effect to reinforce the distinction between the original building and the secondary building.

-
- 3.28 The form of garages and outbuildings (including roof pitches) and architectural features should be in keeping with the existing and surrounding properties.

Summary:

Garages and other outbuildings should not have a detrimental impact on the space surrounding buildings or the character and openness of the countryside by virtue of their scale, form or location.

Their scale should be limited and should not be in excess of what might reasonably be expected for the function of the building.

Boundaries in the Green Belt and Areas of Outstanding Natural Beauty

- 3.29 In designing an extension the loss of a traditional boundary which is characteristic of an area (such as a hedge) should be avoided.
- 3.30 Boundary treatment which is not characteristic of the countryside (such as close boarded fences) should be avoided as they are urban in character and detract from the openness of the countryside. Similarly, large close boarded gates are also inappropriate. Dependant on the landscape character and tradition, hedges or ditch and hedge or wooden post and rail fences may be more appropriate. In rural areas the retention and reintroduction of as many native hedgerows and trees as possible will contribute to environmental quality, the maintenance of biodiversity and habitat, water absorption and moderate the effects of solar gain.
- 3.31 Unless it is characteristic of the location, frontages should not be totally enclosed behind high boundaries (normally above 1 metre in height) as this would detract from the character of the area, adversely affect the openness of the countryside and reduces informal surveillance of the street.
- 3.32 Through the development process there will be opportunities to reinstate or reinforce the positive features which contribute to the character of an area. Where it is feasible in relation to the building of an extension, a new boundary which is characteristic of the traditional boundary treatment in the area and would help integrate the new building into the countryside should be included within the scheme. Further advice may be obtained from the Kent Downs Landscape Design Handbook.

Summary:

When adding an extension to a property, the District Council will expect development to retain and, where feasible, reinstate the traditional boundary treatment.

4 DESIGN CONSIDERATIONS

- 4.1 Achieving good design is an aim in the development process and the Local Planning Authority will reject poor designs. Planning policy and other guidance provide general principles to ensure that new development is not only well designed in itself, but is also sympathetic to its surroundings.
- 4.2 In designing extensions to existing buildings, the design principles set out in this Supplementary Planning Document should be followed. Subject to the context, it may be possible to arrive at an innovative design which responds to the positive features of the existing building and the area and ensures sufficient references to reinforce the distinctive character of the building and its surrounding context.
- 4.3 Occasionally, there will be circumstances where it is impossible to design an acceptable extension due to the sensitivity of the site or the building, limited space, or the relationship of neighbouring properties.
- 4.4 When considering a residential extension the basic components that will be assessed are siting, scale, form and external appearance.

Siting, Scale and Form

- 4.5 To integrate successfully into their surroundings, the siting of new extensions should normally respect existing building lines and the pattern of buildings and spaces between them.
- 4.6 The scale and form of an extension are important factors in achieving a successful design. The extension should respond positively to the features of the area which contribute to the local distinctive character and sense of place in terms of scale, proportion and height.
- 4.7 The scale and form of an extension should normally fit unobtrusively with the building and its setting and be compatible with the surrounding properties. This is particularly important where the buildings in a street follow a regular form or are regularly spaced.
- 4.8 An extension should not have a detrimental visual impact or overbearing effect on the original building or the street scene. No proposal should be of such a size or proportion that it harms the integrity of the design of the original dwelling.
- 4.9 A range of devices is available to reduce the visual impact of an extension such as setting the extension back from the original building and including lower roofs, and using different materials or detailing.
- 4.10 Occasionally it is possible for an extension to be larger than the original dwelling where this would enhance the townscape by, for example, providing a new well designed landmark feature or increasing the visual attractiveness to an otherwise unexceptional street scene.
- 4.11 Where visible from public view, roof shape is critical to creating a successful built form. The pitch of extension roofs should normally be as, or similar to, the main house roof pitch.

-
- 4.12 Flat-roofed extensions are unlikely to be permitted, unless flat roofs are already a characteristic of the locality, as they can appear unsympathetic to the form of the original building.

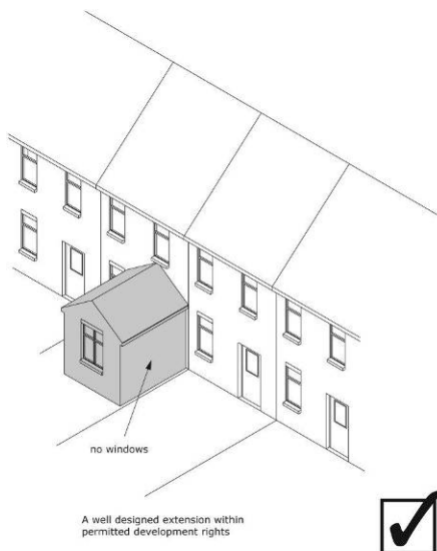
Summary:

The scale, proportion and height of an extension should respect the character of the existing building unless there is a strong justification for an alternative approach and should fit unobtrusively with the building and its setting. The form of an extension should be well proportioned and present a satisfactory composition with the house.

The extension should normally be roofed to match the existing building in shape. A flat roof extension would be unacceptable unless flat roofs are already a characteristic of the locality.

Rear Extensions

- 4.13 The acceptable depth and height of a rear extension will be determined by the ground levels, distance from the boundaries and also the size of the neighbouring garden/amenity space.
- 4.14 In order to prevent an overbearing appearance and for reasons of residential amenity, this SPD advocates that in normal circumstances rear extensions on semi-detached or terraced houses should not project more than 3 metres from the rear elevation. On detached houses situated close to a neighbouring property, extensions should generally extend no more than 4 metres from the rear elevation. The height of a single storey extension within 2 metres of a boundary should normally be no more than 3 metres to eaves height and an overall height of 4 meters above the existing ground level. In general two storey extensions should have pitched roofs to match the existing dwelling. Flat roofs should also be avoided on prominent and large single storey extensions.
- 4.15 To protect against overlooking, the side wall facing a neighbour should not normally contain windows unless privacy can be retained by means set out in the section on Overlooking (below).

