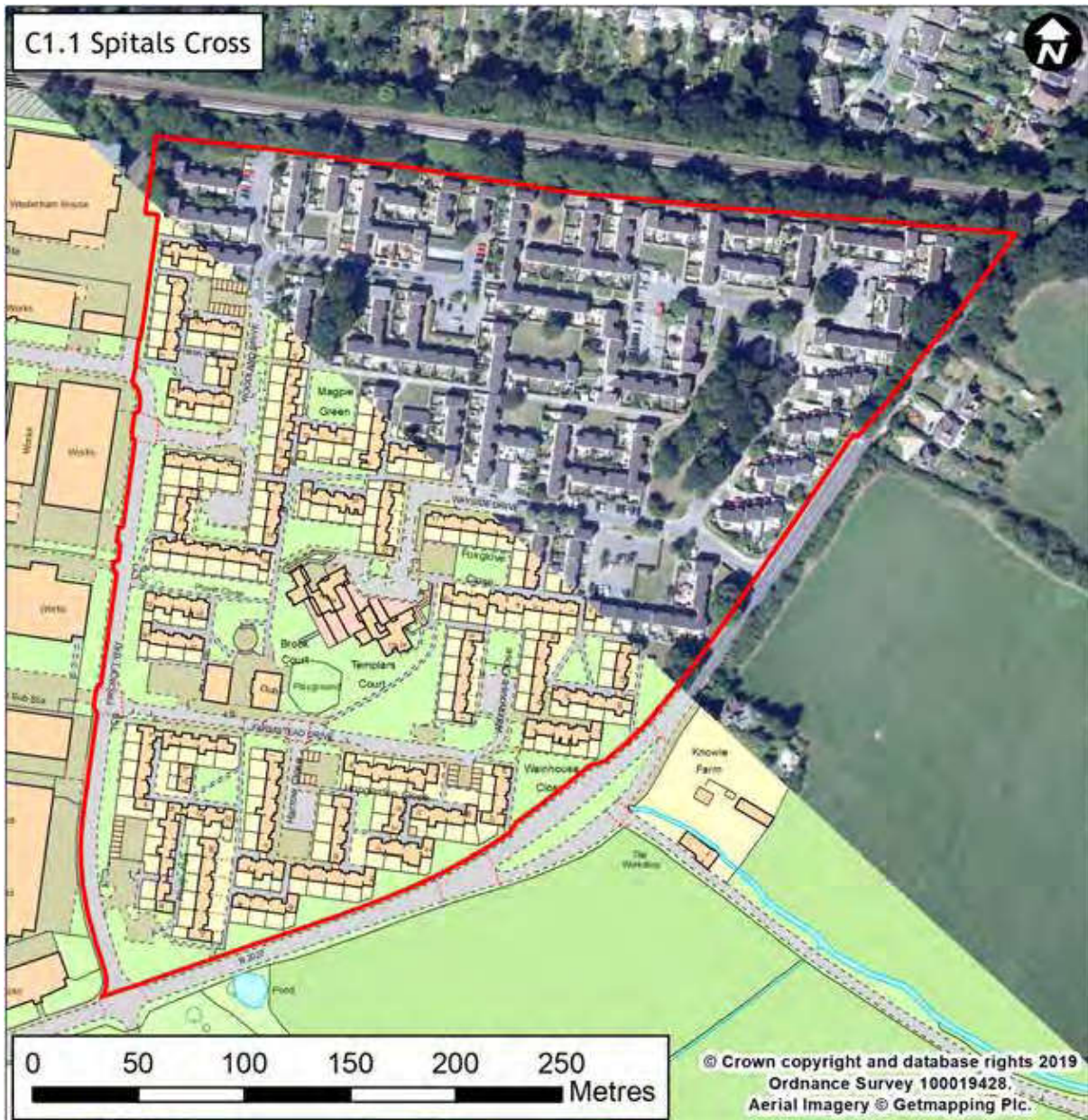


C. Post-war Character Area (1946 – 1970)

Locally Distinctive Contextual Features	Description
Age of buildings	Ranging from 1950s-1970s (with some recent infill)
Historical Context	Following the second world war, major growth came in the 1950s and 60s with private and public housing developments, including two London County Council estates at Stangrove Park and Spitals Cross – both hailed for the town-in-country design quality of the homes.
Type of buildings	Flats, terraced, semi-detached and detached houses
Main uses	Residential with some community facilities in the estates
Building heights	Predominantly 2 storeys houses with some 1 storey houses. Block of flats from 3 to 5 storeys.
Prominent building materials	Red brick, weatherboarding, tile hanging, render
Predominant boundary treatments	Trees, hedges, brick walls and fences
Open space/ vegetation	Open 'squares', mature trees, hedges
Street type	Residential streets, mostly cul-de-sacs. The estates have a segregated pedestrian network throughout the area
Variations	
C1. London County Council estates	
C2. Mix of housing types with green	
C3. Detached and semi-detached	

C1. Post-war London County Council Estates

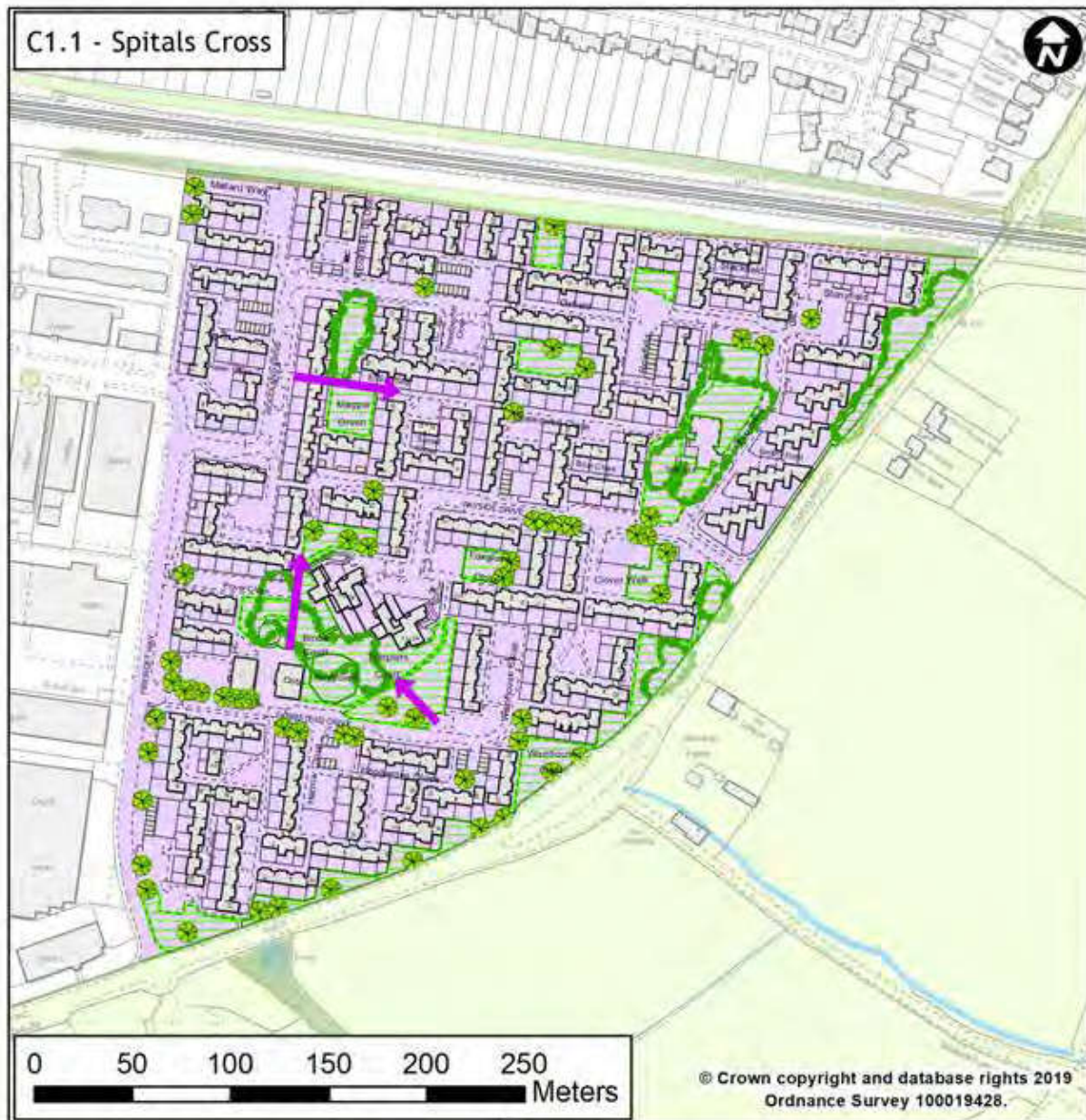
Predominantly terraced houses set perpendicular to each other with segregated pedestrian routes from vehicular routes with incorporated public realm. Housing does not face the street. Landscaping and green spaces are distributed throughout the area with access to seating, community facilities including shop(s) and play areas. Both areas were designed to foster a sense of community with the community facilities in the centre of the scheme and walkable routes that were separate from cars so they were safe to use. Both estates have block of flats with higher densities and a distinct architectural style that was unique to the area.



An Example of a Post-war London County Council Estate Layout.

C1.1 Spitals Cross

Comprising the vehicular routes of Farmstead Drive, Wayside Drive, Woodland Drive and Field Drive, plus numerous pedestrian routes.




Legend

- | | | |
|-------------------------|--------------------------|--------------------------------|
| Character Area | Green Space | Important Tree and Hedge Belts |
| Conservation Area | Open Spaces | Body of Water |
| Listed Buildings | Tree Preservation Orders | Key Views |
| Metropolitan Green Belt | Important Tree | |

Historical Context

The Spitals Cross development formed the second phase of the London County Council (LCC) 'overspill' programme in Edenbridge in the 1960s, following on after the Stangrove Estate.

C1.1 Spitals Cross

Locally Distinctive Contextual Features	Description
Age of buildings	1960s
Type of buildings	Terraces, and flats
Main uses	Residential shop and community facilities
Building heights	2 storey houses and 5 storey flats
Prominent building materials	Multi stock brick, weatherboarding
Predominant boundary treatments	Brick walls and hedges
Open space/ vegetation	Green 'squares' and mature trees. Children's play area, fenced sports court and community amenity square with seating and mature trees
Street Layout	Residential, gently curving cul-de-sacs that segregates the pedestrian network from vehicular traffic (influenced by Radburn principles)
Detractors	<p>Walled backs of ground floor gardens face the public realm and creates poor natural surveillance as well as inactive frontage. Although highly permeable, the area is not very legible making it confusing to navigate and can feel unsafe with a lack of overlooking. Garages can dominate the public realm and increase the amount of hardstanding. There is car parking and wheel marking across the green spaces.</p> 

Design Guidance

New development must exhibit high quality design and respond to distinctive local character as well as context. In proposing new development within the Spitals Cross Character Area:

The palette of multistock brick and stained weatherboarding should be respected.

Regular building lines should be respected. The monopitch roof and distinct roof lines should be respected. The set back of existing buildings and sense of enclosure should be respected.

Traditional brick walls and hedged boundaries, together with mature trees and open spaces which contribute to the character of the area, should be retained or reinstated.

Area Characteristics

The area has a very consistent character formed by a limited palette of both multi stock brick and stained weatherboarding. The building, roof forms and layouts are simple i.e. relatively shallow monopitch roofs, short two storey terraces at right angles to each other, horizontal bands of windows, and high brick walls enclosing both the private gardens and the communal green spaces, through which a network of pedestrian pathways run.



The five storey blocks of flat are in the centre of the development, which overlook the shared communal facilities: a shop, a social club and play areas.



Views

The views within this area are mostly narrow vistas between terraces, or along the straight pathways, some of which are stepped with the contours of the site, but some views open out into the larger green spaces, often framed by the mature trees.



Boundaries

Most boundaries within the Spitals Cross area are formed with high brick walls, which enclose the private gardens to properties. In some places there are hedges and planting, softening the hard landscape.