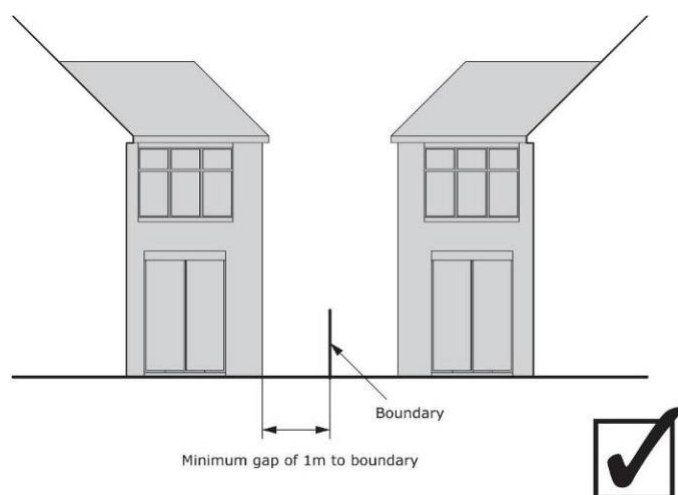


Summary:

In the case of semi-detached or terraced houses, rear extensions should not normally exceed 3 metres in depth from the rear of the property and, in the case of single storey development, 4 metres in height.

Side Extensions

- 4.16 The acceptable height of a side extension will be determined by the ground levels and the distance from the boundaries.
- 4.17 Providing the guidance on the form of the extension set out below is followed, a single-storey extension to the side of a property should normally be acceptable if it does not have a significant adverse impact on the nature of space between buildings. The Council will also seek to retain adequate off-street parking spaces (see Parking section).
- 4.18 When the proposal is for a two-storey extension, the loss of space will be more apparent. In a street of traditional detached and semi-detached houses, the infilling of the spaces between with two-storey extensions could create a terraced and cramped appearance at odds with the regular pattern of development when viewed from the street when the gaps, often with associated landscaping or allowing longer views, are important elements. A side extension built flush with the existing front elevation of the house may also affect the symmetry of a pair of semi-detached properties resulting in a detrimental impact on the appearance of the street scene.
- 4.19 Where there is a pattern of gaps between properties within a street, as a guide, a minimum of 1 metre between the side wall of a two storey side extension and the boundary for the full height of the extension is normally desirable. This will allow a continuation of the pattern of gaps when viewed from the street. This gap may need to be wider depending on the context.
- 4.20 A side extension should not dominate the original building. This can be helped by reducing the bulk of the extension and setting it back from the front elevation of the original house and introducing a lower roof on the extension.





Insufficient gap between properties
and roof forms incompatible



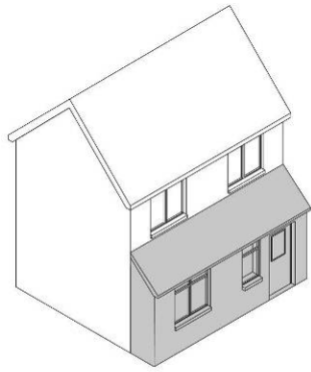
Summary:

The pattern of gaps in a street scene should be maintained.

There should normally be a minimum gap of 1 metre between the side wall of a two storey side extension and the adjoining property for the full height of the extension. This gap may need to be wider depending on the context.

Front Extensions

- 4.21 Particular care is required in the design of front extensions because of their prominence at the front of a property. Front extensions may be acceptable in a street where
- there is already considerable variety in the building line,
 - there are already projecting elements such as gables facing the street,
 - a front extension would enhance the townscape by, for example, increasing the visual attractiveness to an otherwise unexceptional street scene,
 - the extension is to a detached house, where there is no strong visual relationship with adjoining properties,
 - where the extension does not involve the loss of off street parking spaces or trees that are important to the character of the area (see Parking and Trees and Landscape sections below).
- 4.22 Where an extension is acceptable, the roof should match the roof of the original house in style in order to complement the existing building and the character of the area. Flat-roofed extensions are unlikely to be permitted, unless flat roofs are already a characteristic of the locality, as they can appear unsympathetic to the form of the original building.



Scale, form and roof pitch appropriate to the original property



- 4.23 Front extensions can appear unduly prominent within the street scene where buildings are set back a consistent distance from the street along a common building line or where there is already a strong character of no front extensions. The visual unity of a whole terrace or the wider street scene should not be compromised.
- 4.24 A front extension should not obstruct the outlook from adjacent windows of a terraced or semi-detached house.



Large scale flat roof extension projects beyond the common building line at the front of properties

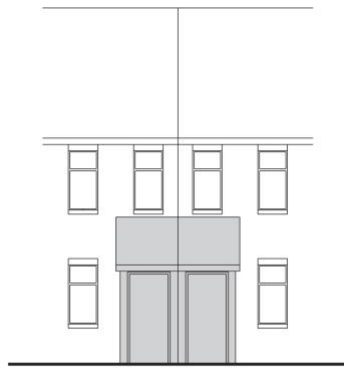


Summary:

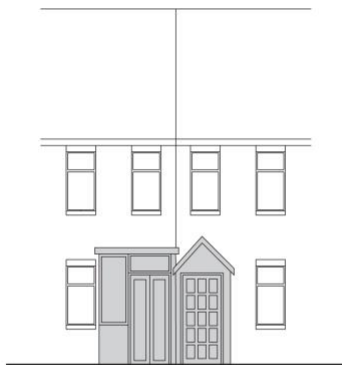
Where a front extension would be acceptable within the street scene, the scale should respect the scale of the building to which it is attached and the roof should be of the same form as the existing building. A front extension should not be close to, or obstruct the outlook from, windows from an adjoining dwelling and should not compromise the unified visual appearance of a whole terrace or the wider street scene.

Porches

- 4.25 Porches have an important effect on the appearance of a dwelling and on the street scene. In most circumstances, small porches of less than 3 square metres ground area (measured externally) do not require planning permission. Nevertheless, following the guidance in this SPD should ensure a satisfactory design.
- 4.26 Porches can be successfully incorporated where they are appropriate to the scale of the dwelling and its features (for example windows).
- 4.27 A large porch, where the size and proportion is out of scale with the original dwelling, or where it projects excessively from the original house, or competes with existing features such as bay windows, is unlikely to complement the house or the street scene.
- 4.28 Where buildings are set back a consistent distance from the street along a common building line or where there is already a strong character of no porches, porches can appear unduly prominent and incongruous within the street scene. The unified visual appearance of a whole terrace or the wider street scene should not be compromised.
- 4.29 A porch should not obstruct the outlook from adjacent windows of a terraced and semi-detached house. For these reasons, a joint scheme with the neighbouring property could be considered (see the Key Information section below).



A successful joint scheme for two porches



Discordant scale, form and details

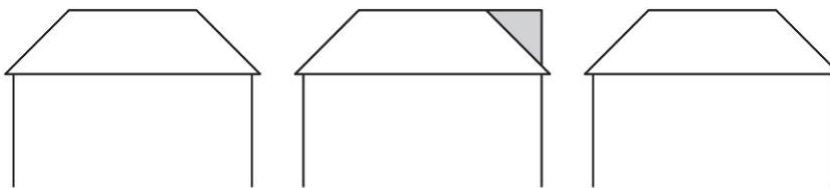


Summary:

A porch should respect the scale of the building to which it is attached, should not be close to, or obstruct the outlook from, windows from an adjoining dwelling and should not compromise the unified visual appearance of a whole terrace or the wider street scene.

Loft Extensions and Conversions

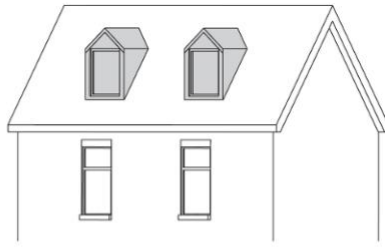
- 4.30 Loft conversions can be very prominent and are often the most difficult to integrate with the external appearance of an existing building.
- 4.31 Increasing the roof height of a dwelling by altering the eaves height or the pitch of the roof can have a significant impact on the dwelling and street scene and should be avoided. Loft extensions should be below the ridge height of the existing building and not create the appearance of an extra storey which would be unsympathetic to the character of an area.
- 4.32 In a group of houses where there is a clear consistent line or distinctive roof form which face the street, loft extensions should not detract from that characteristic roof profile. 19th century terrace houses with a common roof profile and 1930s houses with roofs with a sloped end (known as hipped roofs) are typical examples.



Common roof profile broken by loft extension



- 4.33 Loft extensions are preferred on the back elevation in order to preserve the character of the street, subject to amenity considerations (see the section below).
- 4.34 New dormers (as shown on the illustration below) will not normally be allowed to front elevations in streets where there are none already. Roof lights, particularly on the front elevation, are a preferable alternative to the use of dormers or roof extensions. The number and size of roof windows should not visually dominate the roof plane. Roof windows need not be large, as more sunlight and daylight reaches a sloping roof than a wall. Roof windows should be designed and installed to have a minimum projection from the roof plane. The glazing of the traditional roof light is flush with the roof covering, and all roof window ranges now include a 'conservation style' roof light which meets this requirement.
- 4.35 Loft extensions should be proportionate in scale to the roof plane and be set in line with existing doors and windows in the original house. They should be below the highest part of the existing roof (the ridgeline) and should be set back a minimum of 20 centimetres from the eaves and sides to maintain the visual appearance of the roof line.



Loft extension proportionate in scale and follows vertical alignment with existing windows



- 4.36 Large dormers/roof extensions requiring planning permission, which are disproportionate to the house, will not be allowed.



Disproportionate scale of loft extension. Single dormer not aligned with windows in existing building and breaks eaves line



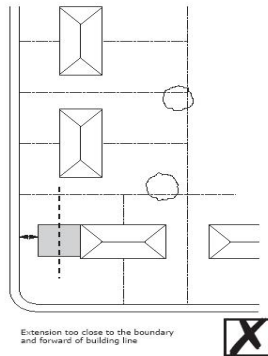
- 4.37 Any dormer/roof extensions requiring planning permission that results in unacceptable overlooking of a neighbouring property will not be allowed (see section on Amenity Considerations).

Summary:

Loft extensions should not detract from the characteristic roof profile of a street and should follow the vertical lines of existing doors and windows.

Corner Plots

- 4.38 The side elevation of houses on corner sites is often built in line with the fronts of houses on the side street. Thus, a side extension on a corner plot could have an effect on the 'building line' of the adjoining street.



4.39 In considering side extensions on corner sites, in addition to meeting the general design criteria applying to side extensions, proposals will also be judged against the following:

- whether there is a strong character or common building line in the 'side street' which should be respected;
- the distance from any adjacent property – the greater the distance the less the impact;
- pedestrian and vehicular visibility which should be maintained;
- the height of the extension and its impact on the 'side-street' which should be minimal;
- the loss of garden space on the character of the street(s) and
- screening/ enclosures – the degree to which the site is already screened and enclosed beyond the building line, by fences and planting.

4.40 A side extension at a street corner should not be left with a blank wall but should include windows. This will allow informal overlooking of the street which can help to deter crime and also breaks up the appearance of a solid mass.

Summary:

Development on corner sites should respond sensitively to the character of the adjoining street created by a common building line, the scale, form, and architectural features of development and the spaces around buildings. Side windows which overlook the street should be included in the extension.

Windows and Doors

4.41 The type, proportions, sub-divisions and materials of the new windows and doors should match those of the original house.

4.42 The proportion of windows is particularly important in successfully integrating an extension with an existing building as this could affect the appearance of the property

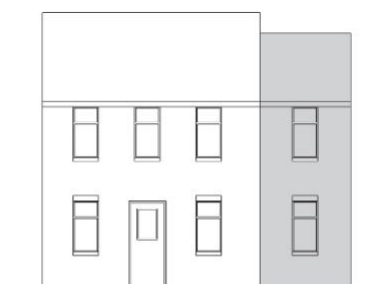
regardless of whether it needs planning permission. For example, an extension to a house with windows of vertical proportion should not have windows that are square or horizontal in proportion.



Inappropriate window proportion and style



- 4.43 The careful use of glazing bars can be a useful design tool to integrate different size windows, as is attention to window detail.
- 4.44 New windows should be arranged to line up vertically and horizontally with those of the original house, to give a sense of balance and proportion.
- 4.45 Dormer windows should also relate to the shape, position, design and materials of the existing windows.
- 4.46 Additionally, the proportion or ratio of solid wall to window should reflect that of the original house or local buildings. The number and size of windows in an extension should be limited to those absolutely necessary; otherwise the elevation would appear too cluttered.



Lower ratio of window to wall



Summary:

The doors and windows of the extension should normally match the proportions, design and materials of the original building and follow the main lines of the existing openings.