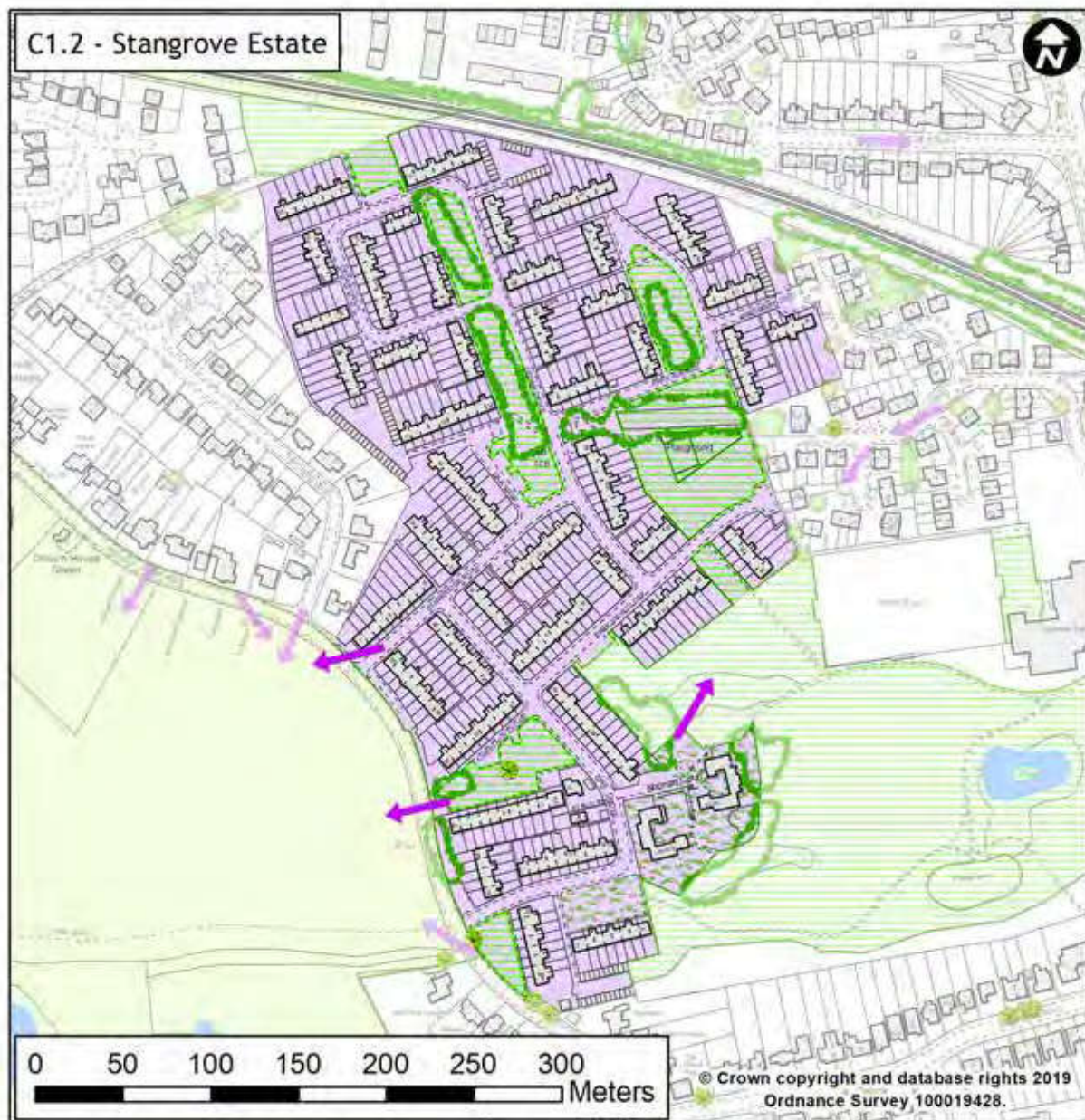
Detailing

The detailing within the Spitals Cross development has a consistency that contributes to its distinctive character. The monopitch roof edges are tight to the brick walls, and where the first floor of the terraces oversail the walkways, they are finished with the stained weatherboarding. There is a consistent pattern formed by the horizontal white framed windows, with weatherboarding above and below, sitting between vertical panels of brickwork on the taller elevations. On the elevations with the lower roof lines, the horizontal windows sit within plain brick walls.



C1.2 Stangrove Estate

Comprising Stanbridge Road, Oak View, Cedar Drive, Pine Grove, Park Avenue, Chestnut Close, Hawthorn Close and Park View Close.




Legend

- | | | |
|---|--|---|
|  Character Area |  Green Space |  Important Tree and Hedge Belts |
|  Conservation Area |  Open Spaces |  Body of Water |
|  Listed Buildings |  Tree Preservation Orders |  Key Views |
|  Metropolitan Green Belt |  Important Tree | |

Historical Context

The area was developed in the late 1950s- early 1960s, by London County Council, as ‘overspill’ housing, on land that would have previously been farmland, adjacent to Stangrove Park. This was originally the gardens of a large house, shown on the 1st edition Ordnance Survey Map of 1870, as ‘Stangrove’.

C1.2 Stangrove Estate

Locally Distinctive Contextual Features	Description
Age of buildings	Late 1950s- early 1960s
Type of buildings	Terraced houses and flats
Main uses	Residential with a local shop
Building heights	Predominantly 2 storey and 3 storey flats
Prominent building materials	Brick, weatherboarding, concrete tile hanging
Predominant boundary treatments	Low fences, hedges, brick walls
Open space/ vegetation	Communal grassed green spaces, mature trees, play areas with access to Stangrove Park
Street type	Residential, gently curving cul-de-sacs with a loop road. Pedestrian linkages separate from vehicular traffic (Radburn influenced). Car parking courts to the back of housing.
Detractors	<p>Car parking and wheel markings across the green spaces has damaged the grassed surface, and also detracts from the quality of the landscape. Blank elevations and high brick walls and fencing minimise opportunities for passive surveillance of the green spaces they overlook.</p> 

Design Guidance

New development must exhibit high quality design and respond to distinctive local character as well as context. In proposing new development within the Stangrove Estate Character Area:

The original palette of dark stained weatherboarding, brick and concrete tile hanging should be respected

Regular building lines, the set back of existing buildings and sense of enclosure should be respected

The views into Stangrove Park, and across adjacent fields should be retained

Hedged boundaries, together with mature trees which contribute to the character of the area, should be retained or reinstated. Green spaces could be enhanced by improving landscaping, planting and street furniture (i.e. benches)

Area Characteristics

The area consists of simple, shallow gable roofed terraces facing onto a mix of straight roads, around green areas and along walkways. The gable walls are brick, with the fronts and backs originally clad in a limited palette of materials of brick, dark stained weatherboarding or concrete tile hanging. This palette has been extended by homeowners over the years to now include white upvc weatherboarding and colourwashed brickwork or render.





The same basic house layout creates either a flat fronted terrace, with living room windows to the front, or an elevation modulated by a single storey flat roofed extension adjacent to the kitchen window, creating small entrance courtyards.



In addition to the terraces, there is also a small three storey flatted development, arranged in two u-shaped blocks set within a lawned garden at the western edge of Stangrove Park.



Within the Estate there are a number of green open spaces. However, these have been damaged as a result of using it for parking. Avenue of mature trees makes an attractive setting. There is also a small convenience shop located in the centre of the character area.





Views

The south-eastern boundary of the Stangrove Estate borders Stangrove Park, creating both green vistas through into the park as well as pedestrian routes, both formal and informal.



Properties facing onto Crouch House Road enjoy views across the adjacent fields:



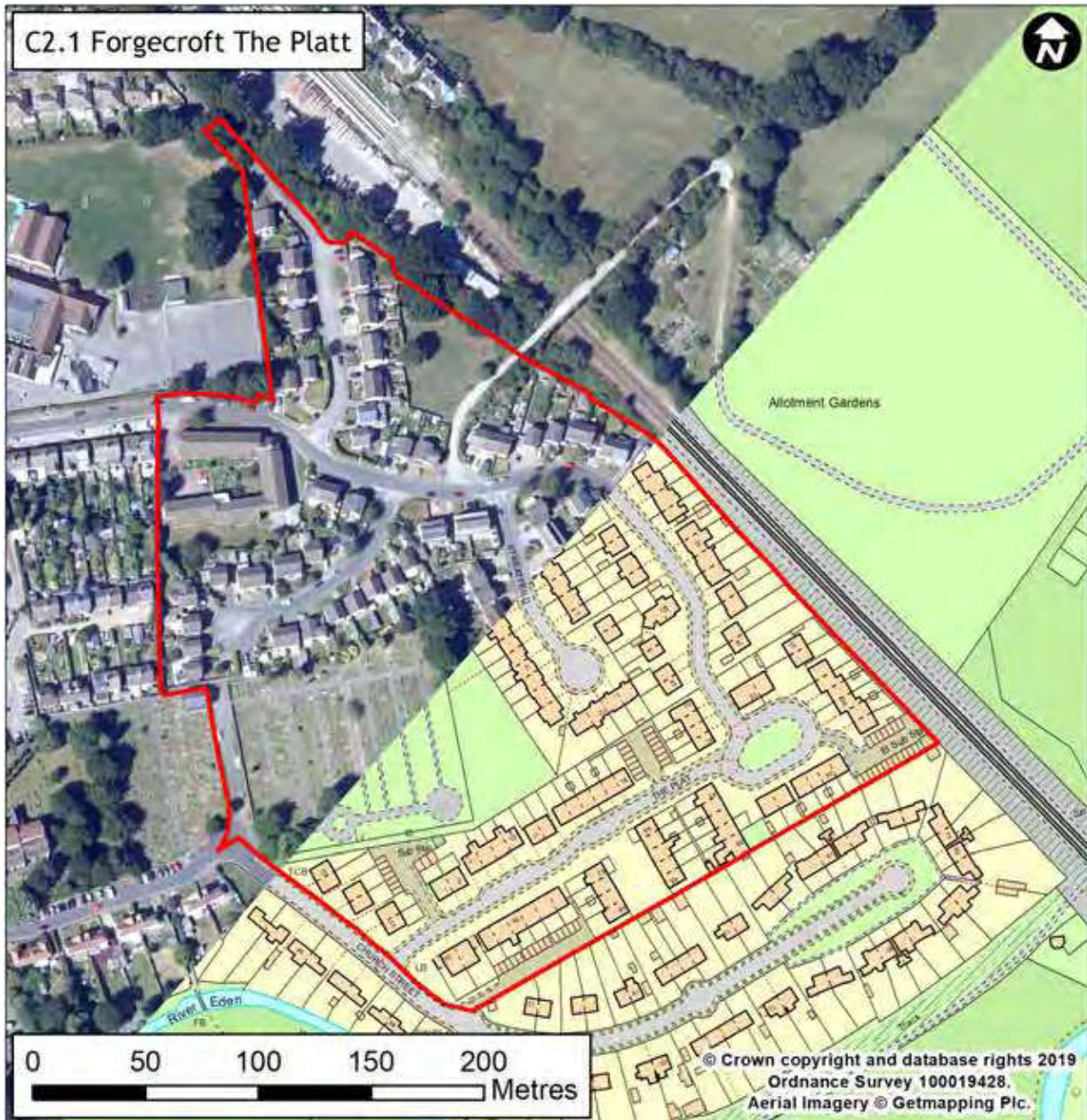
Boundaries

The flat fronted terraces have small front gardens set behind a range of boundary treatments- low picket fencing , low hedges and some brick walls, while the frontages with the flat roofed extensions generally have low fences enclosing the small hard landscaped courtyards. Some houses have brick walls as boundary treatment from between their back garden and the street.



C2. Post-war Mix of Housing Types with Green Space

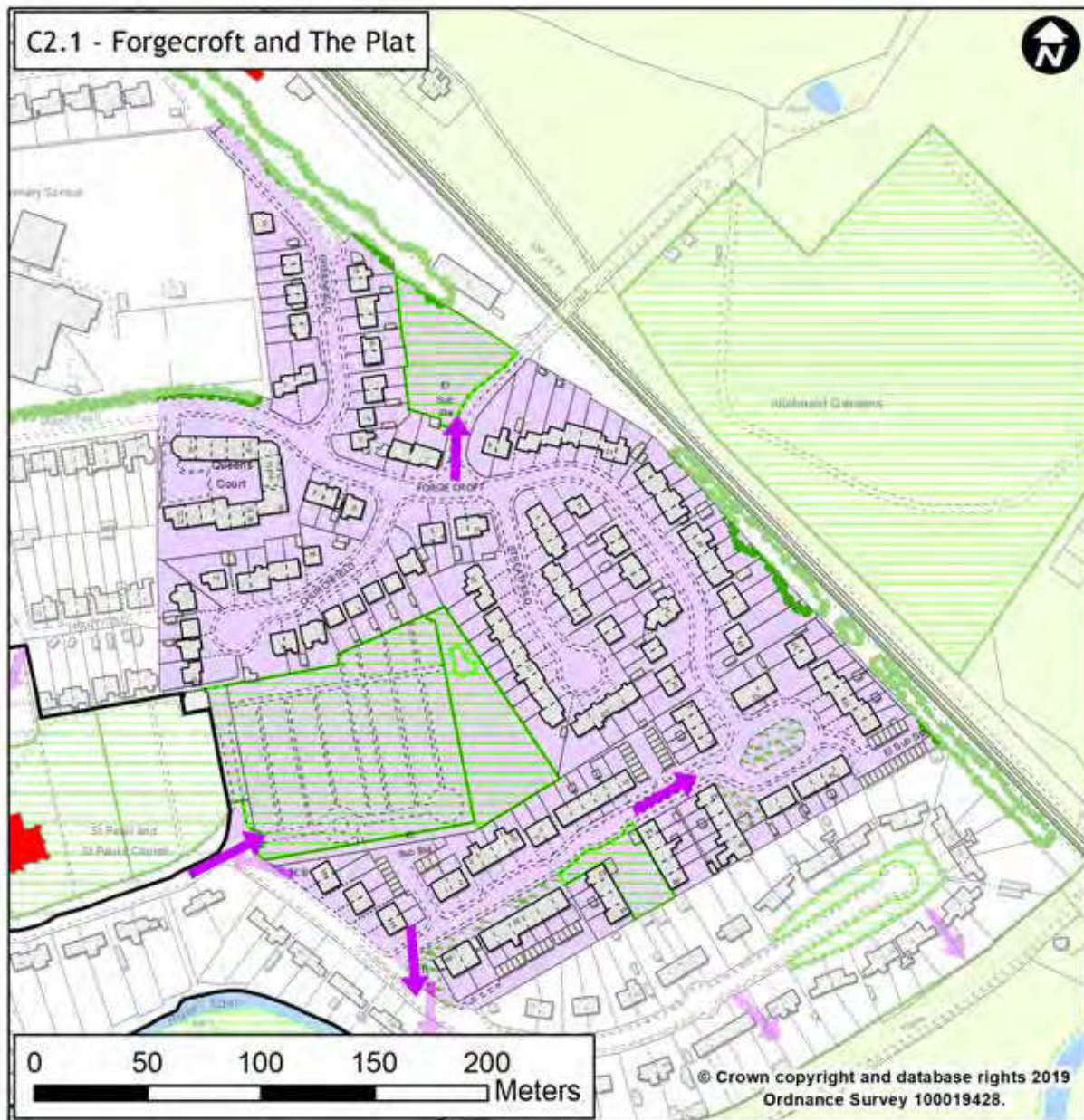
Detached, semi-detached and terraced housing which predominantly faces the street on short plots along cul-de-sacs (two short terrace blocks sit perpendicular to the street and face each other across a green). There are some small communal green spaces incorporated within the area and car parking courts with garages.



An example of a Post-war Mix of Housing with a Green Layout.

C2.1 Forgecroft and The Plat

Comprising Forgecroft, Greenfield, Queens Court, Churchfield, Streatfield, and The Plat.




Legend

- | | | |
|---|--|---|
|  Character Area |  Green Space |  Important Tree and Hedge Belts |
|  Conservation Area |  Open Spaces |  Body of Water |
|  Listed Buildings |  Tree Preservation Orders |  Key Views |
|  Metropolitan Green Belt |  Important Tree | |

Historical Context

The area lying between the town centre and the Oxted-Uckfield railway line, and wrapping around the town's Cemetery, consists of residential properties developed during the 1960-70s. The development of the private housing was undertaken by Gough Cooper Estates, and the public housing by the then local authority, Sevenoaks Rural District Council. Much of the site had been allotments prior to development.

C2.1 Forgecroft and The Plat

Locally Distinctive Contextual Features	Description
Age of buildings	1960-70s
Type of buildings	Detached, semi-detached and terraced
Main uses	Residential and Cemetery
Building heights	1 and 2 storey
Prominent building materials	Brick (buff, red, multi), tile hanging, render and weatherboarding
Predominant boundary treatments	Open frontages, hedges, planting and some trees
Open space/ vegetation	Cemetery, green area in The Plat, oval green at The Plat/Forgecroft plus other smaller green spaces
Street type	Residential streets with a loop road and cul-de-sacs, footway on both sides throughout
Detractors	<p>The utilitarian garage courts off The Plat detract from the overall appearance of the area. Blank elevations from some houses along the Plat detract from the streetscape.</p> 

Design Guidance

New development must exhibit high quality design and respond to distinctive local character as well as context. In proposing new development within the Forgecroft and The Plat Character Area:

Regular building lines should be respected. The set back of existing buildings and sense of enclosure should be respected.