Materials and Detailing

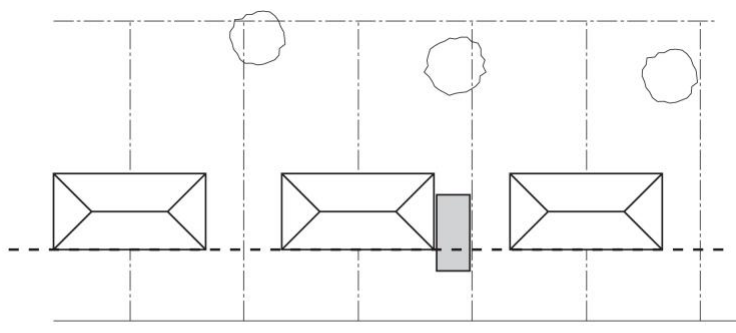
- 4.47 Good quality design relies on the choice and combination of materials. This is crucial to the success of a scheme. The choice of materials should respond to, and reinforce, the character of the area. Generally, the materials of an extension should match those used on the original building. However, often secondary buildings or extensions were traditionally erected in different materials which can help reinforce the subservience of the extension and maintain the visual primacy of the original. Hence, if it is compatible with the materials of the existing building, it could be appropriate to use other local materials on an extension.
- 4.48 Roof overhangs, gable treatments and verge detailing should be consistent with those of the original house.

Summary:

The facing materials and detailing of an extension should normally match those used in the existing building or, if this is not the case, should be in harmony with it.

Garages and Other Outbuildings

- 4.49 Garages and other outbuildings should not have an unacceptable impact on the space surrounding buildings. They should be smaller in scale and clearly ancillary to the property.
- 4.50 In order to appear ancillary to the property, fit well within the street scene and prevent a detrimental impact on neighbouring properties, such as excessive overshadowing of a garden or window of a habitable room, garages and outbuildings should be of a scale, form (including roof pitches) and materials that fits unobtrusively with the building, surrounding garden space and the street scene.
- 4.51 Garages and other outbuildings should not generally be located in front of the building line.



Garage forward of building line



-
- 4.52 Particular care will be taken where garages or outbuildings are set in front of the building in view of the likely greater impact on the street scene.

Summary:

Garages and other outbuildings should be subservient in scale and position to the original dwelling and not impact detrimentally on the space surrounding buildings or the street scene by virtue of their scale, form or location. Garages or outbuildings set in front of the building line will not normally be allowed.

Parking

- 4.53 In many parts of the District, the space surrounding a property, including mature vegetation, is important to the character of an area.
- 4.54 Extensions to properties result in increased built form and reduced space around a building. The Council will seek to retain adequate off-street parking spaces (and also turning space within the grounds of the existing dwelling where there is access onto a classified road) without diminishing the quality of front garden areas or the street scene. The maximum parking standard for the property can be found in the latest Kent County Council Vehicle Parking Standards via:

<http://www.kmsp.org.uk/towards-adoption-of-plan.html>

Summary:

When designing an extension, there should be scope within the plot for sufficient off-street parking and turning space where necessary without diminishing the quality of front garden areas or the street scene.

Surface Treatment

- 4.55 Extensions and outbuildings and an increased tendency for the creation of hard standing usually for off-street car parking can all increase flooding and associated water pollution. Residents' use of impermeable materials for converting front gardens to car parking spaces has been part of this trend.
- 4.56 With climate change and increased amounts of hard surfacing in urban areas, the Government has changed permitted development rights to allow residents to pave over front gardens of more than 5 square metres without planning permission only if the surface is made of porous materials such as permeable paving or gravel, or unless provision is made to direct run-off water from the hard surface to a permeable surface within the grounds of the dwelling.
- 4.57 The District Council would wish to see the use of permeable materials if hard surfacing is required. Natural materials such as gravel can also assist in softening the appearance of the garden area. To avoid the risk of loose stones being transferred to the highway an efficient gravel trap should be introduced at the junction with the adopted highway.
- 4.58 Within parts of the built up area, landscape features are important to the street scene and partially or completely screen development. Extensions and hard surfacing can

put pressure on such features through additional built form (see the section on Trees and Landscape below) and through the erosion of landscape features in order to accommodate car parking.

- 4.59 Greater permeability should increase soil moisture levels which would benefit street and garden trees and is likely to reduce the risk of trees drying out soils, which increases the risk of subsidence. The use of permeable surfaces would also support replenishment of water resources via ground water recharge.

Summary:

Applicants should ensure that the character of the garden space is not harmed by an extension or hard surfacing and, wherever possible, that permeable surfaces are used which are in keeping with the character of the grounds of the property and the street scene.

Boundaries

- 4.60 The boundaries to properties have a significant impact on the character of an area and its visual amenity. They help enclose the road space, define the boundary between public and private space and act as a strong link to the history of the area and the locally derived materials.
- 4.61 Local context should influence the design of any new or replacement boundary. The materials, height and design of any new boundary, or the retention of a valued existing boundary, is often crucial in ensuring the sensitivity and positive acceptance of a proposed development.
- 4.62 Unsympathetic boundary treatment (such as close boarded fences) should be avoided on front or side boundaries facing the street.
- 4.63 It is desirable that there is an opportunity for informal overlooking of the street by occupants of properties as this can help to deter crime. Wherever possible, properties should not be totally enclosed behind high boundaries (normally above 1 metre in height) unless high boundaries are part of the character of the street scene.
- 4.64 Through the development process there will be opportunities to reinstate or reinforce the positive features which contribute to the character of an area. Where it is feasible in relation to the building of an extension, a new boundary which is characteristic of the traditional boundary treatment in the area would help integrate the new building into the street scene and should be included within the scheme.

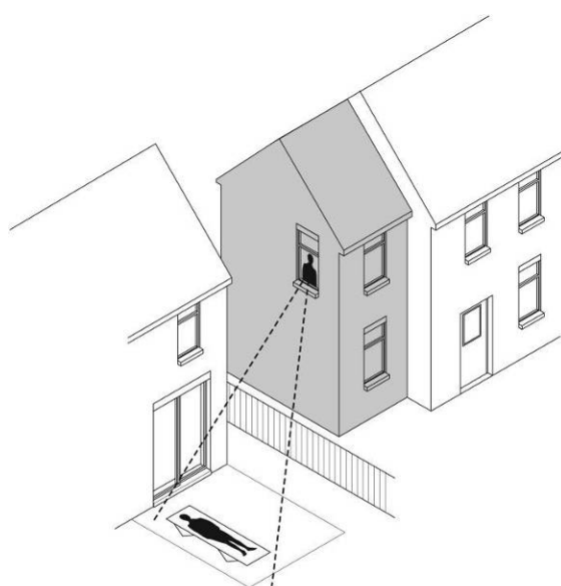
Summary:

When adding an extension to a property, the District Council will expect development to retain and, where feasible, reinstate the traditional boundary treatment.

5 AMENITY CONSIDERATIONS

Privacy

- 5.1 Extensions can materially affect the privacy of adjoining occupiers.
- 5.2 In order to safeguard the privacy of neighbours, the introduction of windows in extensions which would overlook windows of habitable rooms in any adjoining property at a close distance and would result in an unreasonable loss of privacy will not be permitted. For similar reasons, a window overlooking the private amenity area immediately adjacent to the rear of an adjoining dwelling is also inappropriate. The District Council will normally calculate the private amenity area as a depth of 5 metres from the back of the property.



Overlooking



- 5.3 Visual privacy can be achieved by a range of methods other than the distance between buildings or spaces. Through design, the careful positioning of windows to give oblique views of neighbouring windows can resolve direct overlooking. Use of projections or set backs, high-level windows, obscure glazed or non-opening windows (unless the parts of the window which can be opened are more than 1.7 metres above the floor of the room) may be used. At ground level the use of appropriate screen walls, fences or vegetation can provide privacy.
- 5.4 Use of a flat roof extension as a balcony requires planning permission and care should be taken with balconies, roof gardens, first floor conservatories and verandas which can pose problems of overlooking.

Summary:

Windows, roof terraces, balconies (including Juliet balconies) and verandas in an extension should not directly overlook the windows or private amenity space of any adjoining dwelling where this would result in an unreasonable loss of privacy.

Outlook

- 5.5 The District Council is primarily concerned with the immediate outlook from neighbours' windows, and whether a proposal significantly changes the nature of the normal outlook. For example, it would be unacceptable for the resulting outlook from a main window to be of a large, obtrusive and dominating extension. However, the planning process is not able to protect a view from a private property.

Overshadowing and Loss of Light

- 5.6 Overshadowing occurs when an extension is in such a location, and/or is of a size that it would cause significant overshadowing of a neighbour's property or amenity space.
- 5.7 An extension should not cause any significant loss of **daylight** or the cutting out of **sunlight** for a significant part of the day to habitable rooms (including lounge, dining room, kitchen/diner and bedrooms) in neighbouring properties or private amenity space. Daylight is the volume of **natural** light that enters a building to provide satisfactory illumination of internal accommodation between dawn and dusk. Sunlight refers to **direct sunshine** and is very much brighter than ambient daylight. Loss of light is particularly sensitive when there is just one window lighting a habitable room.

The 45° Test

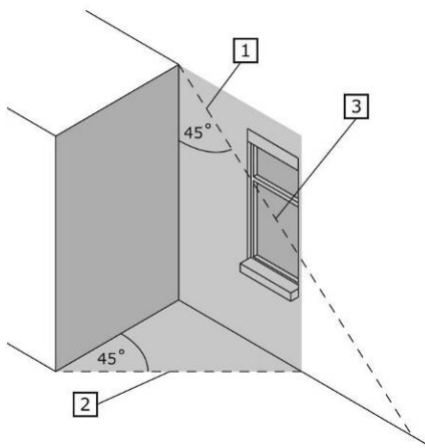
- 5.8 A useful guideline to measure the likely impact of an extension on neighbouring property is the '45° test'. Its purpose is to make sure that a development does not take away too much daylight. However, this is guidance only and passing the test does not necessarily mean that the proposal would be acceptable. Application of the test is set out below;

1 *From the elevation of the wall in which the neighbour's window is placed, draw diagonally down at an angle of 45° away from the near top corner of the extension wall;*

2 *Take the plan and draw diagonally back at an angle of 45° towards the window wall from the end of the extension;*

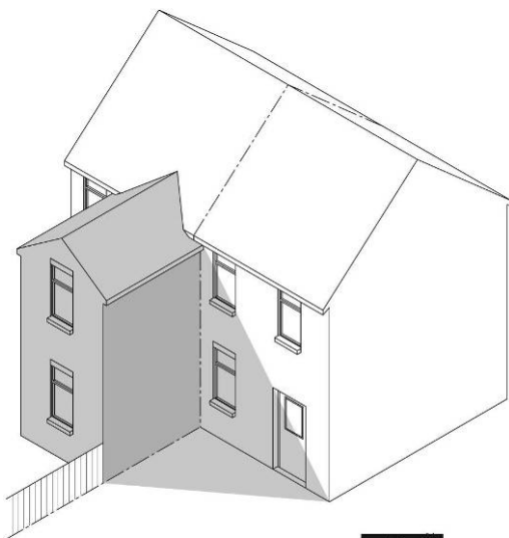
3 *If the centre of a window to a habitable room of the next door property lies on or within these 45° lines, then the extension may well cause a significant reduction in the light received to the room*

Checking the effect of proposed extensions on daylight.



Centre of adjacent windows should be outside the shadows

- 5.9 In the case of semi-detached or terraced houses or detached houses built close to each other, extensions should not be either too high or too deep such that they would cause significant loss of daylight or the cutting out of sunlight for a significant part of the day to an adjoining property or amenity space. Advice on preferred dimensions is given in the Rear Extensions Section above.



Overshadowing leads to loss of daylight



Summary:

An extension should respect the amenities of adjoining properties in respect of daylight and sunlight and maintain an acceptable outlook from a neighbouring property.

6 GENERAL CONSIDERATIONS

Sustainable Design and Construction

- 6.1 Saved Local Plan Policy EN1 requires development to be designed so as to have regard to water and energy conservation. The Council has signed the Nottingham Declaration and will encourage a sustainable approach to designing and constructing an extension.
- 6.2 Designing an extension provides an ideal opportunity to carry out other improvements to upgrade the environmental impact of both construction and the efficiency of an existing home. Such measures will help mitigate the additional energy requirements that will result from the extension and ideally lead to a net reduction in the residents energy consumption.
- 6.3 During the construction stages, waste can be reduced by the re-use of materials on site. This can offer a cost effective source of materials, as well as reducing landfill. Recycled materials can also be obtained through an increasing number of sources. Where new materials are to be used, the District Council will promote the use of materials that have been obtained from verifiable sustainable sources.
- 6.4 As part of extending a home, there is the opportunity to achieve improved energy efficiency of the property through upgrading insulation, installing new energy efficiency products such as condensing boilers and low energy lighting. Subject to amenity considerations and the sensitivity of the environment, consideration should also be given to incorporating small scale renewable energy generation options, e.g. photovoltaic cells, solar water heating. Such measures can help reduce running costs as well as emissions of carbon dioxide.
- 6.5 If an extension includes a bathroom, toilet or kitchen, equipment / fittings that help reduce water consumption should be incorporated, such as dual flush cisterns, regulated taps and showers or installing rainwater recycling systems.
- 6.6 Subject to harmonising with the materials used on the existing building and the impact on the wider street scene or landscape context, the use of green roofs and walls should be considered for use on extensions. Due to the high degree of insulation that they provide, green walls and roofs provide a constant temperature throughout the year. During the winter they keep the heat in, and in the summer they provide a relatively cool environment. Consequently, they reduce heating and cooling energy costs and consumption. Green walls and roofs also reduce stormwater run off, reduce greenhouse gases and provide habitat for insects and other wildlife.