Traditional brick walls/ hedged boundaries, together with mature trees which contribute to the character of the area, should be retained or reinstated but only where they would not impact on the boundaries of another property.

Area Characteristics

The private housing was developed by Gough Cooper around a series of curving cul de sacs off Forgecroft, and includes simple gabled semis and terraces, chalet bungalow style semis and some detached houses, utilising a wide range of brick colours, concrete tiles and horizontal timber boarding, with minimal reference to local vernacular materials or forms. The relatively even roof heights and spacing, and the repeated designs do help tie the development together.



The public housing around the Plat was developed mostly as terraces, one and two storeys, again utilising a wide range of brick colours, concrete tiles and render, with minimal reference to local vernacular materials or forms. Parking is provided in garage courts, as was customary in public housing at that time, but these are utilitarian in appearance. This development incorporates a series of green areas, including the oval 'Green' at the eastern end of The Plat, planted with trees, which creates a focal point.



Views

There are views across the fields from the southern end of The Plat where it joins Church Street, and glimpses of the green area of the Cemetery and the Church spire beyond and between houses. The small oval green where The Plat joins Forgecroft provides a focal point along both roads. Mature trees and vegetation along the railway embankment to the northeast of Forgecroft can be glimpsed between and above the houses.



Boundaries

The boundaries are generally open fronted, with driveways and lawned areas with some properties that have fences or small brick walls.



C3. Post-war Detached and Semi-detached

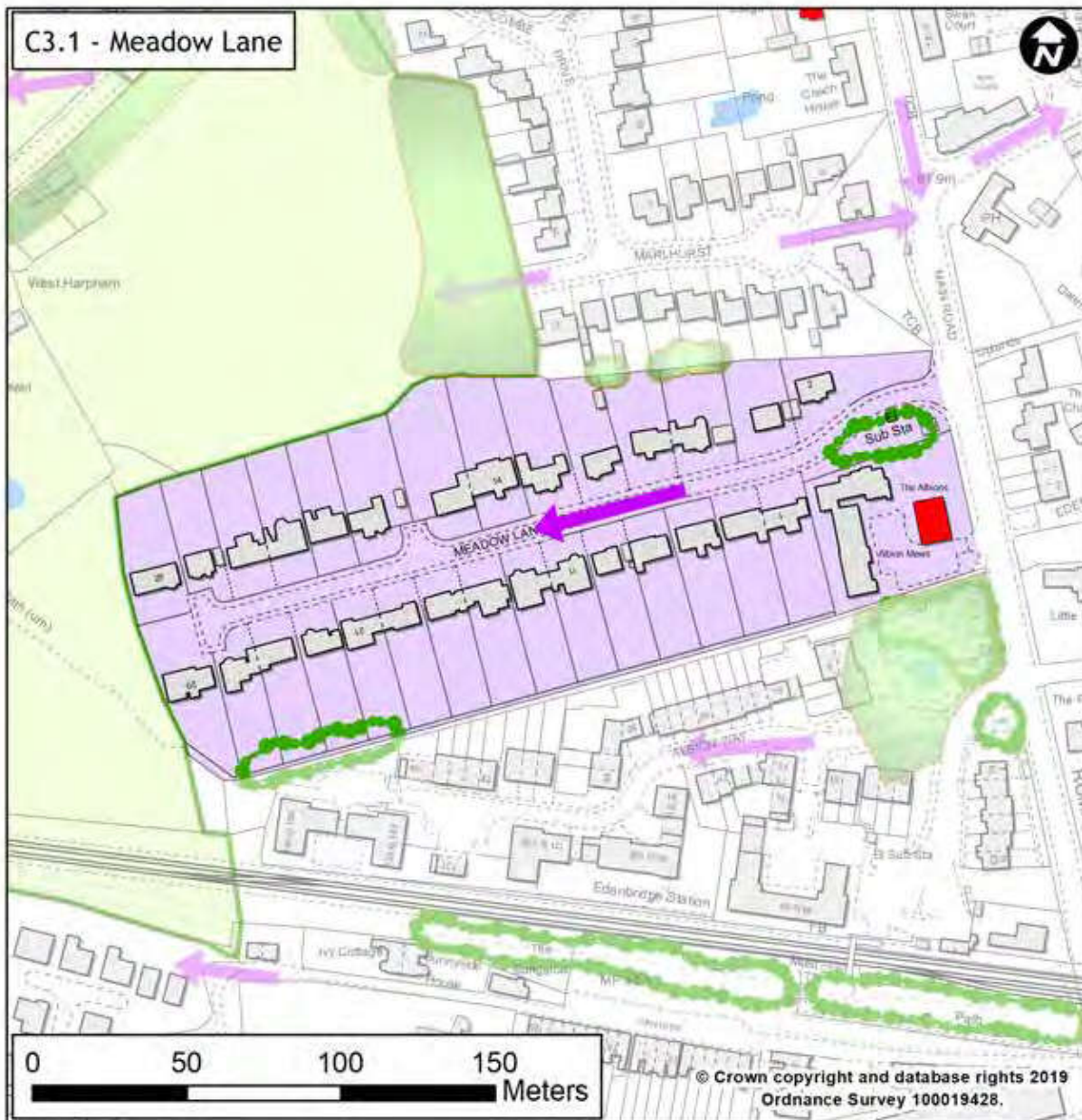
Mixture of detached and semi-detached houses mostly linear developments on relatively long plots with minimal public realm.



An example of a Post-war Housing with Detached or Semi-Detached Layout.

C3.1 Meadow Lane

Comprising Meadow Lane, The Albions and Albion Mews.



Legend

- Character Area
- Conservation Area
- Listed Buildings
- Metropolitan Green Belt
- Green Space
- Open Spaces
- Tree Preservation Orders
- Important Tree
- Important Tree and Hedge Belts
- Body of Water
- Key Views

Historical Context

The Albion Hotel, a Grade II Listed Building, was built in the 1840s and was originally developed in association with the nearby railway line. It has since been converted into flats, known as The Albions. Meadow Lane was developed in the 1960s on former farmland.

C3.1 Meadow Lane

Locally Distinctive Contextual Features	Description
Age of buildings	Mostly 1960s, Albion Hotel 1840s
Type of buildings	Flats and detached houses
Main uses	Residential
Building heights	Mostly 2 storey, Albions is 3 storeys
Prominent building materials	Brick, tile hanging, render
Predominant boundary treatments	Open frontages, hedges
Open space/ vegetation	Small green space with trees on corner of Meadow Lane and Main Road
Street type	Residential, cul-de-sac and mews coming off main road
Detractors	No significant detractors, this area exhibits a strong sense of character.

Design Guidance

New development must exhibit high quality design and respond to distinctive local character as well as context. In proposing new development within the Meadow Lane Character Area:

The harmonious palette of brick and render should be respected.

Regular building lines should be respected.

The hedged boundaries, together with mature trees which contribute to the character of the area, should be retained or reinstated.

The setting of The Albions Listed Building should be preserved.

Area Characteristics

The Albion Hotel was converted into flats in the late 1980s/early 90s, and Albion Mews developed to the rear in the 1990s. Whilst The Albions is a white rendered three storey classical style building, the mews development is red brick with clay tile hanging above, and one and two storeys in height. The Albions has a permeable car park area to the north of the site and a car parking court lies between the Listed Building and the Albion Mews flats.



Meadow Lane was developed in the mid 1960s with large detached houses in rectangular plots set back along a straight cul-de-sac. The houses were developed in two phases, the first phase having hipped roofs with a central chimney stack, elevations of brick and render, and many featuring generous bay windows to the ground floor. The later phase includes both hipped and gabled roofs, and tile hanging and render to the first floor elevations.