Summary:

When designing an extension, a sustainable approach should be taken to design and construction through the minimising on site waste, maximising recycling, improving energy efficiency and reducing water consumption.

Lifetime Adaptability

- 6.7 When designing an extension, it is helpful to consider how you might need to use your home in the future as your family circumstances change. Rather than having to move home every time circumstances change, the incorporation of features which help adaptation in the future will help make the home flexible enough to meet

changing needs. For example, extensions which incorporate sufficient space for a growing family, including for pushchair and heavy shopping, and consider future mobility needs are likely to meet changing circumstances.

Designing out Crime

- 6.8 Designing an extension provides the opportunity to consider measures to deter crime and provide a more secure and welcoming environment, through:
- A clear definition of public/private space (see Boundaries section)
 - A layout which allows natural surveillance (see Boundaries and Corner Plot sections)
 - Security equipment and measures on the property

Summary:

The design of householder extensions should, wherever possible, incorporate measures to deter crime.

Flood Risk

- 6.9 Where there is a proposal for an extension within a flood zone, reference should be made to the Environment Agency's Flood Risk Standing Advice at;

www.pipernetworking.com/floodrisk/

- 6.10 Flood advice is also found in Planning Policy Statement 25 (Annex D) and the associated Practice Guide;

www.communities.gov.uk/planningandbuilding/planning/planningpolicyguidance/planningpolicystatements/planningpolicystatements/pp25/

Trees and Landscape

- 6.11 In a District of high landscape value both within the urban areas and the countryside, proposals should ensure that important existing site features including trees, hedgerows and shrubs are retained and, ideally, enhanced. The need to extend must therefore be balanced with the need to maintain the landscape character of an area.
- 6.12 The layout of any extension should be designed to avoid direct loss or damage to important landscape features. Trees with Tree Preservation Orders and trees in Conservation Areas are statutorily protected. Even if the layout may not directly affect trees or hedges at the construction stage, it should not place pressure for future removal or excessive pruning. During construction work, trees must be adequately protected in accordance with BS5837 (Trees in Relation to Construction Recommendations).
- 6.13 New landscape features will be required in appropriate cases. This should comprise native species which fit well within the character of the area and can provide habitats for wildlife. The Sevenoaks District Countryside Assessment (accessed at http://www.sevenoaks.gov.uk/documents/countryside_character_assessment.pdf) refers to characteristic tree species and materials for different landscape character areas within the district.

-
- 6.14 The Kent Downs Landscape Design Handbook (accessed at <http://www.kentdowns.org.uk/landscapehandbook.html>) also contains useful information.

Summary:

When adding an extension to a property, the District Council will expect development to retain and, where feasible, reinforce important landscape features. Development in areas under the tree canopy should be avoided.

Wildlife

- 6.15 Residential extensions provide good opportunities to include design features to provide roosting and nesting opportunities for wildlife. This may be particularly important if extensions are created from the conversion of existing buildings which provide habitats for species which are protected under the Wildlife and Countryside Act 1981, such as bats and barn owls, making it an offence to damage or destroy places used for shelter or protection. It is possible to address the needs of owls, bats and other species in any development proposal. For example, entrances can be left into the roof space, with roosting spaces and nest boxes provided.

Summary:

In designing an extension, applicants should consider opportunities for the creation of wildlife habitats. Where protected species are present within a building to be used for a residential extension, the District Council will expect development to retain such habitats.

7 KEY INFORMATION

Planning Advice

- 7.1 Householders considering extending their home can obtain planning advice by:
- contacting a planning officer at the District Council by telephone or in writing and providing details (Tel. 01732 227000 select option 3),
 - sending an email to: planning.preapplication.advice@sevenoaks.gov.uk or
 - writing to:

*Council Offices
Argyle Road
Sevenoaks
Kent
TN13 1HG*

- 7.2 If you wish to check whether you need planning permission, you can search the Government's planning advice website: www.planningportal.gov.uk. If you are still unsure a Certificate of Lawful Development will have to be submitted to the District Council to check if planning permission is required.

Validation Checklist

- 7.3 Applicants are reminded that District Council has introduced a validation checklist to ensure that all planning applications are accompanied by the correct information. Details can be found on the website:

http://www.sevenoaks.gov.uk/environment/planning/planning_applications/planning_application_forms_and_fees/default.asp

Building Regulations Advice

- 7.4 The Supplementary Planning Document refers only to planning aspects of development and separate advice should be sought on Building Regulations at the Council office address above or:

building.control@sevenoaks.gov.uk

The Party Wall etc Act 1996

- 7.5 The Act is separate from planning or building regulations control. If it is intended to carry out building work which involves one of the following categories you must find out whether that work falls within the Act:
- work on an existing wall or structure shared with another property (section 2 of the Act)
 - building a free standing wall or a wall of a building up to or astride the boundary with a neighbouring property (section 1 of the Act)
 - excavating near a neighbouring building (section 6 of the Act)
- 7.6 If it does, you must notify **all** adjoining owners. Further advice may be found on: www.communities.gov.uk/publications/planningandbuilding/partywall

Professional Advice and Consultation

- 7.7 It is recommended that early professional advice is obtained for any proposals to alter or extend your property. A properly qualified designer should be able to help you explore how you might extend the property and in estimating the cost.
- 7.8 Most professional institutes have a client advisory service or have a list of designers in your area:

Royal Institute of British Architects:
www.architecture.com

Royal Town Planning Institute
www.rtpi.org.uk

Royal Institute of Chartered Surveyors:
www.rics.org

Chartered Institute of Architectural Technologists:
www.ciat.org.uk

Consulting Neighbours

- 7.9 It is worthwhile working out the effects of a proposed extension and to discuss these with your neighbours to avoid misunderstanding and take account of any comments before finalising any proposals.
- 7.10 Where development requires planning permission, the District Council will inform adjoining owners to seek their views on your application anyway and consulting them before submission can save time.