Views

The view along the street looking west is framed by mature trees which then looks out to green open space.



Boundaries

The boundaries along Meadow Lane are mostly open fronted with lawns and driveways, or with hedges and trees.



Details

The earliest houses built in Meadow Lane have some distinctive features: the generous curved bay window with a flat roof, brick string course between the brick and render, the shallow bonnet tiled hipped roofs with a central squat chimney stack and the simple pediment style corbelled porch over the front door.



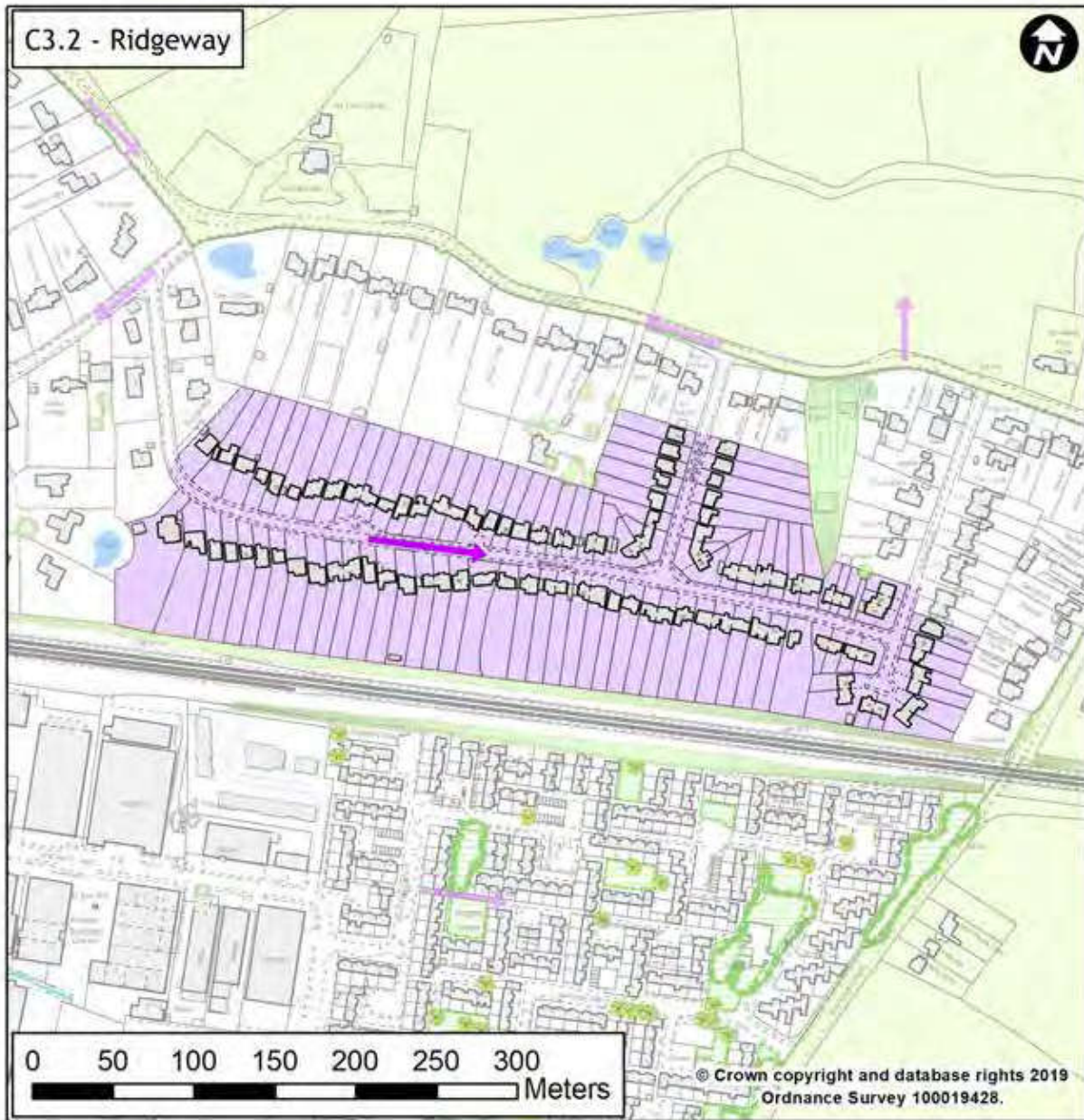
Listed Building

The Albions, originally the Albion Hotel, was 'presumably built in about 1841 and adjacent to the South Eastern Railway Station and typical of the commercial Palladian style usually associated with early railway development. Stucco facade of 3 storeys with symmetrical elevation. Ground floor base lined in imitation stone courses supporting flat pilasters carried up 2 storeys and surmounted by cornice with heavy square modillions and parapet concealing gutter and Welsh slate roof. Tripartite sash windows symmetrically placed and single sash windows over centre door. Small modern, half glazed door in centre. Left window altered to door. Consol bracketed cornices to 1st floor windows' (Description quoted from Historic England Listing. Accessed December 2019).



C3.2 Ridgeway

Comprising Ridgeway, Swan Ridge and Crown Road.



Legend

- | | | |
|-------------------------|--------------------------|--------------------------------|
| Character Area | Green Space | Important Tree and Hedge Belts |
| Conservation Area | Open Spaces | Body of Water |
| Listed Buildings | Tree Preservation Orders | Key Views |
| Metropolitan Green Belt | Important Tree | |

Historical Context

The area was developed in the late 1950 - 1960s on former farmland sandwiched between the railway line and the properties on Swan Lane.

C3.2 Ridgeway

Locally Distinctive Contextual Features	Description
Age of buildings	1950-60s
Type of buildings	Detached, semi-detached
Main uses	Residential
Building heights	2 storeys
Prominent building materials	Brick, tile hanging
Predominant boundary treatments	Open frontages, hedges
Open space/ vegetation	Mature trees and hedges
Street type	Residential road with footways on either side
Detractors	No significant detractors, this area exhibits a strong sense of character

Design Guidance

New development must exhibit high quality design and respond to distinctive local character as well as context. In proposing new development within the Ridgeway Character Area:

The palette of existing materials, brick and tile, should be respected.

Regular building lines and the set back of existing buildings should be respected.

Traditional brick walls/ hedged boundaries, together with mature trees which contribute to the green, leafy character of the area, should be retained or reinstated.

Area Characteristics

The majority of this area was developed in the late 1950s, mostly detached two storey houses on rectangular plots with long gardens, set back behind hedges, low brick walls or open frontages. Elevations are generally brick in buff or brown, with concrete tiled roofs, with short chimneys. Roofs are a mix of gables and hips.



The far eastern end of Ridgeway, and up Crown Road was developed in the mid 1960s, and features mostly pairs of semi-detached houses, in buff brick with concrete tile hanging at 1st floor level.



Views

The view along Ridgeway presents a green, leafy vista, with the hedges, trees and planting dominating the streetscape, with buildings set back from the street.

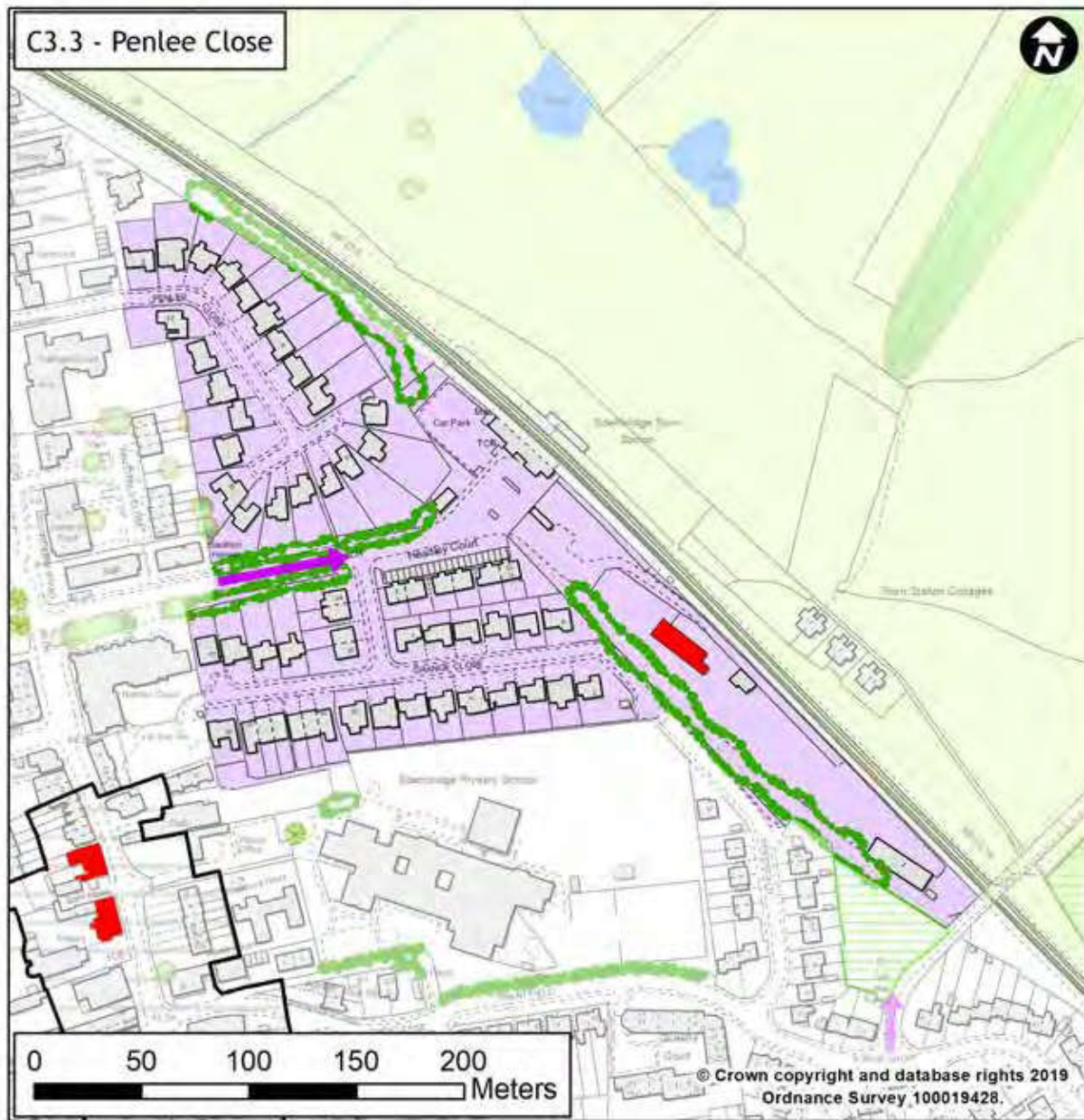


Boundaries

The boundaries are formed of either hedges, low brick walls or are open frontages with driveways and lawns, with the houses set well back, creating the green vista described above.

C3.3 Penlee and Grange Close

Comprising Penlee Close, Grange Close, Station Approach and Headley Court.



Legend

- | | | |
|---|--|---|
|  Character Area |  Green Space |  Important Tree and Hedge Belts |
|  Conservation Area |  Open Spaces |  Body of Water |
|  Listed Buildings |  Tree Preservation Orders |  Key Views |
|  Metropolitan Green Belt |  Important Tree | |

Historical Context

The area consists predominantly of bungalows in Penlee Close and Grange Close, which took place in the 1950s to either side of Station Approach, plus the station and its associated buildings. Edenbridge Town Station opened in January 1888, connecting the town to London via Oxted. On the corner of Station Approach and the main road, there was previously a large house known as The Grange or Grange Villa, after which the Grange Close development was named. Penlee Close is named after the house called Penlee in Station Road, the garden of which was a nursery prior to its development in the 1950s. The site of the former Bowling Green in Grange Close had 6 houses built on it in 2017.

C3.3 Penlee and Grange Close

Locally Distinctive Contextual Features	Description
Age of buildings	1880s Station plus 1950s and 2017
Type of buildings	Detached, semi-detached, terraces and train station and timber merchant
Main uses	Residential, station and builders' merchants
Building heights	1 and 2 storey
Prominent building materials	Brick with some render and timber cladding on newer builds
Predominant boundary treatments	Hedges, low brick walls
Open space/ vegetation	Mature trees
Street type	Residential cul-de-sacs with footways
Detractors	The 20 garage parking row that lines the southern side of the station approach road does not contribute positively to the quality of the public realm. There is an opportunity to enhance the sense of arrival at the station forecourt.

Design Guidance

New development must exhibit high quality design and respond to distinctive local character as well as context. In proposing new development within the Penlee and Grange Close Character Area:

The harmonious palette of brown plain roof tiles, red brick and white window and door detailing should be respected. The newer housing incorporates white horizontal weatherboarding which

Regular building lines should be respected. The set back of existing buildings and sense of enclosure should be respected.

Traditional detailing of doors and windows should be retained. White frames is the common colour palette for this character area.

The rhythm of repeated gable ends, window and door openings, and chimneys (where appropriate) should be retained.

The long views of a tree lined avenue leading up to the station should be retained.

Traditional brick walls/ hedged boundaries, together with mature trees which contribute to the character of the area, should be retained or reinstated.

The setting of the adjacent Conservation Area should be preserved or enhanced.

The setting of the Listed Buildings should be preserved.

The character of the landmark buildings should be retained.

Area Characteristics

The first development in this area was that of the Edenbridge Town Station, and its associated outbuildings, including the now Grade II Listed former Goods Shed. Both feature the polychrome brickwork that was characteristic of the style of development by the London, Brighton & South Coast Railway at that time.



The former Goods Shed was listed because it is little altered externally, and is of a now rare building type. It is currently used for storage within the Builders' Yard adjacent to the railway tracks.



Penlee Close was developed in the 1950s, and comprises brick built bungalows set around a T-shaped cul de sac. The bungalows mostly have brown plain tiled hipped roofs, with either half round or bonnet tiles to the hips, and prominent chimney stacks. Front facing gables feature creasing tiles supporting the eaves.



Grange Close was developed in the 1950-60s with a mix of bungalows and chalet bungalows. The bungalows are very similar in design to those in Penlee Close. The two pairs of chalet bungalows feature flat roofed dormers, and originally had integral garages, now mostly converted into living space. Headley Court, a row of two storey semi-detached houses set above a garage block, overlooks the forecourt of the Station.



The site of the former Bowling Green in Grange Close had six houses built on it in 2017. The houses are aligned in a terrace and follow the existing building line of the street. Four of the houses are two storeys and step down to one storey on either side of the development; fitting in context with the existing roof line of the bungalows. A black tarmac footway has been incorporated into the new development which links up to the existing footways. Car parking is located to the front of housing. Material differentiation on the streetscape is used at the front of the houses with red block paving for car parking, buff block paving for the footpath to the entrance and planting and hedges used as a boundary treatment which sits perpendicular to the road. The housing materials are predominantly made up of red brick on the ground floor and a white weatherboard for the upper storey. The weather board is on a front facing gable which comes forward slightly creating some relief in the built form along the streetscape.