Consulting the Parish or Town Council

- 7.11 Your Parish or Town Council will also be consulted about any application for planning permission and may make recommendations to the District Council.

8 COMMUNITY INVOLVEMENT

- 8.1 Formal consultation on the Residential Extensions SPD commenced on 29 January 2008 and closed on 12 March 2009.
- 8.2 Copies of the SPD were been made available for comment at the District Council offices in local libraries and on the website.
- 8.3 Statutory consultees as well as the existing network of resident, community and specialist interest groups known to the District Council were consulted.
- 8.4 The SPD has been publicised in the local press and on the website.
- 8.5 Community involvement in the preparation of the SPD is closely following the District Council's adopted Statement of Community Involvement.
- 8.6 The responses to the consultation were reported to the LDF Advisory Group for adoption on 29 April 2009 and the report and responses are available from the Council.
- 8.7 The production of the Residential Extensions SPD is included in the District Council's Local Development Scheme (2007).

APPENDIX 1

Policy Background

The SPD is consistent with national planning policy and in general conformity with regional planning policies as well as the policies set out in the development plan documents contained in the local development framework.

National Planning Policies

Planning Policy Statement 1 (Delivering Sustainable Development) states that the Government is committed to protecting and enhancing the quality of the natural and historic environment, in both rural and urban areas. Planning policies should seek to protect and enhance the quality, character and amenity value of the countryside and urban areas as a whole.

Planning should seek to maintain and improve the local environment and help to mitigate the effects of declining environmental quality through positive policies on issues such as design, conservation and the provision of public space.

Planning authorities should plan positively for the achievement of high quality and inclusive design for all development, including individual buildings, public and private spaces and wider area development schemes. Good design should contribute positively to making places better for people. Design which is inappropriate in its context, or which fails to take the opportunities available for improving the character and quality of an area and the way it functions, should not be accepted.

Design policies should avoid unnecessary prescription or detail and should concentrate on guiding the overall scale, massing, height, landscape, layout and access of new development in relation to neighbouring buildings and the local area more generally. Local planning authorities should not attempt to impose architectural styles or particular tastes and they should not stifle innovation, originality or initiative through unsubstantiated requirements to conform to certain development forms or styles. It is, however, proper to seek to promote or reinforce local distinctiveness particularly where this is supported by clear plan policies or supplementary planning documents on design.

Planning Policy Guidance 2 (Green Belts)

There are five purposes of including land in the Green Belt:

- to check the unrestricted sprawl of large built-up areas;
- to prevent neighbouring towns from merging into one another;
- to assist in safeguarding the countryside from encroachment;
- to preserve the setting and special character of historic towns; and
- to assist in urban regeneration, by encouraging the recycling of derelict and other urban land.

The general policies controlling development in the countryside apply with equal force in Green Belts but there is, in addition, a general presumption against inappropriate development within them. Limited extension to an existing dwelling is not considered to be inappropriate development in the Green Belt provided that it does not result in disproportionate additions over and above the size of the original building.

Inappropriate development is, by definition, harmful to the Green Belt and in view of the presumption against inappropriate development, the District Council will attach substantial weight to the harm to the Green Belt when considering any planning application or appeal concerning such development.

Planning Policy Statement 3 (Housing) affirms that good design should contribute positively to making places better for people. Design which is inappropriate in its context, or which fails to take the opportunities available for improving the character and quality of an area and the way it functions, should not be accepted.

The guidance advocates that Local Planning Authorities should develop a shared vision with their local communities of the type(s) of residential environments they wish to see and develop design policies that set out the quality of development that will be expected for the local area, aimed at:

- Creating places, streets and spaces which meet the needs of people, are visually attractive, safe, accessible, functional, inclusive, have their own distinctive identity and maintain and improve local character.

- Promoting designs and layouts which make efficient and effective use of land, including encouraging innovative approaches to help deliver high quality outcomes.

Good design is fundamental to using land efficiently. Local Planning Authorities should facilitate good design by identifying the distinctive features that define the character of a particular local area.

Careful attention to design is particularly important where the chosen local strategy involves intensification of the existing urban fabric. More intensive development is not always appropriate. However, when well designed and built in the right location, it can enhance the character and quality of an area.

Planning Policy Statement 7 (Sustainable Development in Rural Areas Sustainable Development in Rural Areas) aims to protect the countryside for the sake of its intrinsic character and beauty, the diversity of its landscapes, heritage and wildlife, the wealth of its natural resources and so it may be enjoyed by all. New building development in the open countryside away from existing settlements should be strictly controlled.

Planning Policy Guidance 15: (Planning and the Historic Environment) sets out the Government's policy for the protection of the historic built environment. It offers guidance and advice on controls over Listed Buildings and Conservation Areas.

The Commission for Architecture and the Built Environment (CABE), the Government advisor on architecture, urban design and public space, publishes design advice. (www.cabe.org.uk)

The South East Plan 2009

This SPD will supplement the South East Plan, which was adopted in May 2009.

POLICY CC6 (Sustainable Communities and Character of the Environment) of the South East Plan seeks to promote the creation of sustainable and distinctive communities by developing and implementing a local shared vision which respects, and where appropriate, enhances the character and distinctiveness of settlements and landscapes throughout the region and uses innovative design processes to create a high quality built environment which promote a sense of place.

Kent and Medway Structure Plan 2006

The Structure Plan will be replaced by the South East Plan on 6 July 2009. In the meantime, this SPD supplements Structure Plan Policy QL1 (Quality of Development and Design) which stresses the importance of development responding well to the distinct character of each settlement.

The Kent Design Guide 2005/6

The District Council has adopted the **Kent Design Guide 2005/6** (www.kent.gov.uk/publications/council-and-democracy/kent-design-guide.htm) with which it shares a common approach to achieving high quality design appropriate to its context. This Supplementary Planning Document should be read in conjunction with the guide.

Saved Local Plan Policies

This SPD supplements Saved Local Plan Policies EN1 (Development Control: General Principles), H6B (Residential Extension), H14A (Extension of Existing Dwellings in the Green Belt) and H14B (Outbuildings in the Area of Outstanding Natural Beauty) which are set out below. The policies seek an appropriate scale, height and design for extensions in respect of the existing building, the street scene or the landscape and respect for the privacy and amenities of adjoining residents. Important features such as trees and hedgerows should be retained and new landscaping and boundary treatment will be required in appropriate cases. The design of new buildings should incorporate measures to deter crime and have regard to water and energy conservation.

Within the Green Belt, proposals to extend an existing dwelling must not exceed the gross floor area of the original dwelling by more than 50% or facilitate the creation of a separate residential unit.

Whilst the Town and Country Planning (General Permitted Development) (Amendment) (No. 2) (England) Order 2008 supersedes some of the dimensions contained in Appendix 4 to the Local Plan, the SPD incorporates the general principles contained within it.

Saved Local Plan Policies

H6B Proposals for residential extensions will be subject to the principles in Appendix 4.

Higher standards of design and external appearance will be required in or adjacent to conservation areas and on prominent sites. Extensions to mobile homes and buildings not designed for permanent residential use will not be permitted.

H14A Proposals to extend an existing dwelling in the Green Belt must comply with Policy EN1 and with the following criteria:

- 1) The existing dwelling was designed and originally constructed for residential use and built on permanent foundations on the site;**
- 2) The “gross floor area” of the existing dwelling plus the “gross floor area” of the extension does not exceed the “gross floor area” of the “original” dwelling by more than 50%;**
- 3) The proposed extension would not facilitate the creation of a separate residential unit;**
- 4) The design of the extension is sympathetic and well articulated to the existing dwelling and does not result in a large, bulky or intrusive building in the landscape;**
- 5) Extensions to mobile homes and buildings not designed for permanent residential use will not be permitted, neither will proposals to extend a converted dwelling;**
- 6) Proposals to extend a replacement of an “original” dwelling will only be permitted if the “gross floor area” of the replacement dwelling plus the “gross floor area” of the extension does not exceed the “gross floor area” of the “original” building by more than 50%.**

For the purposes of Policy H14A “gross floor area” of the “original” dwelling will be ascertained by external measurement and shall include any garage or domestic outbuilding (incidental to the enjoyment of the dwelling) within the curtilage of the dwelling, if any part of that building lies within 5m of any part of the dwelling. All

habitable floorspace of the building will be included which is useable without major reconstruction.

“Original” means the dwelling and domestic outbuildings as existing on 1st July 1948; or if no dwelling existed on that date, then “original” means the dwelling as first built after 1st July 1948, i.e. excluding in either case any extensions or outbuildings built after 1st July 1948 or first completion.

H14B Proposals for the erection of buildings and enclosures within the residential curtilages of dwellings within Areas of Outstanding Natural Beauty, but outside the confines of any town or village, as shown on the Proposals Map, must not conflict with Green Belt Policy and must comply with the following criteria:

- 1) The “gross floor area” of the outbuilding(s) whether individually or cumulatively, plus the “gross floor area” of the existing dwelling and any extension or outbuilding(s) does not exceed the “gross floor area” of the “original” dwelling by more than 50%;
- 2) The total “gross floor area” of the outbuilding(s), whether individually or cumulatively, must not exceed 40 sq. m.;
- 3) The outbuilding should be single storey;
- 4) The outbuilding should be well designed in relation to the dwelling, compatible with the character of the area and designed and sited to minimise visual intrusion; and
- 5) Outbuildings will not be permitted within the curtilages of buildings converted to dwellings.

“Original” means the dwelling and domestic outbuildings as existing on 1st July 1948; or if no dwelling existed on that date, then “original” means the dwelling as first built after 1st July 1948, i.e. excluding in either case any extensions or outbuildings built after 1st July 1948 or first completion.

LOCAL PLAN - APPENDIX 4

Residential Extensions

A4.1 The following guidelines elaborate Local Plan Policy H6B concerning proposals to alter or extend residential properties.

Introduction

A4.2 As the size of properties diminish, it becomes progressively more difficult to extend without inconveniencing adjoining residents. Proposals should not therefore result in a material loss of privacy, outlook, daylight or sunlight to habitable rooms or private amenity space of neighbouring properties, or have a detrimental visual impact or overbearing effect on neighbouring properties or the street scene. The extension itself should not be of such a size or proportion that it harms the integrity of the design of the original dwelling.

General Principles

A4.3 The following general principles should be considered:

- (1) Extensions should relate well in design terms to the original dwelling in respect of bulk, height, materials, windows and detailing.
- (2) First floor windows which overlook an adjoining property should be avoided; a minimum distance of 11m should therefore be maintained. (Where the existing minimum distance is less than 11m, no reduction will be permitted). Obscure glazed or high level windows are acceptable to non-habitable rooms (e.g. bathrooms); a high level window should have a sill height of at least 1.6m above internal floor space area.
- (3) In general two storey extensions should have pitched roofs to match the existing dwelling. Flat roofs should also be avoided on prominent and large single storey extensions.

(4) Loft and roof space extensions should not exceed the ridge height of the existing building or create the appearance of an extra storey which would be unsympathetic to the character of an area. Windows in the roof area should therefore be subsidiary in appearance.

(5) Extensions which extend to the side boundary of the property which could lead to visual terracing are not acceptable; a minimum distance of 1m is normally necessary for two storey extensions and, in some areas of spaciousness, this may need to be greater. It should be noted that encroachment over boundaries with foundations, guttering or even windows will usually require the neighbour's agreement.

(6) Residential extensions may result in a need to provide additional parking provision to meet the adopted standards.

(7) New garages should be positioned to allow a vehicle to park clear of the highway (including footway) whilst doors are opened; normally a minimum of 5.5m is necessary. On classified roads a turning space will normally be necessary to allow a car to drive in and out in a forward gear

Supplementary Planning Documents

The District Council and other agencies will produce SPDs for parts of the District which identify the locally distinctive features that define their character. The SPDs may be in the form of Character Area Assessments or Village Design Statements and will provide appropriate design guidance for assessing development proposals within each of the identified character areas. In assessing the appropriateness of extensions within the built up area, regard should be had to the SPD for that area, if produced.

Conservation Area Appraisals

The District Council has approved a number of Conservation Area Appraisals. The purpose of a Conservation Area Appraisal is to analyse and record the special character of a Conservation Area. In assessing the appropriateness of extensions within a Conservation Area, this distinctive character should be preserved or enhanced and regard should be had to the Appraisal for that area, if produced.