Views

There are no distant views from within this area, but the trees along the railway embankment and Station Approach form a backdrop to Penlee Close. The views along Station Approach are tightly framed by mature trees.



Landmarks

The Edenbridge Town Station is a late 19th century building and sits at the end of Station Approach Road. The Station Master's section of the building is not currently in use.



Boundaries

The boundaries in Penlee Close and Grange Close are either open fronted, or with low brick walls or hedges.



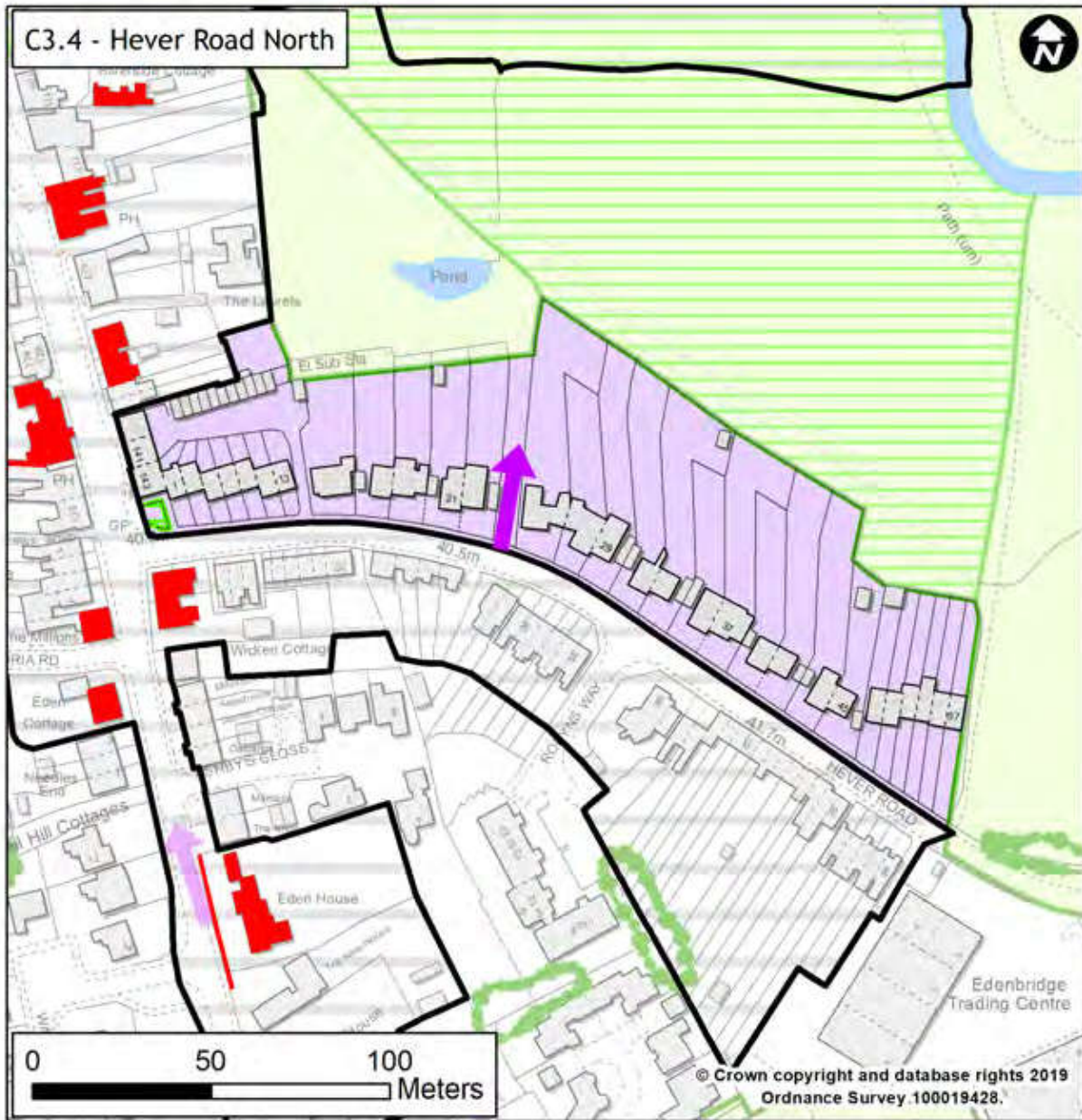
Listed Buildings

The former Good Shed at Edenbridge Town Station is Grade II Listed. It is an 1888 classical style goods shed. 'Constructed of red English bond brickwork with some grey headers and polychrome brick details in yellow and black bricks with gabled slate roof. (Description quoted from Historic England Listing. Accessed December 2019).



C3.4 Hever Road North

Comprising the westernmost end of Hever Road.



Legend

- | | | |
|---|--|---|
|  Character Area |  Green Space |  Important Tree and Hedge Belts |
|  Conservation Area |  Open Spaces |  Body of Water |
|  Listed Buildings |  Tree Preservation Orders |  Key Views |
|  Metropolitan Green Belt |  Important Tree | |

Historical Context

The area consists of housing fronting onto Hever Road, and the Conservation Area and backing onto the Green Belt land of the Town Field, which was developed between the 1950s and the 2000s.

C3.4 Hever Road North

Locally Distinctive Contextual Features	Description
Age of buildings	1950s to 2000s
Type of buildings	Terraces ,detached and semi detached
Main uses	Residential
Building heights	2 storey
Prominent building materials	Brick, render and tile hanging
Predominant boundary treatments	Low brick walls and planting
Open space/ vegetation	Glimpses of trees and open space to the rear between houses
Street type	Street, gently curved local distributor road which is the main route into Edenbridge from the east and eventually turns into a country lane in character
Detractors	The overhead wires and on street car parking on a narrow street detract from the character of the area.

Design Guidance

New development must exhibit high quality design and respond to distinctive local character as well as context. In proposing new development within the Hever Road North Character Area:

The harmonious palette of brick and render should be respected

Regular building lines should be respected. The set back of existing buildings and sense of enclosure should be respected.

The rhythm of repeated gable ends, window and door openings, and chimneys, should be retained.

Design Guidance

The views across the Town Field should be enhanced.

Traditional brick walls/ hedged boundaries, together with mature trees which contribute to the character of the area, should be retained or reinstated.

The setting of the adjacent Conservation Area should be preserved or enhanced.

Area Characteristics

The majority of the area was developed in the 1950-60s on open land which ran between Hever Road and the River Eden. The rear boundary of numbers 25-45 is bounded by the raised flood bund. The houses (no.s 15-45), built in the late 1950s, feature rendered front facing gables which create a pleasing rhythm to the streetscape when viewed along the gently curving road, and are sympathetic in scale to the late 19th century terraces facing them. The houses at the western end of Hever Road form a separate development, dating from the early 1960s, which turns the corner onto the High Street, and has a rear garage court.



The terrace of six houses at the western end of Hever Road was developed in 2000s on land which was previously the Bus Garage, and features a wider range of materials and dormer windows to the roof but is generally sympathetic in scale to the surrounding houses.



Views

There are views across the Town Field from the gated access between Nos. 23 and 25, and from the stile next to No. 57.



Boundaries

The boundaries of the houses along Hever Road are generally open or bounded by low walls and planting.

